

Brighton Phase 2 Lot Information Map

taskamanwa Street, Nazarali Link, Way, Union, Lane, Avenue, Cove, Manor, Hill-Hampson Bend, Delainey Rd and Brighton Boulevard

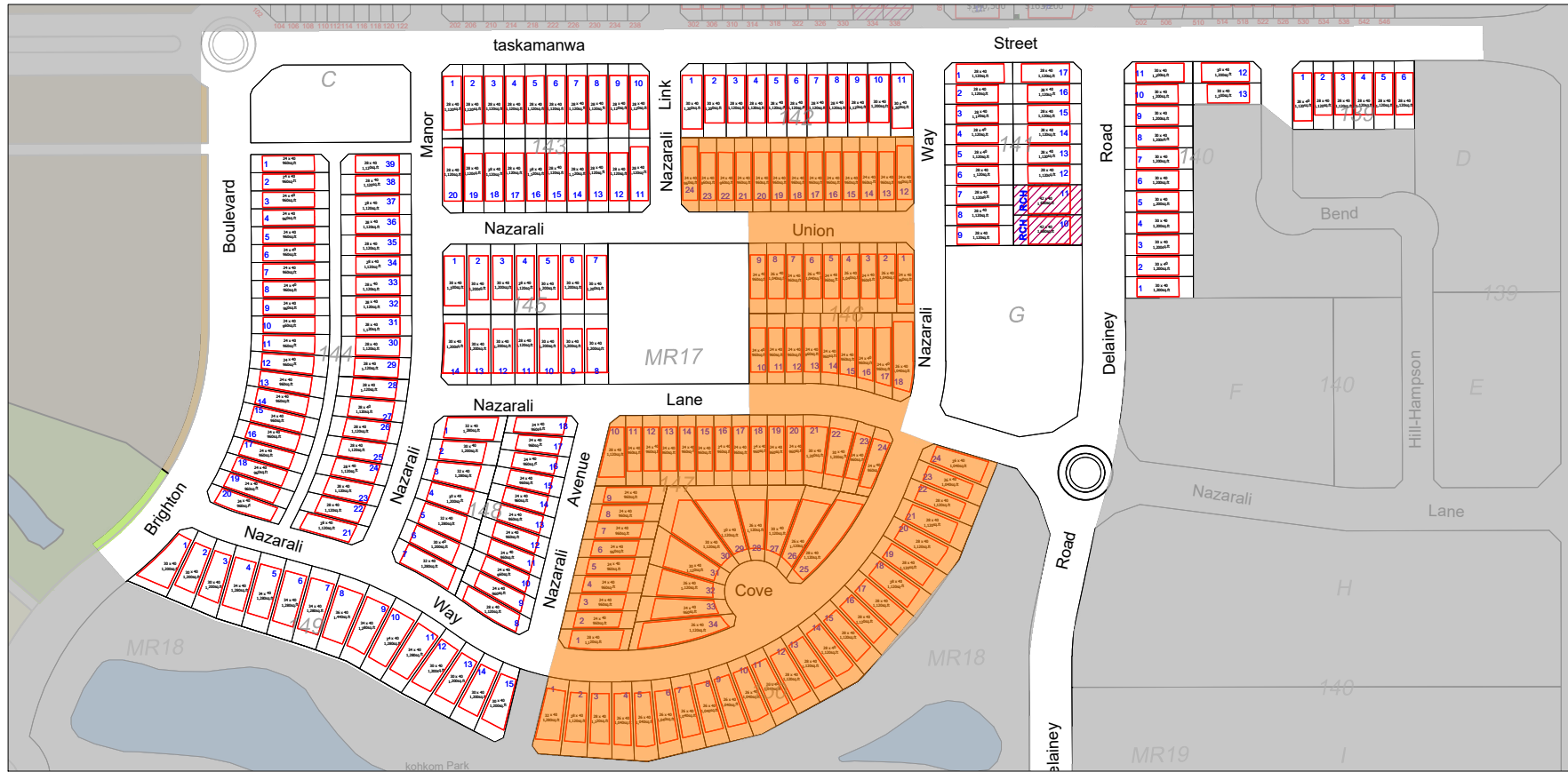


Legend:

- | | | | | | | | | |
|----------------------------------|--|--|---------------|------------------------|-------------------------------|------------------|-----|---------------|
| Single Unit | Highly Visible Lot | Open Space Conceptual Design Subject to Change | Easement 2.5m | Corner Garage Location | Temporary Overhead Power Pole | Block Number | 721 | Fire Hydrant |
| Multi-Unit Parcel Medium Density | Additional Exterior Materials Required as per Architectural Control Req. | Multi-Unit Parcel Low/Medium Density | Easement 3m | Walkout Basement | Transformer | Lot Number | 12 | Civic Address |
| | Residential Care Home | Easement 2m | Easement 4.5m | Light Standard | Service Pedestal | Decorative Fence | | Vertical Curb |
| | | | Easement 5m | | Mail Box | | | |

Saskatoon
Saskatoon Land - January 2025

Note: The Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer readings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale. Note: This map is conceptual and subject to change.



LEGEND

- Zoning Boundry
- Unavailable Lots

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.



Date:
August 2024

Drawn By:
AMR

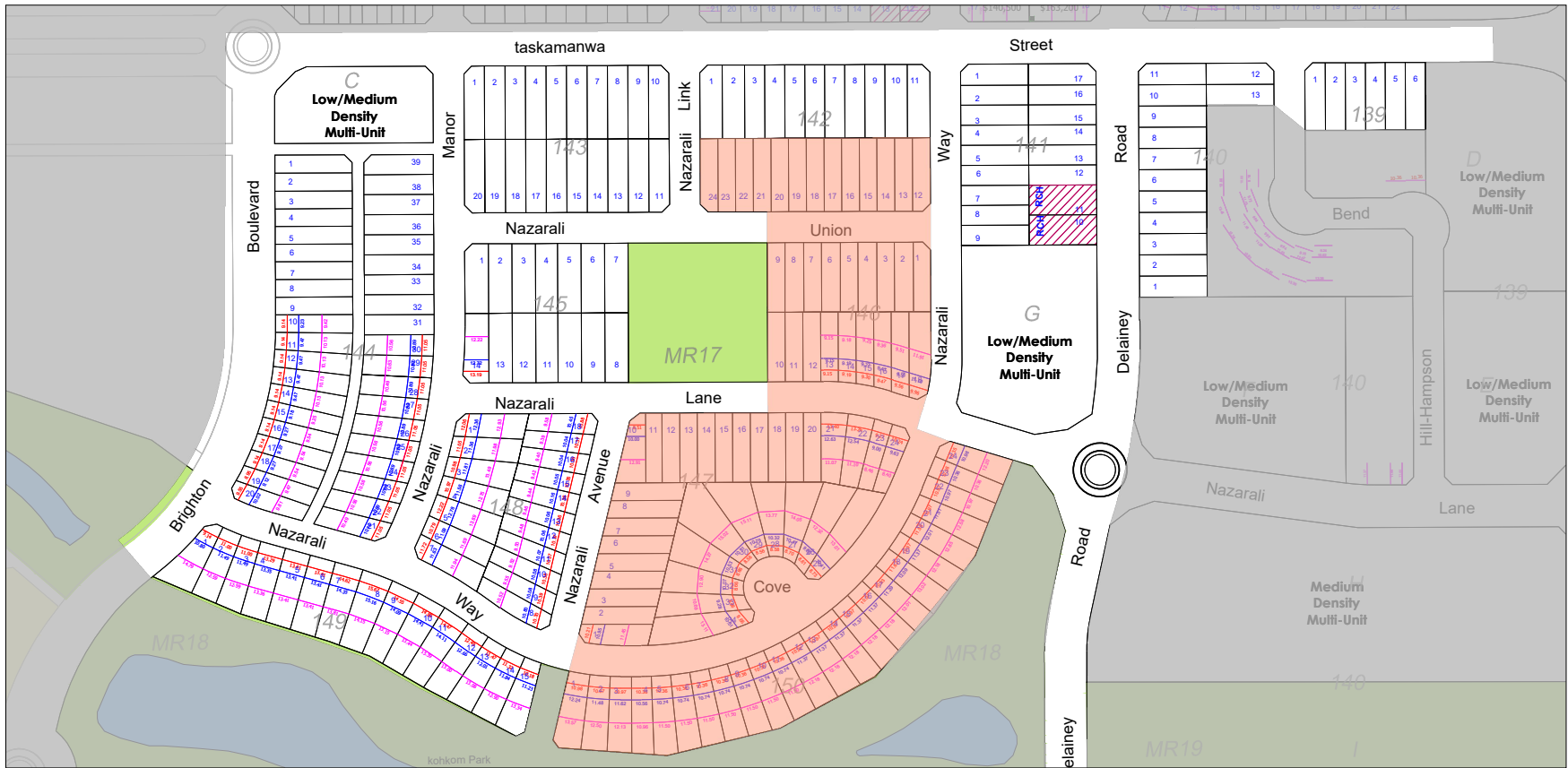
Scale:
NTS

File No.



BRIGHTON D2 - PHASE 2

HOUSING FOOTPRINTS AND
ZONING BYLAW BUILDING AREA

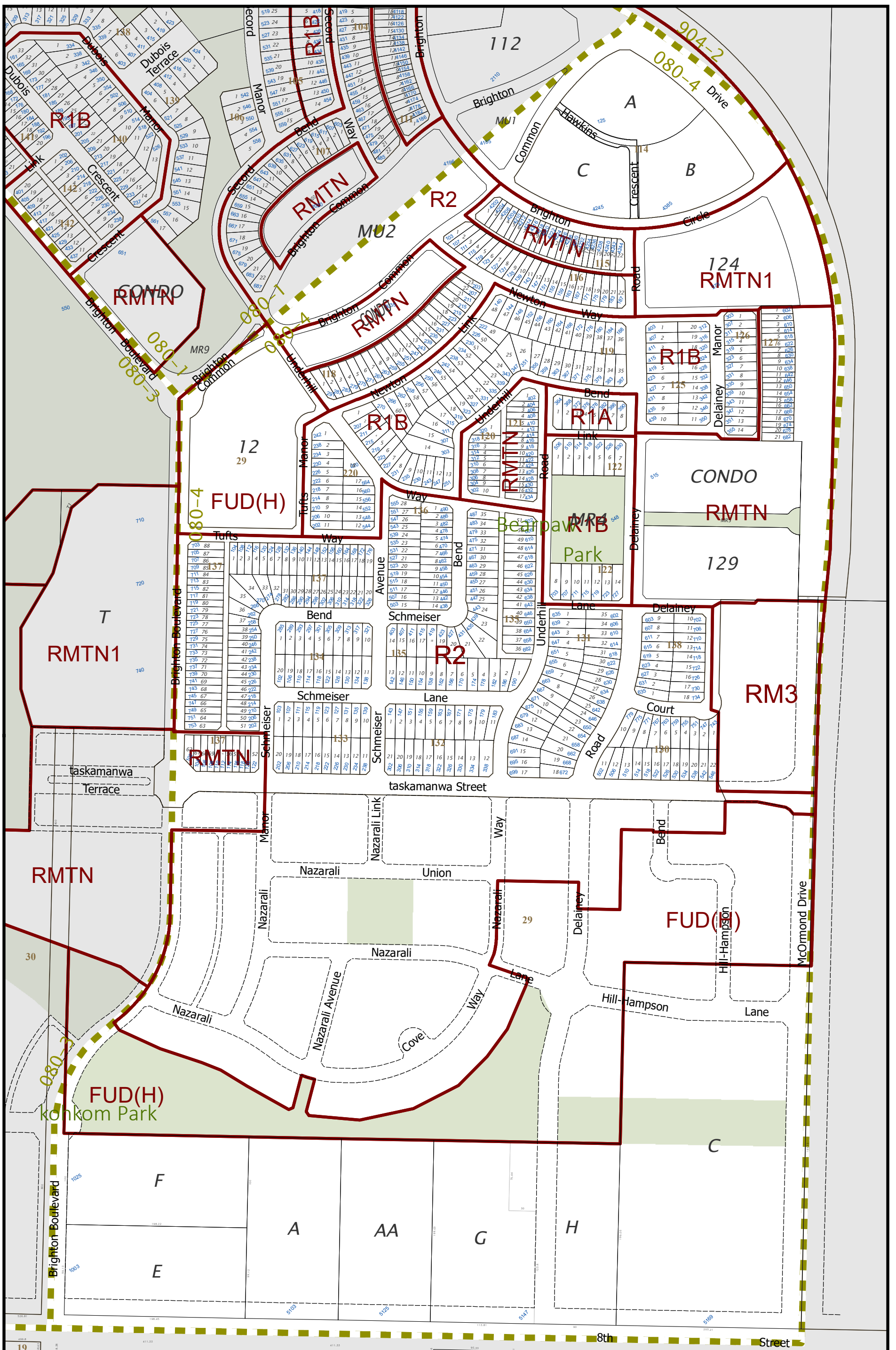


LEGEND

- Conceptual 6m Setback
- Conceptual 12m Setback
- Conceptual 24m Setback
- Unavailable Lots

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.

City of Saskatoon Saskatoon Land	Date: August 2024	Scale: NTS	 NORTH	<h2 style="margin: 0;">BRIGHTON D2</h2> <h3 style="margin: 0;">HOUSE AND GARAGE SETBACK DIMENSIONS</h3>
	Drawn By: AMR	File No.		



Address Map of Brighton



Note: The information contained on this map is for reference only and not to be used for legal purpose

- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1: 3900

080-4

11/4/2024



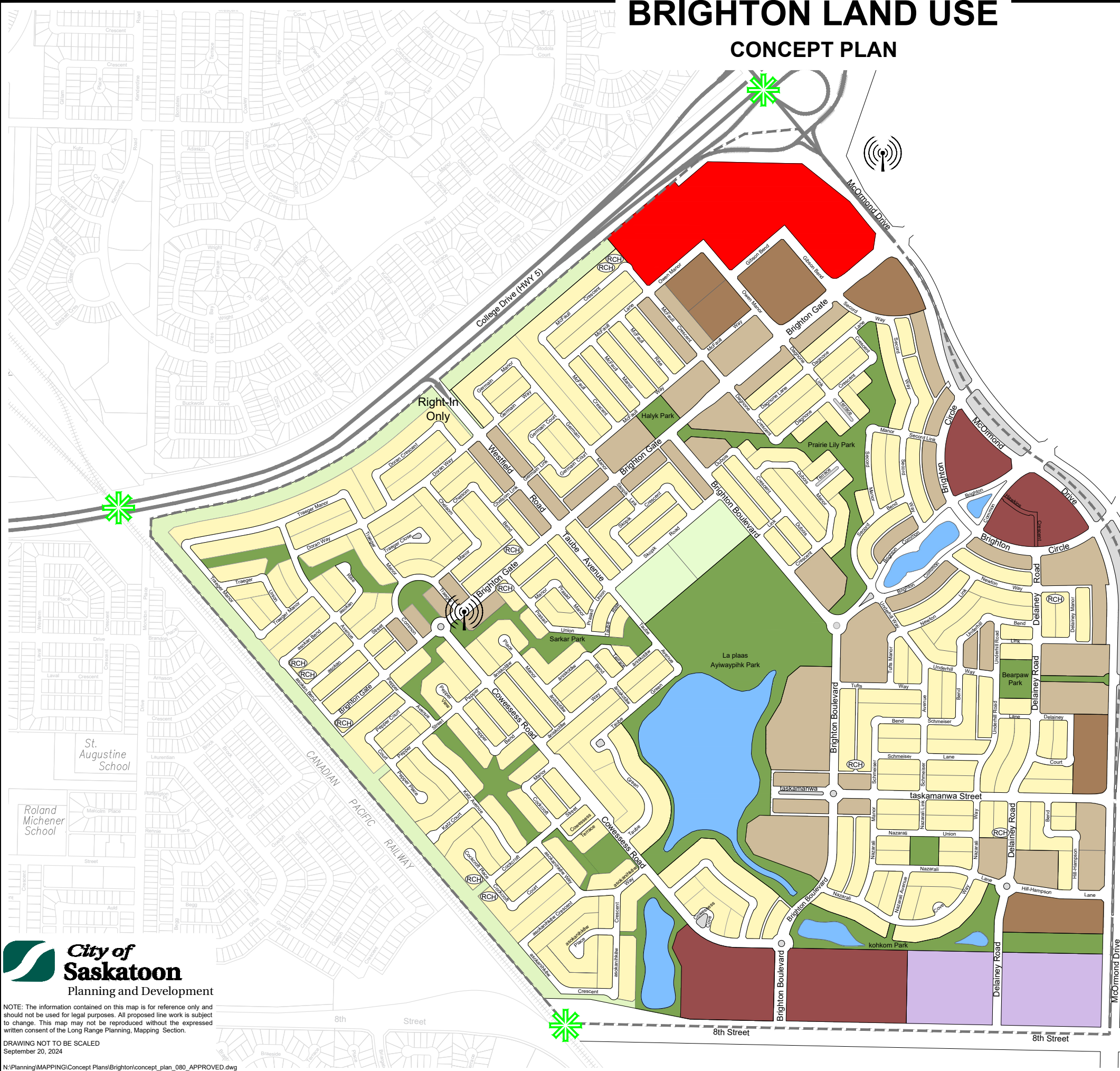
BRIGHTON LAND USE

CONCEPT PLAN

ORIGINAL BRIGHTON
CONCEPT PLAN
APPROVED MAY 20, 2014

LAST AMENDED
AUGUST 28, 2024

- SINGLE UNIT/SEMI UNIT DETACHED DWELLINGS
- LOW DENSITY MULTI UNIT DWELLINGS
- MEDIUM DENSITY MULTI UNIT DWELLINGS
- MIXED USE 1 - RESIDENTIAL/RETAIL/INSTITUTIONAL
- MIXED USE 2 - OFFICE/RETAIL
- RETAIL
- POTENTIAL SCHOOL SITE
- WETLAND COMPLEX (WATER LEVEL VARIES)
- MUNICIPAL RESERVE
- BUFFER STRIP
- PEDESTRIAN LINKAGE
- RCH RESIDENTIAL CARE HOME
- Ⓜ APPROXIMATE CELL TOWER LOCATION
- CONCEPT PLAN BOUNDARY



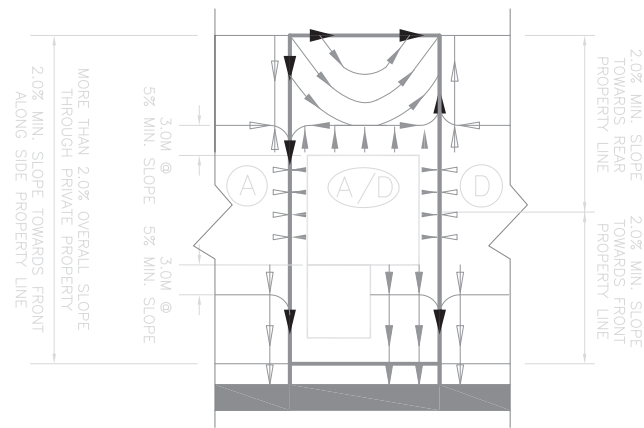
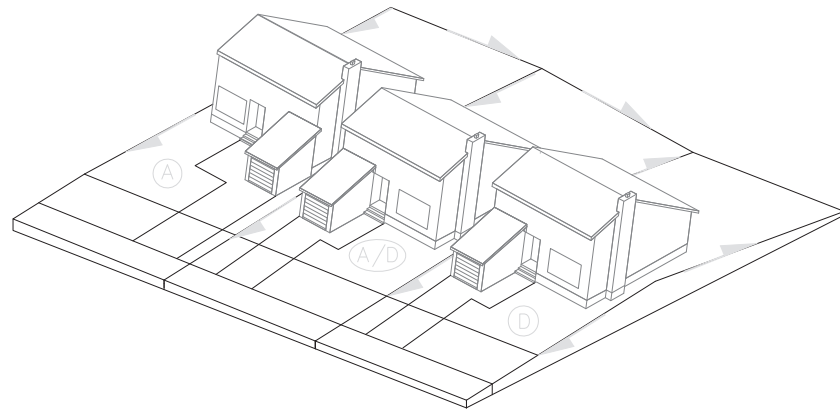
City of Saskatoon
Planning and Development

NOTE: The information contained on this map is for reference only and should not be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of the Long Range Planning, Mapping Section.

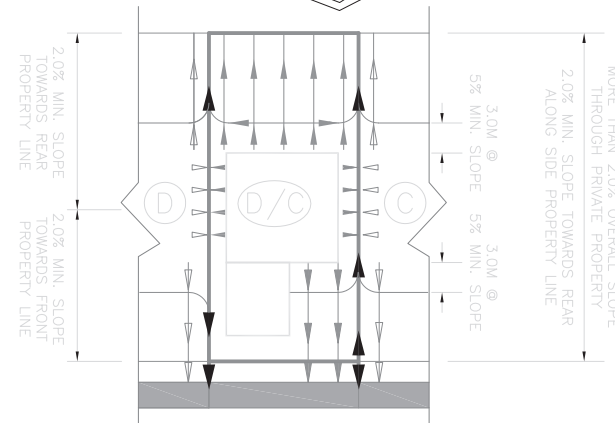
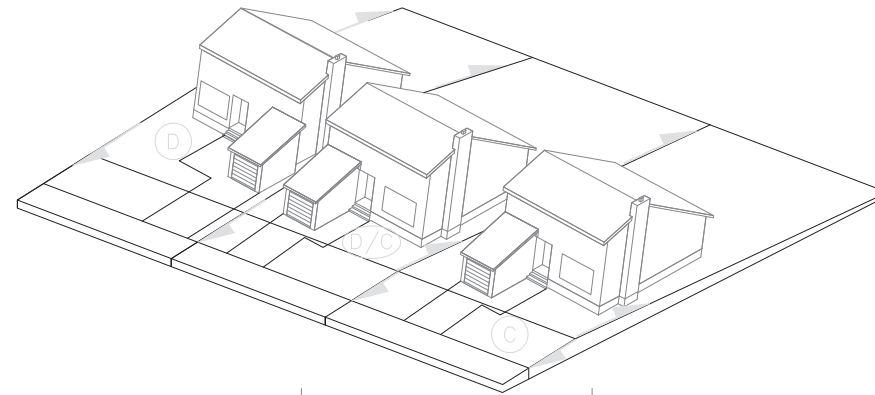
DRAWING NOT TO BE SCALED
September 20, 2024

N:\Planning\MAPPING\Concept Plans\Brighton\concept_plan_080_APPROVED.dwg

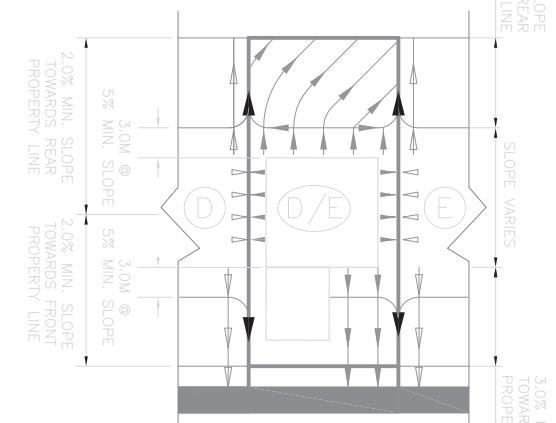
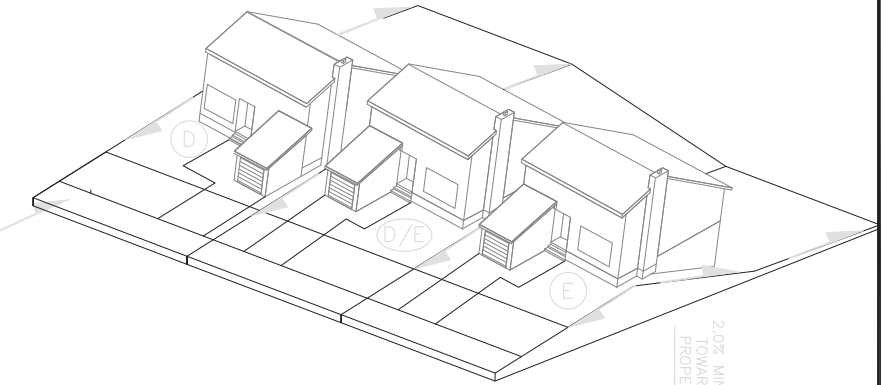
Lot Grading Types



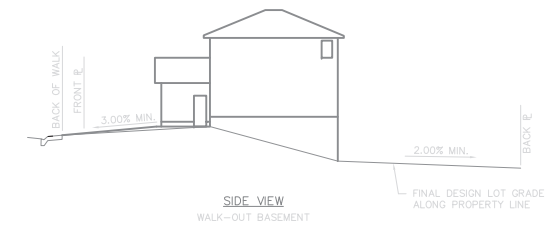
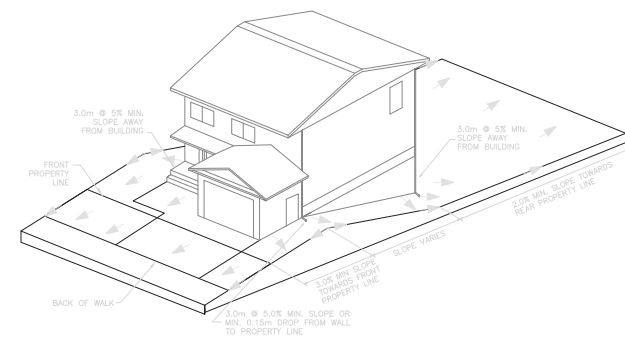
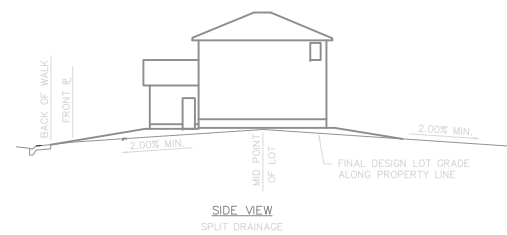
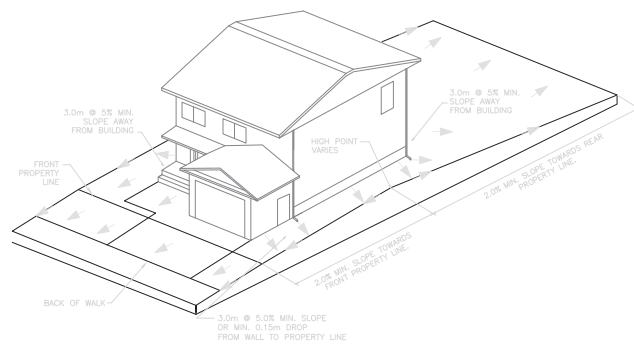
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

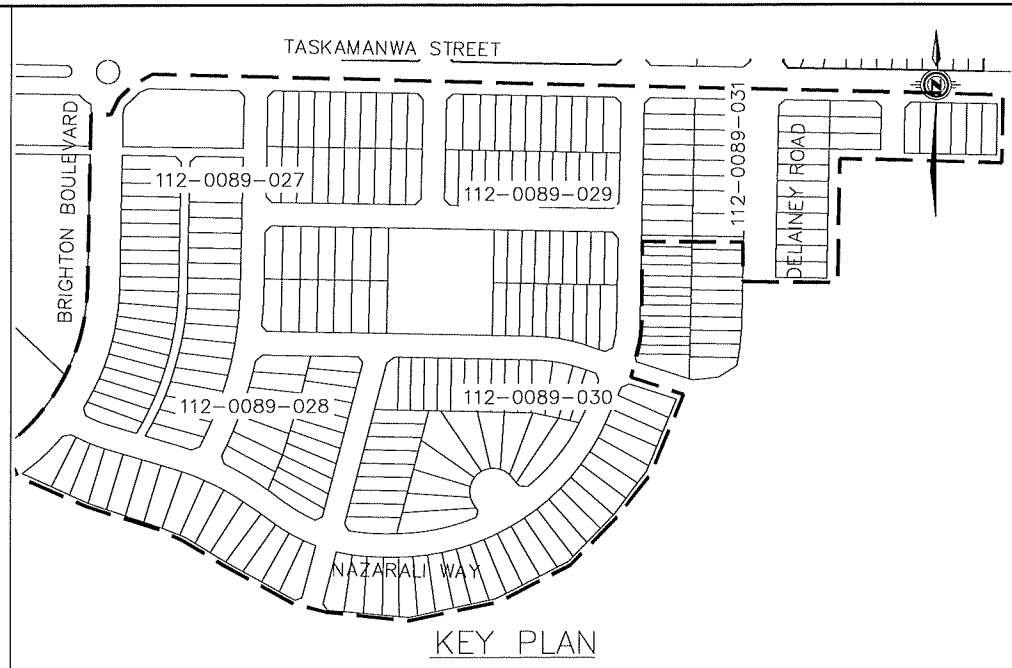
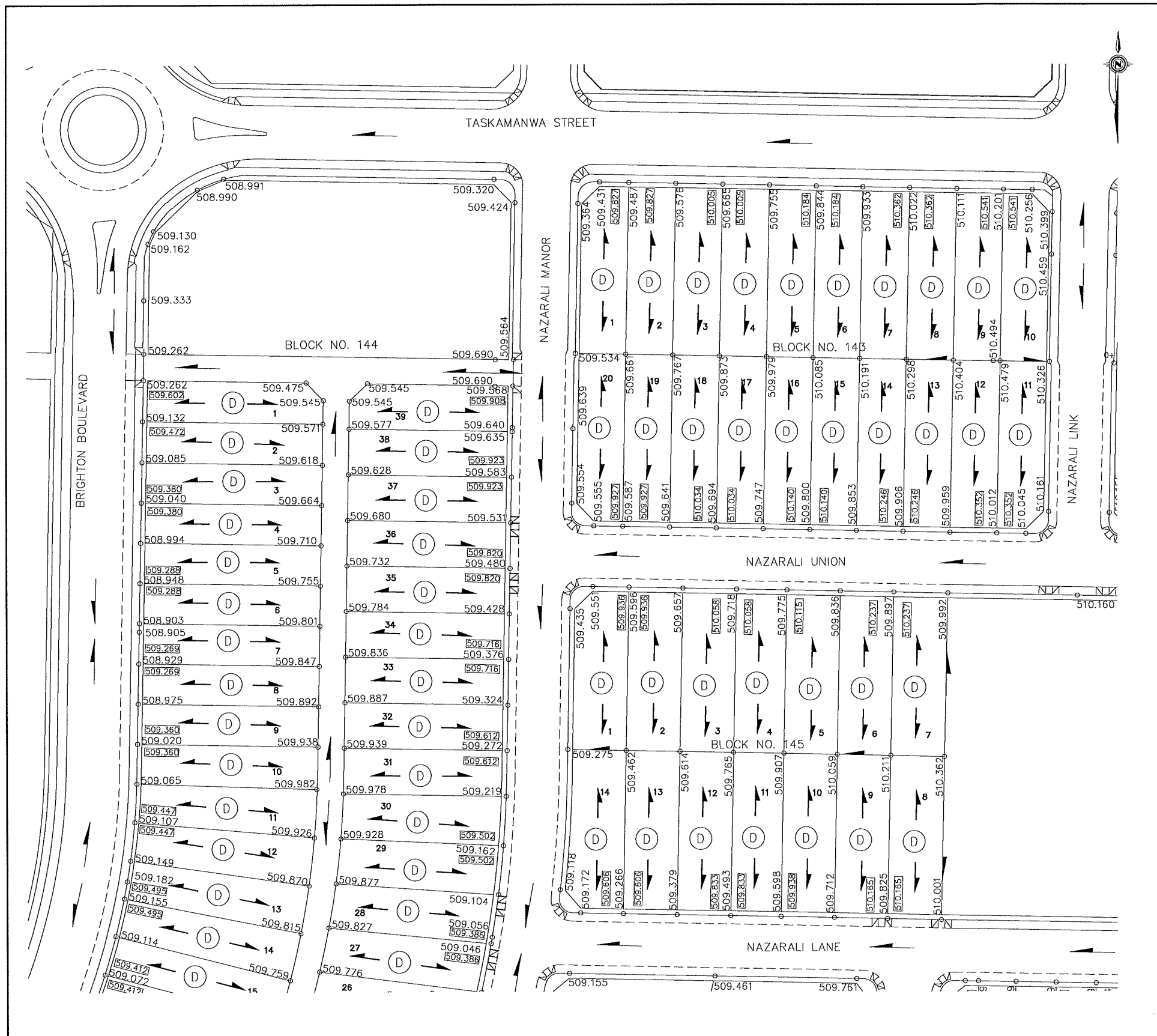


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

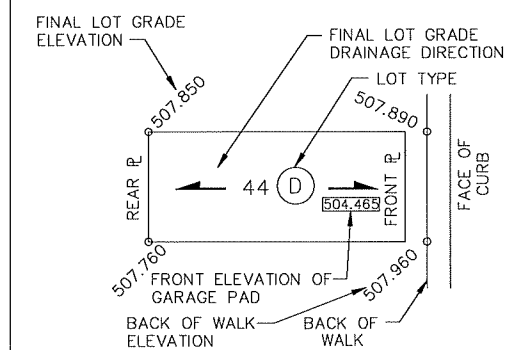


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E





LOT DRAINAGE LEGEND

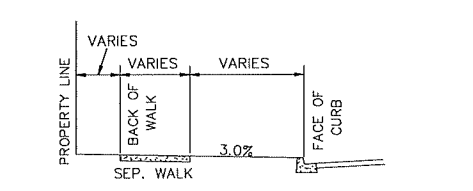


- NOTE:**
- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 - DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

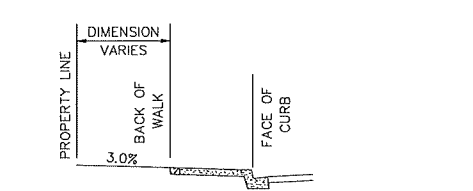
LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017

SEPARATE CURB & WALK



COMBINED CURB & WALK

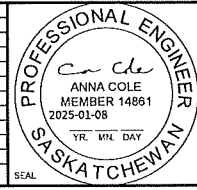


CONST.
PROJECT NO. 502-0089-300/001_CWL

CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- (B) EASEMENT POINT NO.
- PROPERTY LINE
- DRAINAGE ARROW
- DRIVEWAY
- PHASE BOUNDARY

ISSUED FOR CONSTRUCTION	DATE	BY
1	2024-JUL-29	AR
PLAN DESCRIPTION/REVISION		

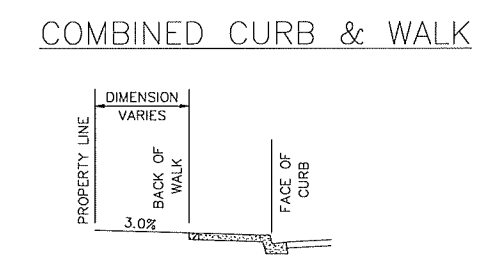
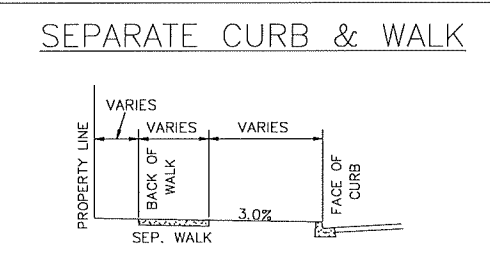
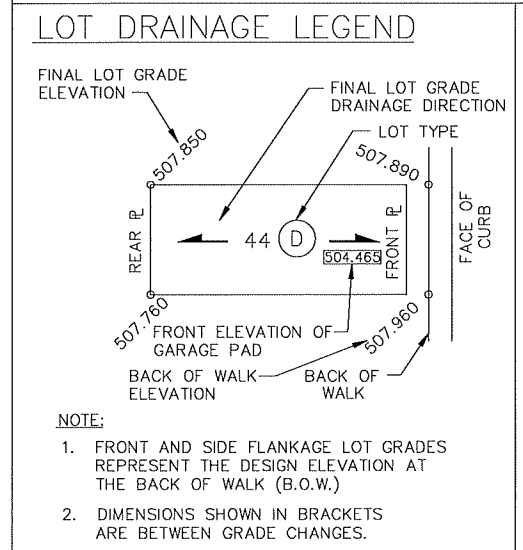
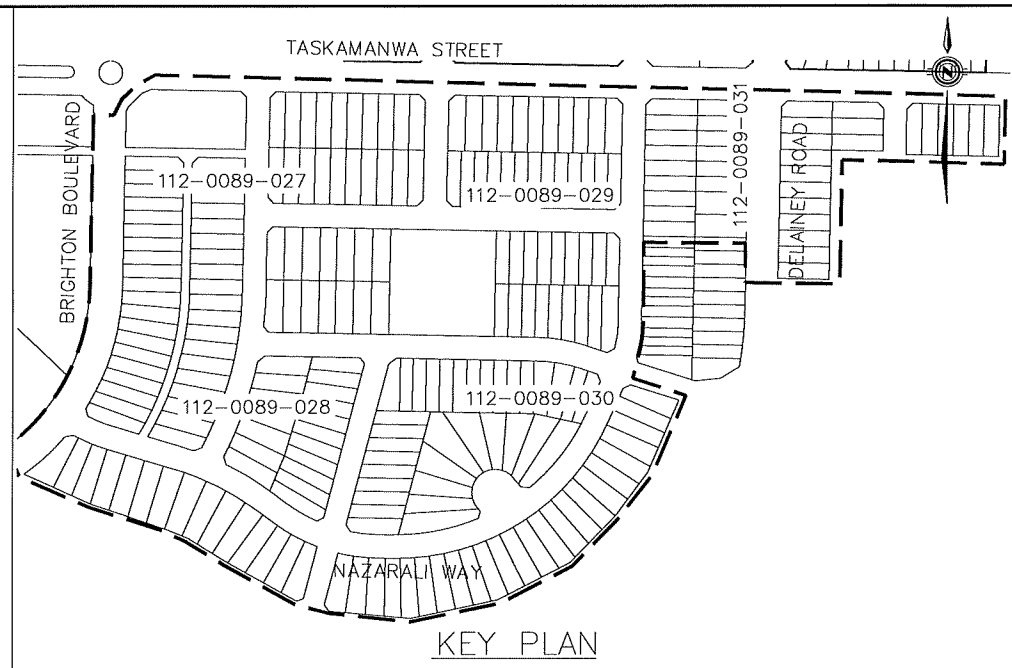
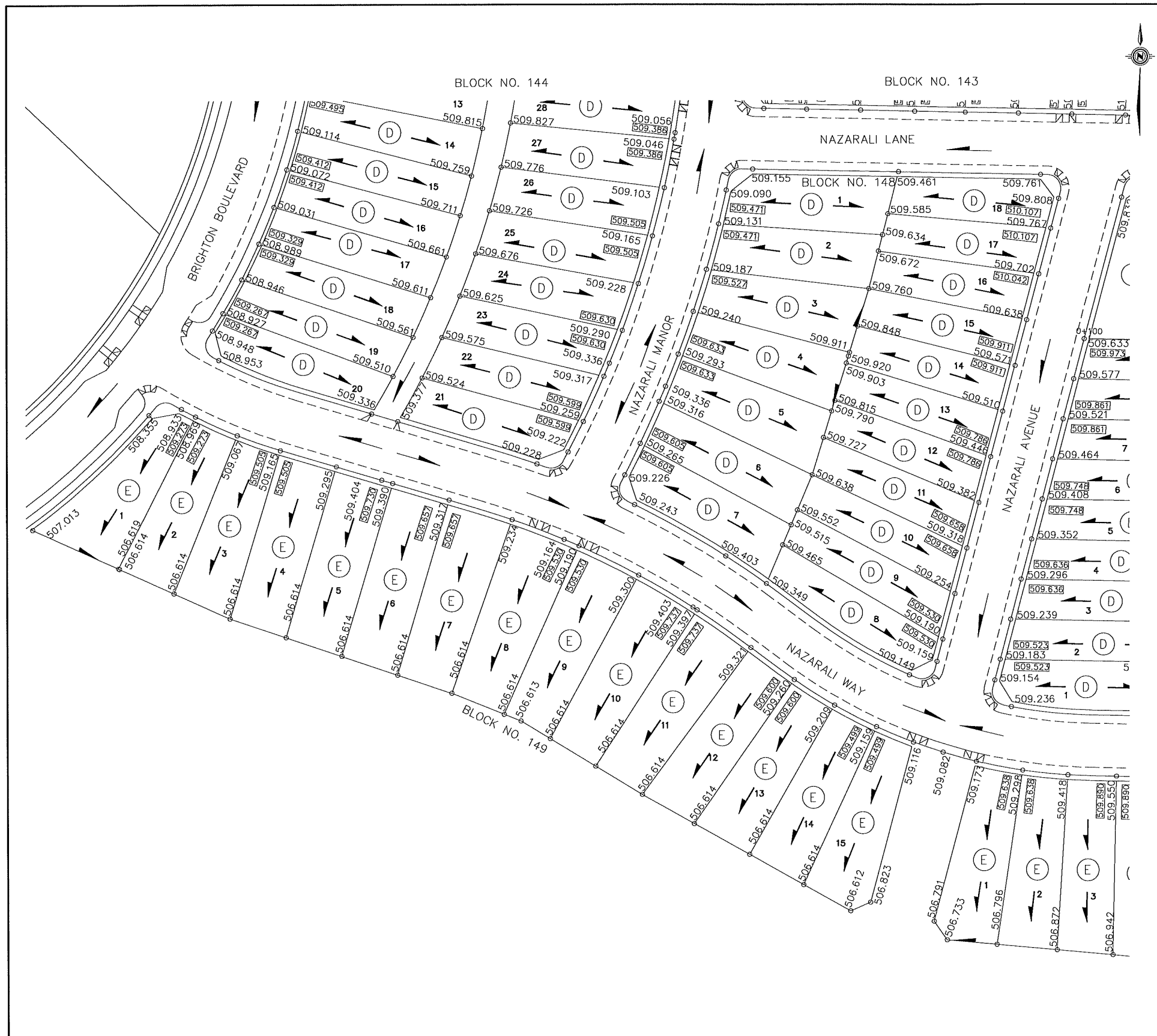


CHECKED BY:	CHECKED BY:
Signature: Wade Thomas NAME: Wade Thomas DATE: 2025-01-08	Signature: NAME: DATE:
DRAWN BY: AR DATE: 2024-JUL-29	CHKD STDS: JVS DATE: 2024-DEC-11



BRIGHTON LOT GRADES - PHASE D2A
LOT GRADES
TASKAMANWA STREET, NAZARALI MANOR, NAZARALI LINK
NAZARALI UNION & NAZARALI LANE

ENGINEERING MANAGER: [Signature]	DATE: 2025-01-08
SCALE: HOR: 1:1000	DATE:
SHEET NO. 112-0089-027r001	PLAN NO.:



LOT DRAINAGE DETAILS

LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'E' - SEE DRAWING 102-0022-019

- ### CURB & WALK LEGEND
- ROLLED CURB & WALK
 - VERTICAL CURB & WALK
 - ROLLED CURB ONLY
 - VERTICAL CURB ONLY
 - CONCRETE WALKWAY
 - (B) EASEMENT POINT NO.
 - PROPERTY LINE
 - DRAINAGE ARROW
 - DRIVEWAY
 - PHASE BOUNDARY

CONST.
 PROJECT NO. 502-0089-300r001_CWL

1	ISSUED FOR CONSTRUCTION	2024-JUL-29	AR
	PLAN DESCRIPTION/REVISION	DATE	BY

PROFESSIONAL ENGINEER
 ANNA COLE
 MEMBER 14881
 2025-01-08
 YR. MN. DAY
 SASKATCHEWAN

CHECKED BY: Wade Thomas
 SIGNATURE: [Signature]
 NAME: Wade Thomas
 DATE: 2025-01-08

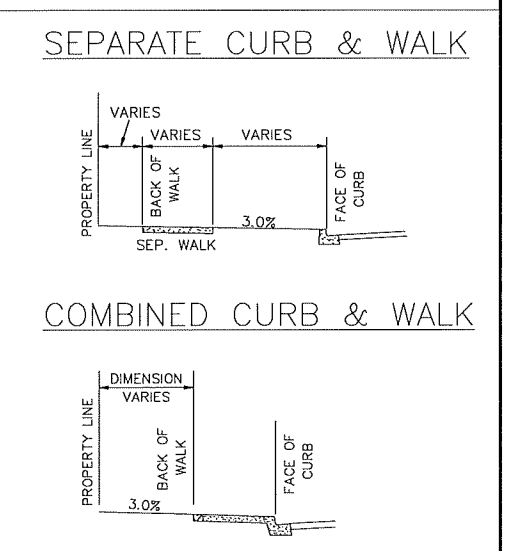
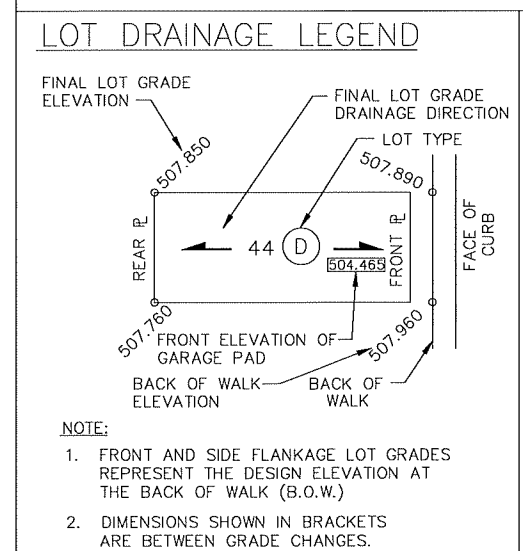
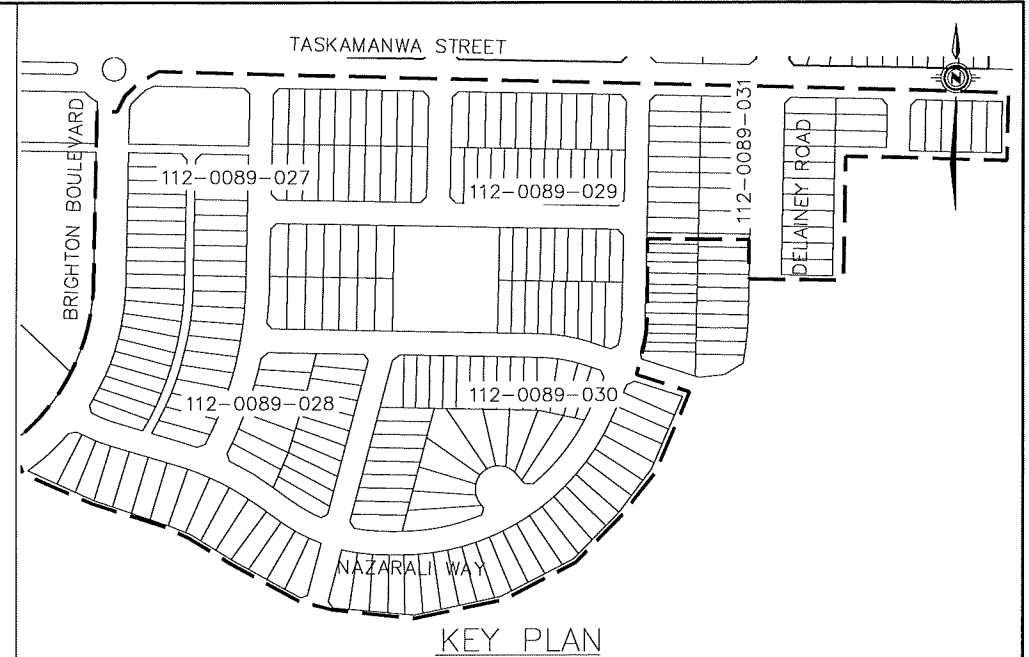
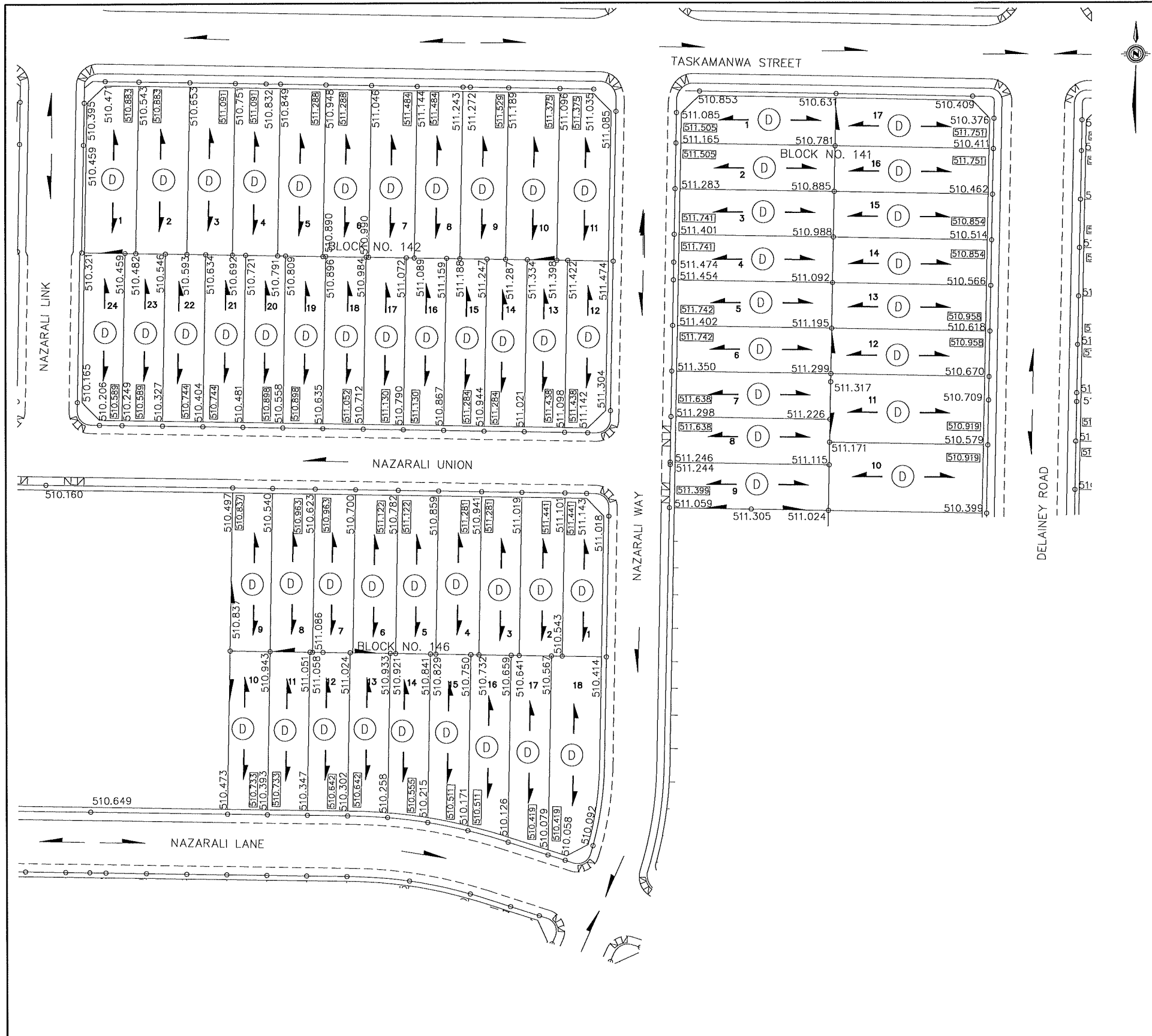
CHECKED BY: [Signature]
 SIGNATURE: [Signature]
 NAME: [Name]
 DATE: [Date]

DRAWN BY: [Name] AR DATE: 2024-JUL-29
 DWG. STDS. CHECKED BY: JVS DATE: 2024-DEC-11



BRIGHTON LOT GRADES - PHASE D2A
 LOT GRADES
 BRIGHTON BOULEVARD, NAZARALI MANOR, NAZARALI WAY
 NAZARALI AVENUE & NAZARALI LANE

ENGINEERING MANAGER: [Signature]
 DATE: 2025-01-08
 SCALES: HOR. 1:1000
 VERT. [Scale]
 SHEET NO. 112-0089-028r001
 PLAN NO. [Number]



LOT DRAINAGE DETAILS

LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'E' - SEE DRAWING 102-0022-019

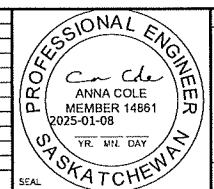
CONST.

PROJECT NO. 502-0089-300/001_CWL

CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- (B) EASEMENT POINT NO.
- PROPERTY LINE
- DRAINAGE ARROW
- DRIVEWAY
- PHASE BOUNDARY

1	ISSUED FOR CONSTRUCTION	2024-JUL-29	AR
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>Wade Thomas</i>	
SIGNATURE	SIGNATURE
Wade Thomas	
NAME	NAME
2025-01-08	
DATE	DATE
DRAWN BY	DATE
AR	2024-JUL-29



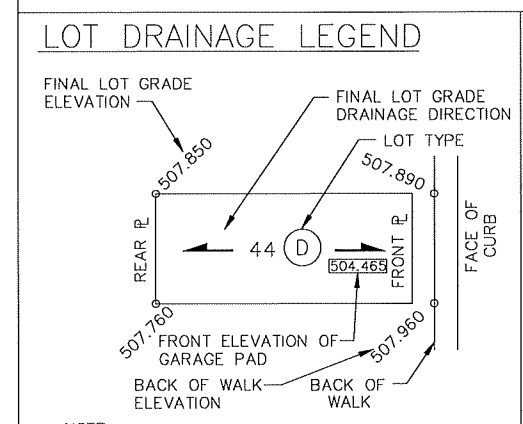
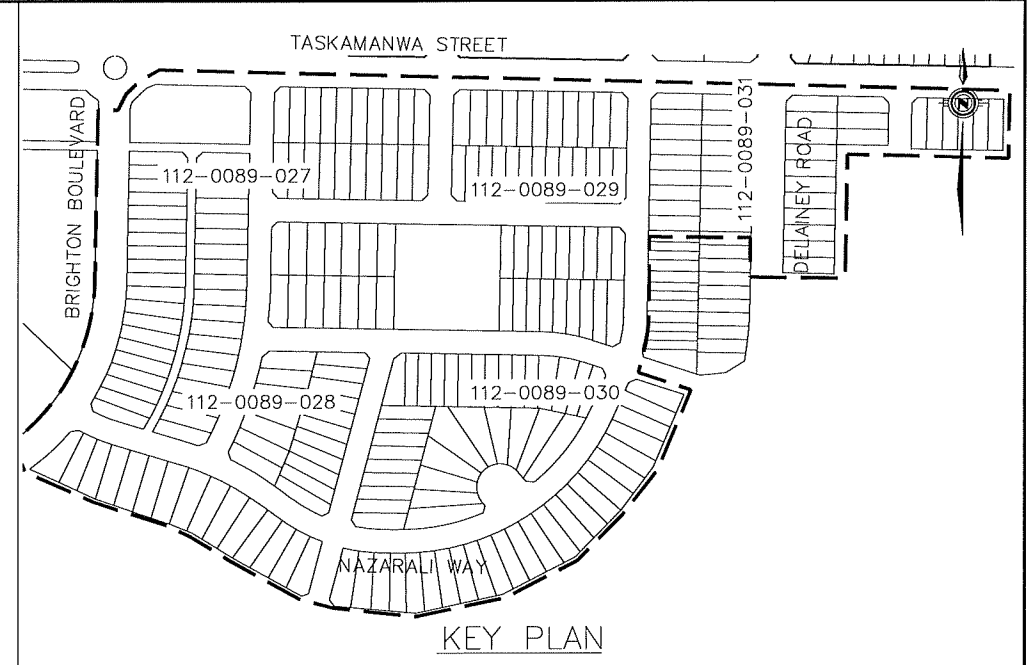
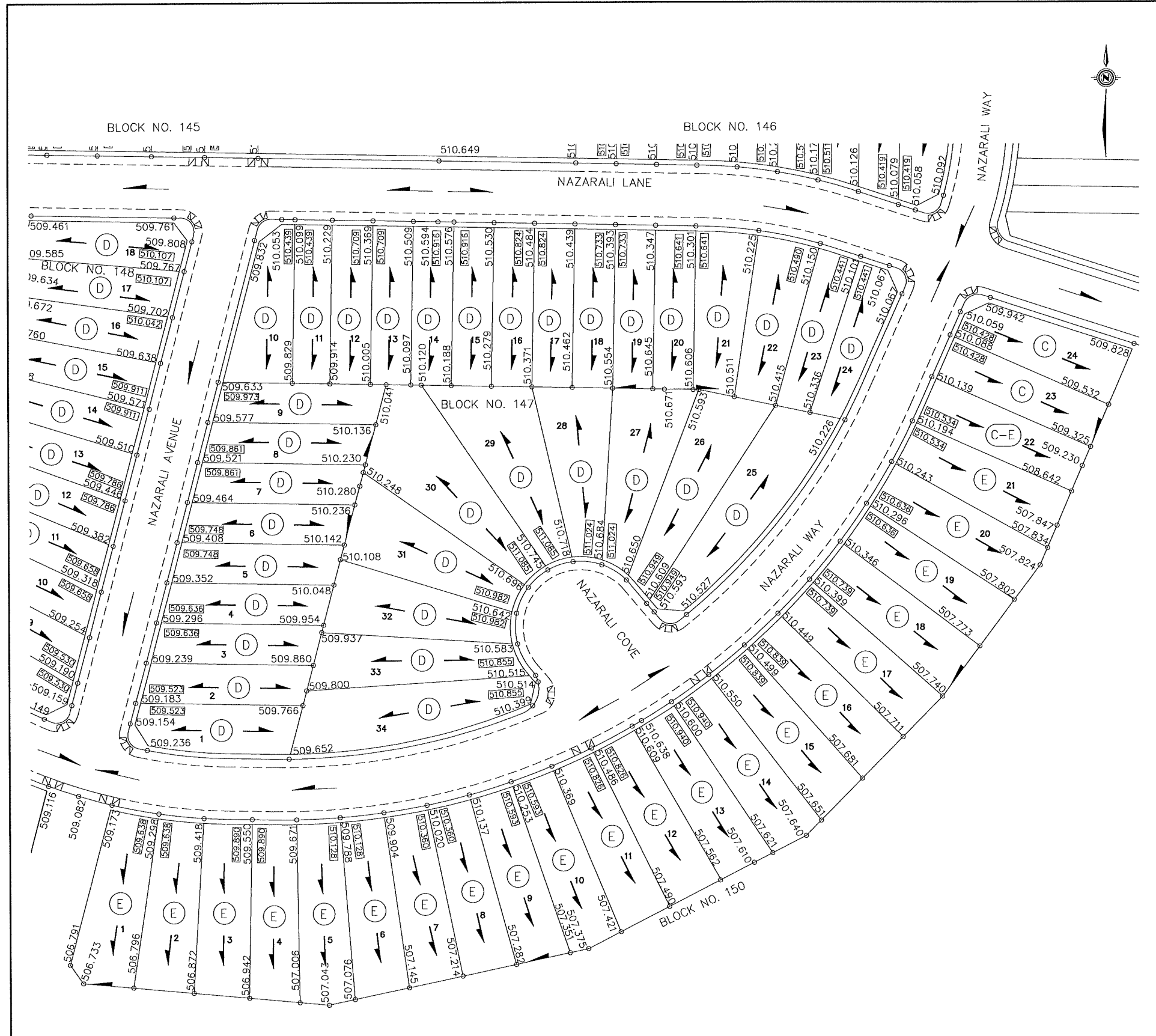
BRIGHTON LOT GRADES - PHASE D2A

LOT GRADES

TASKAMANWA STREET, NAZARALI LINK

NAZARALI UNION, NAZARALI LANE, & DELAINAY ROAD

ENGINEERING MANAGER	2025-01-08
SCALE:	DATE
HOR. 1:1000	
VERT.	
SHEET NO.	PLAN NO.
	112-0089-029r001

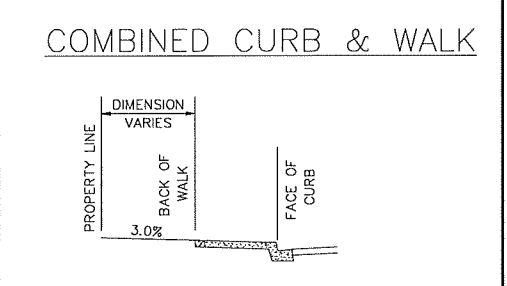
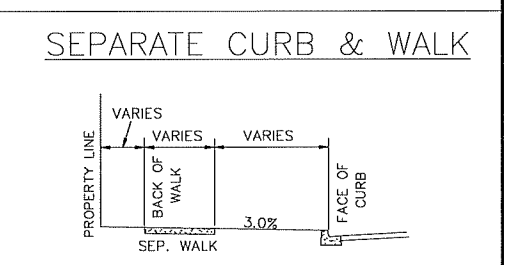


- NOTE:
- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 - DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

LOT DRAINAGE DETAILS

LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'C' - SEE DRAWING 102-0022-018
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'E' - SEE DRAWING 102-0022-019

CONST.
 PROJECT NO. 502-0089-300/001_CWL



- ### CURB & WALK LEGEND
- ROLLED CURB & WALK
 - ==== VERTICAL CURB & WALK
 - ROLLED CURB ONLY
 - ==== VERTICAL CURB ONLY
 - CONCRETE WALKWAY
 - (8) EASEMENT POINT NO.
 - PROPERTY LINE
 - DRAINAGE ARROW
 - DRIVEWAY
 - PHASE BOUNDARY

ISSUED FOR CONSTRUCTION	DATE	BY	REVISION
1	2024-JUL-29	AR	ISSUED FOR CONSTRUCTION
PLAN DESCRIPTION/REVISION			

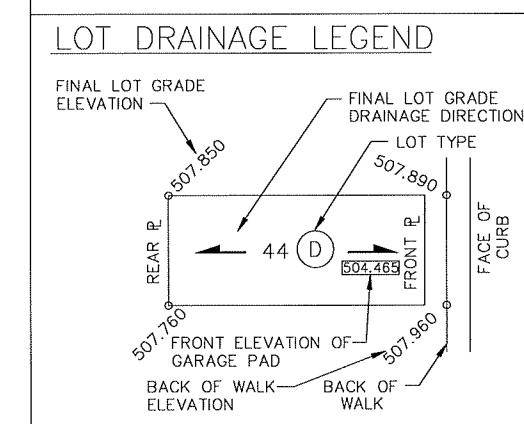
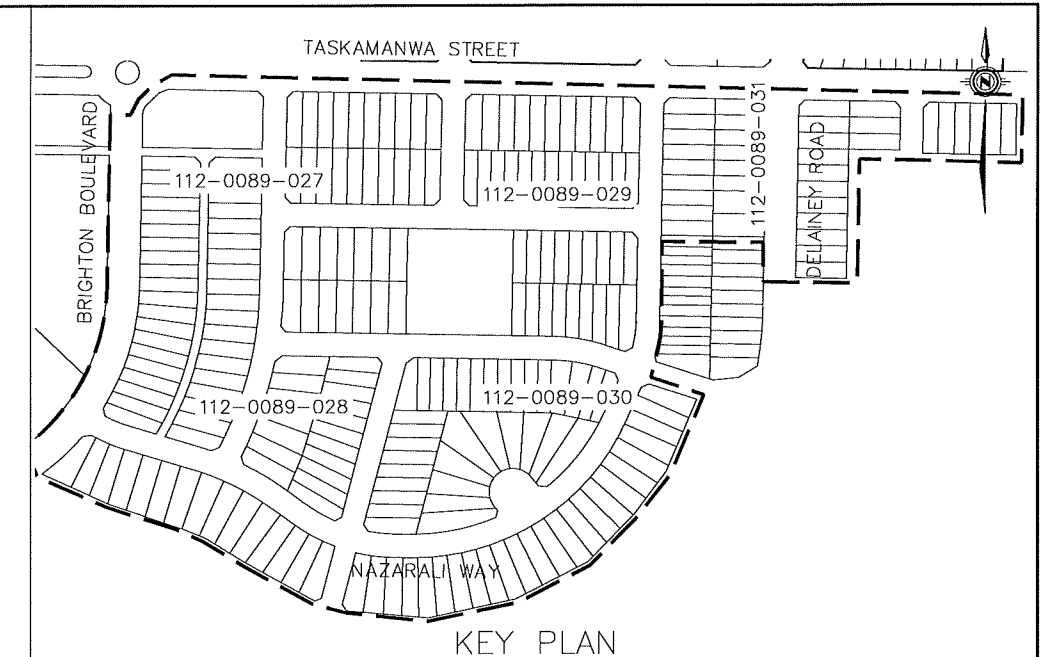
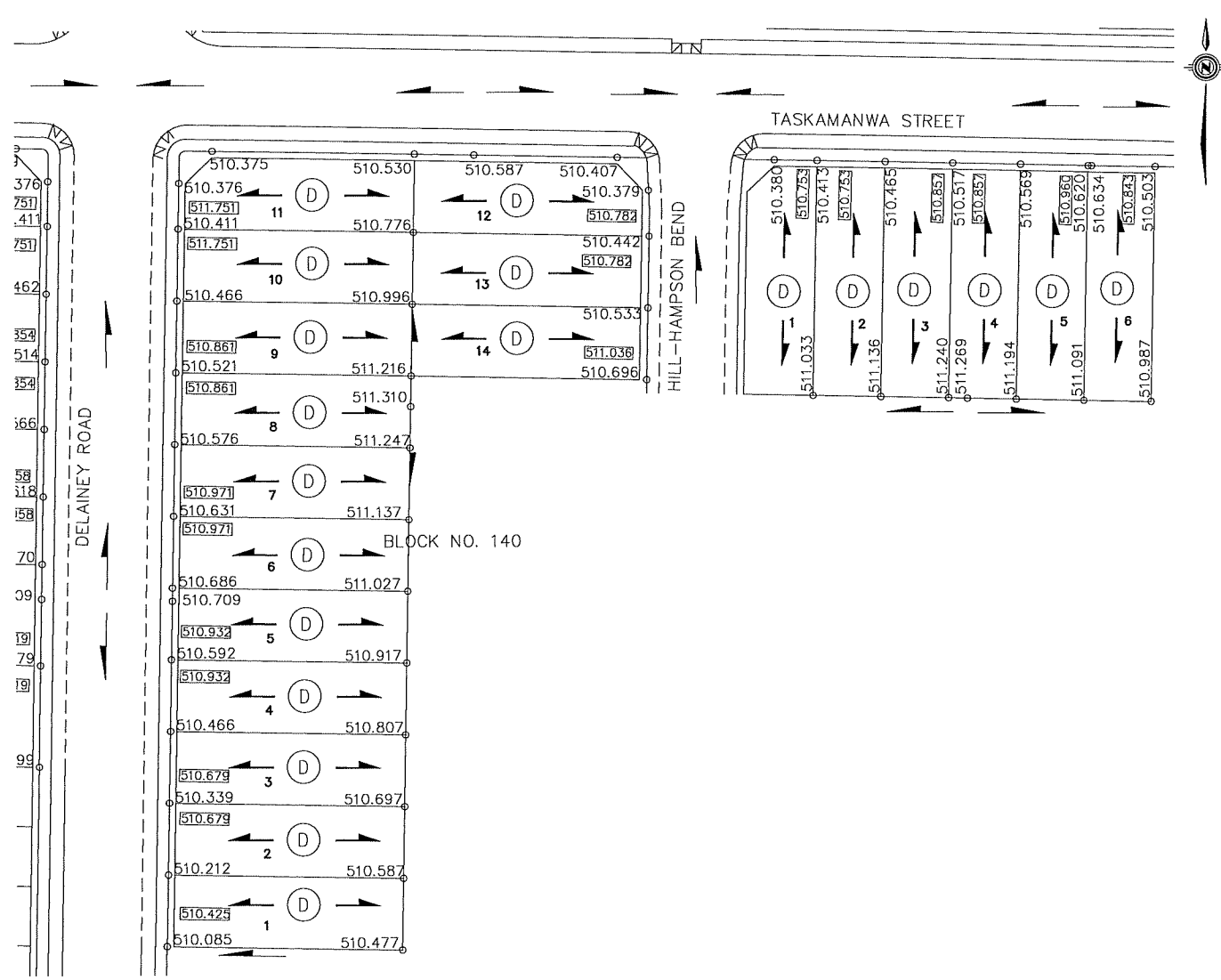
PROFESSIONAL ENGINEER
 ANNA COLE
 MEMBER 14861
 2023-01-08
 YR. MIL. DAY
 SASKATCHEWAN

CHECKED BY:	CHECKED BY:
Wade Thomas SIGNATURE NAME 2025-01-08 DATE	 SIGNATURE NAME DATE
DWG. BY: AR DATE 2024-JUL-29	CHECKED BY: JYS DATE 2024-DEC-11

City of Saskatoon
 Transportation and Construction Division

BRIGHTON LOT GRADES - PHASE D2A
 LOT GRADES
 NAZARALI AVENUE, NAZARALI LANE, NAZARALI COVE
 NAZARALI WAY

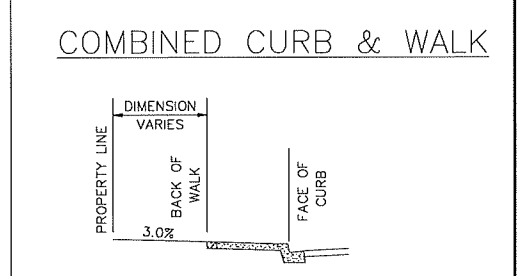
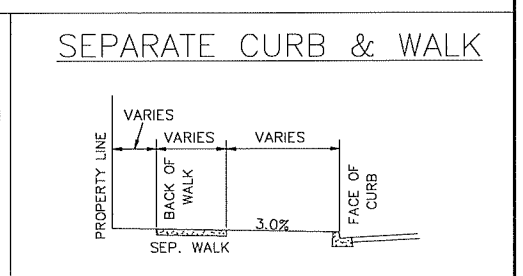
ENGINEERING MANAGER
 2025-01-08
 DATE
 SCALES: HOR. 1:1000
 VERT. 1:1000
 SHEET NO. 112-0089-030r001
 PLAN NO.



- NOTE:**
- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 - DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

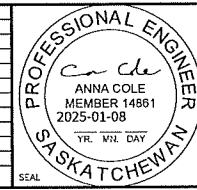
LOT DRAINAGE DETAILS
 LOT TYPE 'D' - SEE DRAWING 102-0022-017

CONST.
 PROJECT NO. 502-0089-300r001_CWL



- CURB & WALK LEGEND**
- ROLLED CURB & WALK
 - ==== VERTICAL CURB & WALK
 - ROLLED CURB ONLY
 - ===== VERTICAL CURB ONLY
 - ===== CONCRETE WALKWAY
 - (B) EASEMENT POINT NO.
 - PROPERTY LINE
 - DRAINAGE ARROW
 - DRIVEWAY
 - PHASE BOUNDARY

NO.	ISSUED FOR CONSTRUCTION	DATE	BY	SEAL
1	ISSUED FOR CONSTRUCTION	2024-JUL-29	AR	
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL

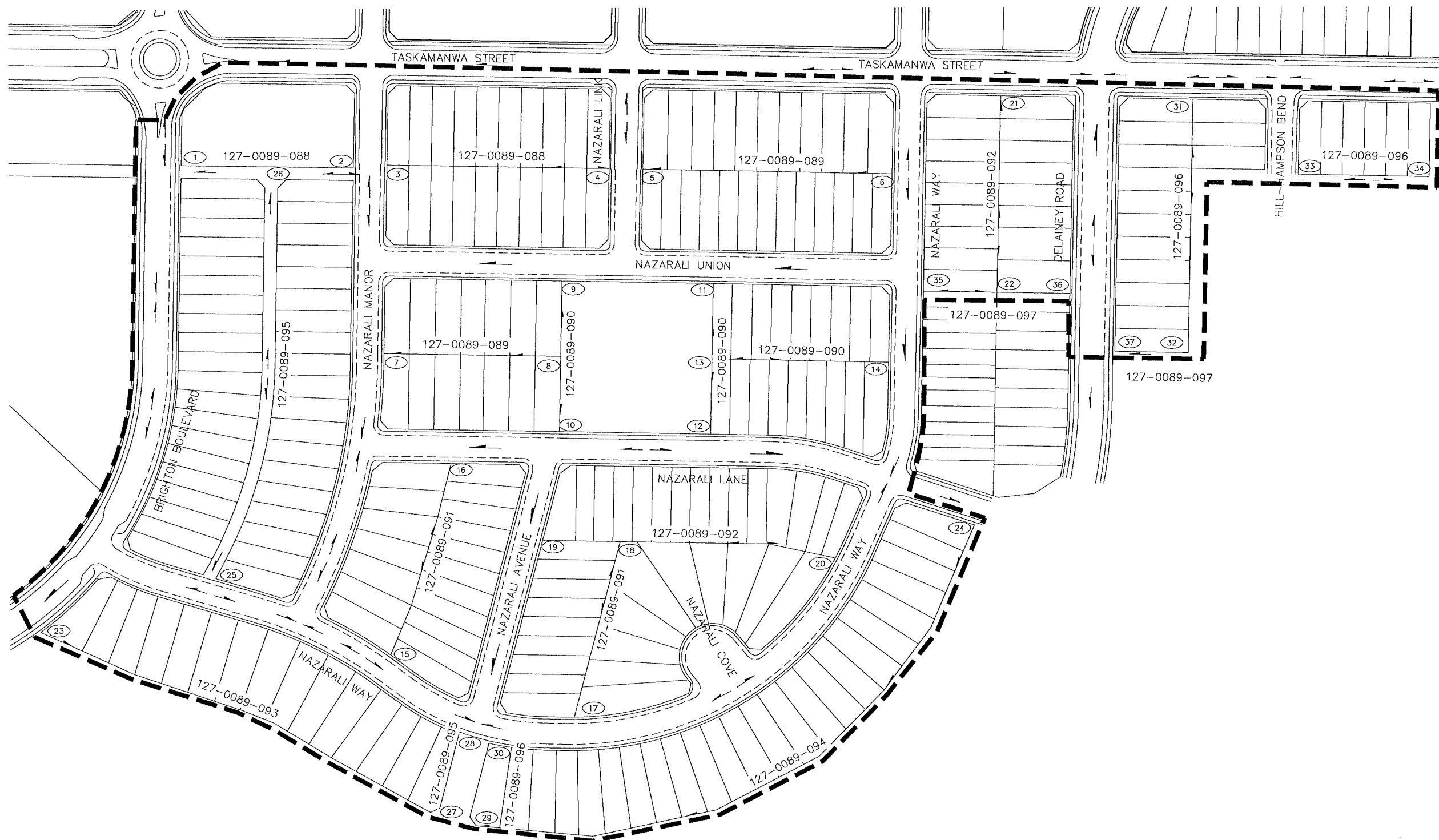


CHECKED BY:	CHECKED BY:
SIGNATURE Wade Thomas	SIGNATURE
NAME Wade Thomas	NAME
DATE 2025-01-08	DATE
DRAWN BY AR	DATE 2024-JUL-29
CHECKED BY JVS	DATE 2024-DEC-11



BRIGHTON LOT GRADES - PHASE D2A
 LOT GRADES
 TASKAMANWA STREET, NAZARALI WAY, DELAINEY ROAD
 NAZARALI LANE & HILL-HAMPSON BEND

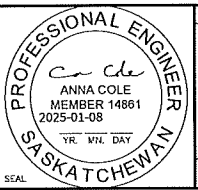
ENGINEERING MANAGER <i>[Signature]</i>	DATE 2025-01-08
SCALES: HOR. 1:1000	DATE
VERT.	
SHEET NO. 112-0089-031r001	PLAN NO.



- LEGEND**
- ROLLED CURB & WALK
 - VERTICAL CURB & WALK
 - ROLLED CURB ONLY
 - VERTICAL CURB ONLY
 - CONCRETE WALKWAY
 - EASEMENT POINT NO.
 - PROPERTY LINE
 - DRAINAGE ARROW
 - DRIVEWAY
 - PHASE BOUNDARY

CONST.
PROJECT NO. 502-0089-300r001_CWL

NO.	ISSUED FOR CONSTRUCTION	DATE	BY	SEAL
1	ISSUED FOR CONSTRUCTION	2024-JUL-29	AR	
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL



CHECKED BY: *Wade Thomas*
SIGNATURE: Wade Thomas
NAME: Wade Thomas
DATE: 2025-01-08

CHECKED BY: _____
SIGNATURE: _____
NAME: _____
DATE: _____

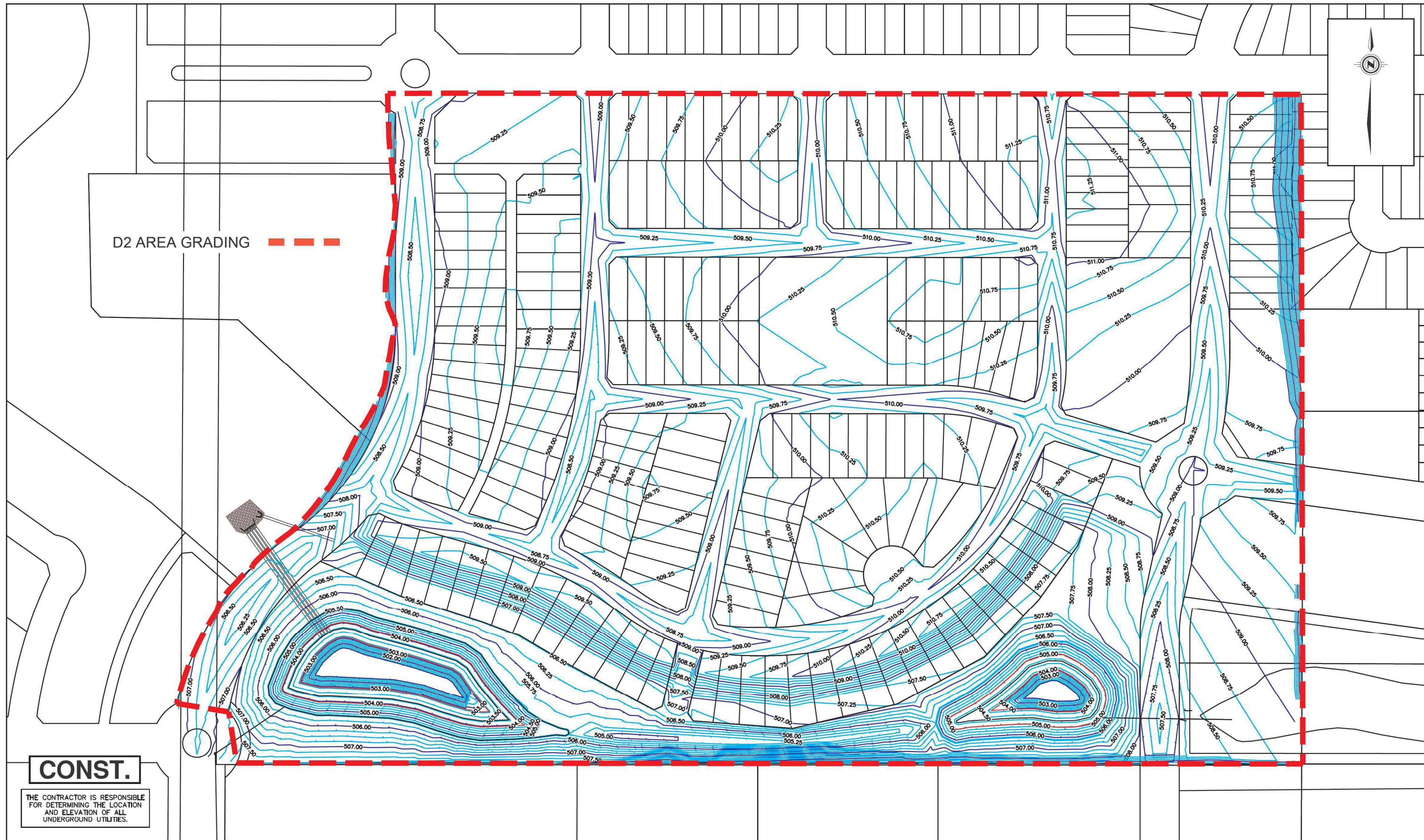
DRAWN BY: AR DATE: 2024-JUL-29
DWG STDS: _____ CHECKED BY: JVS DATE: 2024-DEC-11



BRIGHTON LOT GRADES - PHASE D2A
EASEMENT SITE PLAN

ENGINEERING MANAGER: *Anna Cole*
DATE: 2025-01-08

SCALES: HOR. 1:2000 VERT. _____
SHEET NO. 127-0089-087r001 PLAN NO. _____

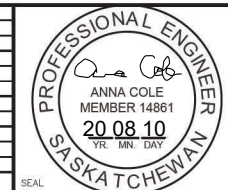


D2 AREA GRADING

CONST.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES.

11			
10			
9			
8			
7			
6			
5			
4			
3			
2	ISSUED FOR CONSTRUCTION	2019-DEC-05	EDH
1	ISSUED FOR TENDER	2019-MAY-08	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY:	DATE



BRIGHTON LAND DEVELOPMENT
 PHASE D2
 AREA GRADING
 DESIGN CONTOURS

CHIEF ENGINEER	DATE
SCALES:	
HOR. 1:2000	
VERT. 1:2000	
SHEET NO. 34	PLAN NO. 113-0089-309r002



D2 AREA GRADING

CONST.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES.

11			
10			
9			
8			
7			
6			
5			
4			
3			
2	ISSUED FOR CONSTRUCTION	2019-DEC-05	EDH
1	ISSUED FOR TENDER	2019-MAY-08	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY

PROFESSIONAL ENGINEER

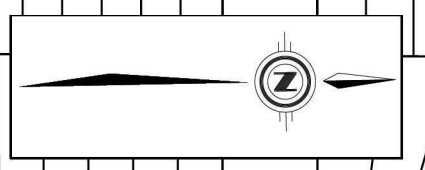
 ANNA COLE
 MEMBER 14861
 20.08.10
 YR. MN. DAY
 SASKATCHEWAN

CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY:	DATE

City of Saskatoon
 Transportation & Utilities Department

BRIGHTON LAND DEVELOPMENT
 PHASE D2
 AREA GRADING
 CUT & FILL CONTOURS

CHIEF ENGINEER	DATE
SCALES:	
HOR. 1:2000	
VERT. 1:2000	
SHEET NO. 36	PLAN NO. 113-0089-310-r002



DELAINEY ROAD

8TH STREET E

SOUTH STORAGE STOCKPILE

NORTH STORAGE STOCKPILE

TRANSITION ZONE

TRANSITION ZONE

NORTH-EAST NICHOLSON YARD STOCKPILE

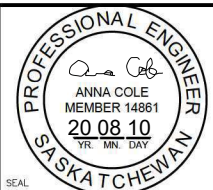
25m WIDE ROW
McORMOND WEST

McORMOND DRIVE

SASKPOWER EASEMENT

CONST.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES.

11			
10			
9			
8			
7			
6			
5			
4			
3			
2	ISSUED FOR CONSTRUCTION	2019-DEC-05	EDH
1	ISSUED FOR TENDER	2019-JAN-29	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
DATE:	DATE:
DRAWN BY:	DATE:



BRIGHTON LAND DEVELOPMENT
NICHOLSON YARD AREA GRADING
DESIGN CONTOURS

CHIEF ENGINEER	DATE
SCALES:	
HOR. 1:1750	
VERT. 1:1750	
SHEET NO. 39	PLAN NO. 113-0089-304r002

LEGEND:

- -0.25 CUT CONTOUR
- 0.25 FILL CONTOUR
- 0.0 O.O CUT/FILL CONTOUR

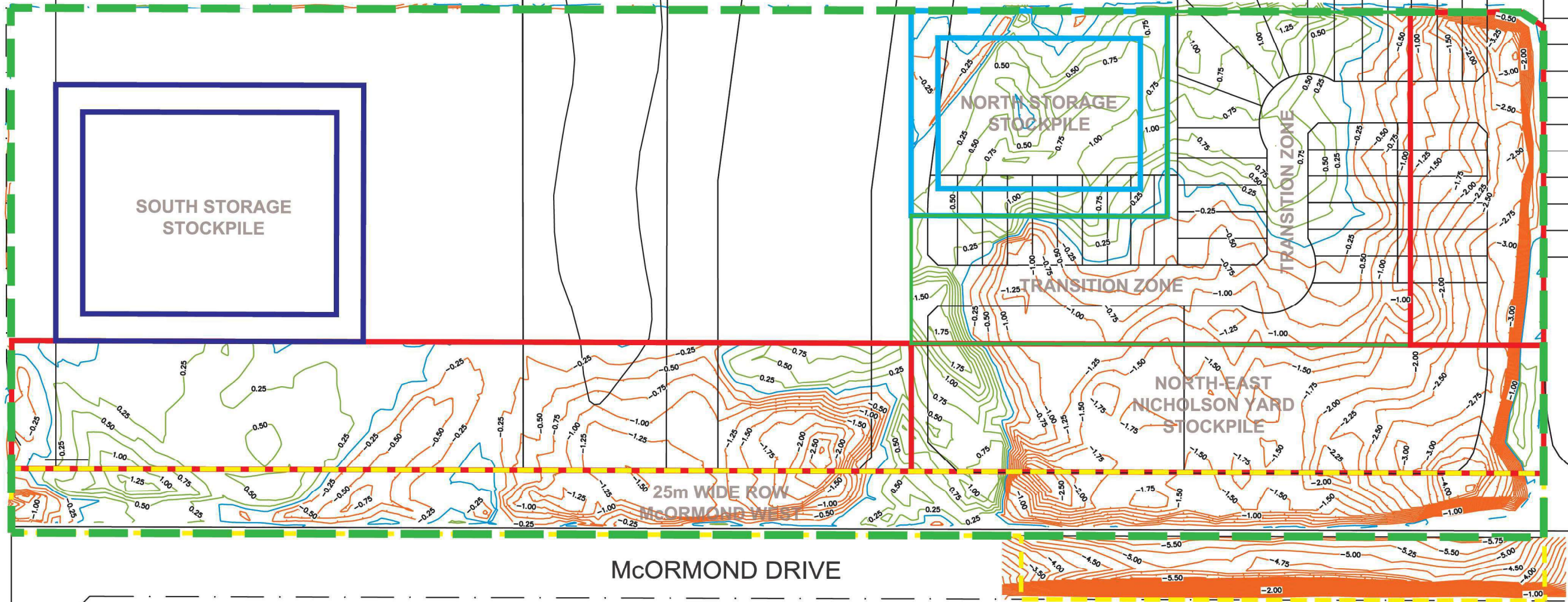
NOTE:

1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF "EXISTING GROUND -250MM" (TOPSOIL) (COS SURVEY APR 2018) vs "PRELIMINARY DESIGN"



8TH STREET E

DELAINEY ROAD



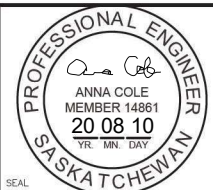
McCORMOND DRIVE

SASKPOWER EASEMENT

CONST.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES.

11			
10			
9			
8			
7			
6			
5			
4			
3			
2	ISSUED FOR CONSTRUCTION	2019-DEC-05	EDH
1	ISSUED FOR TENDER	2019-JAN-29	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY:	DATE

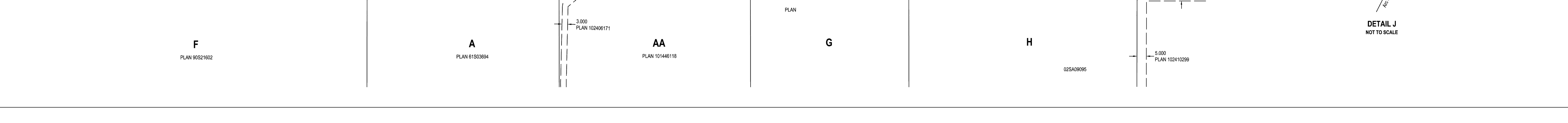
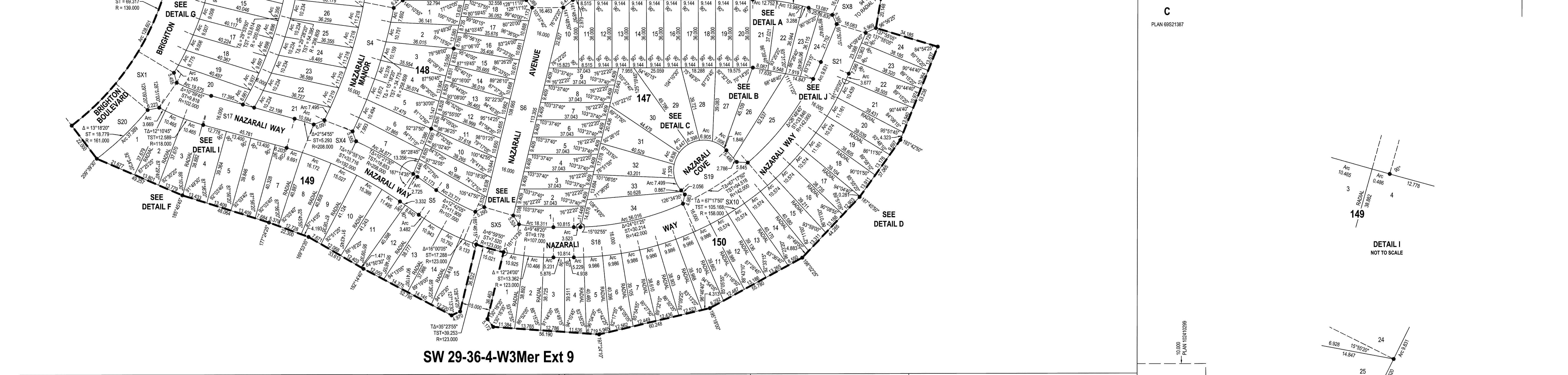
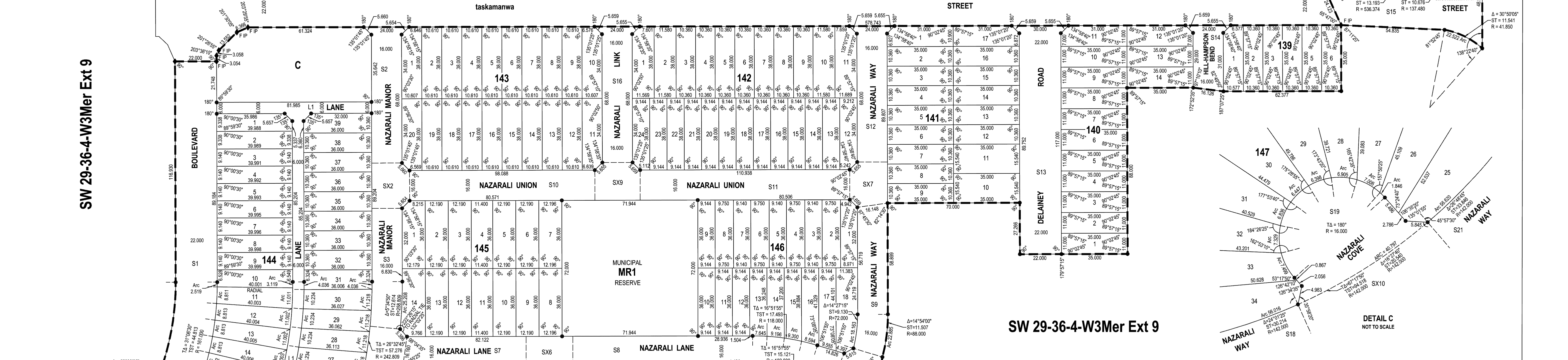
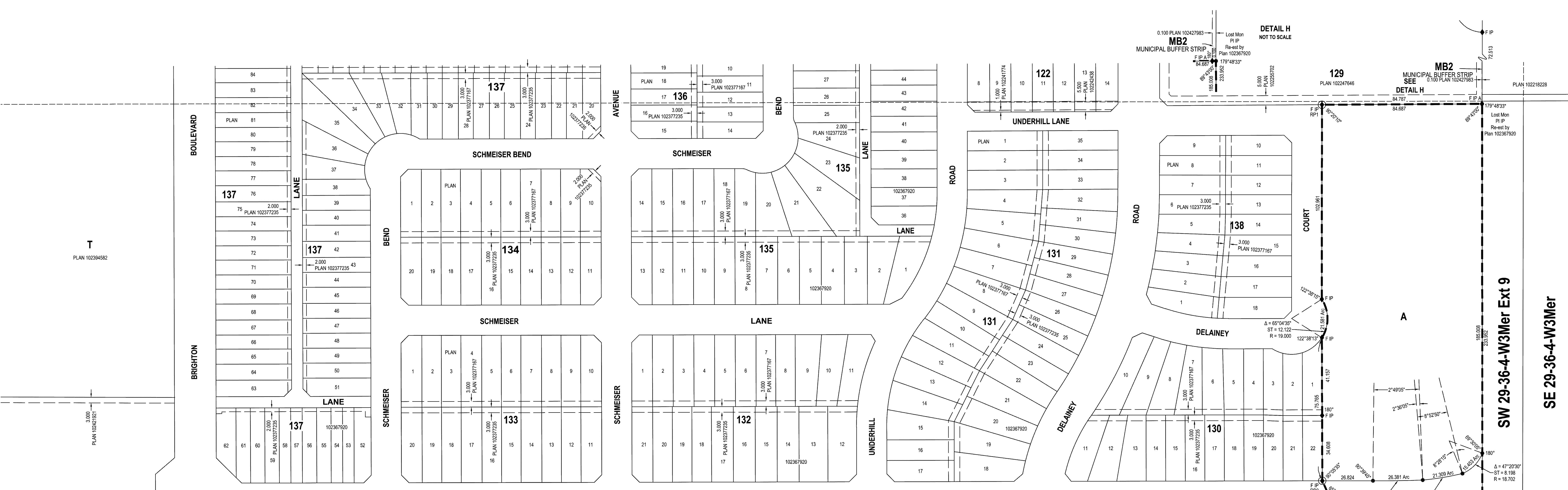
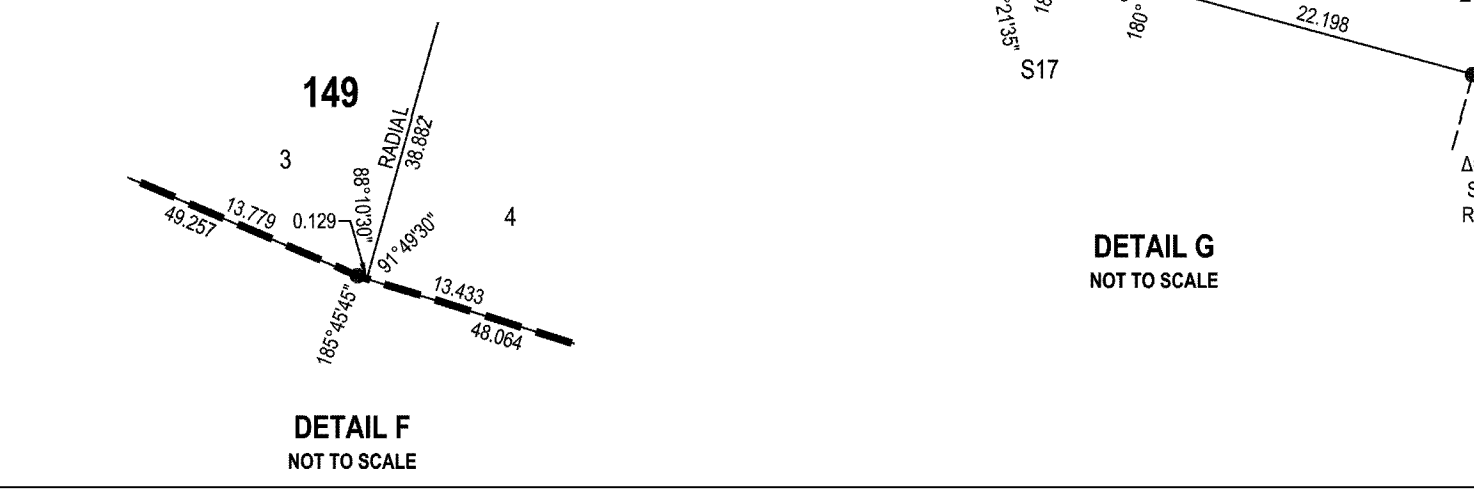
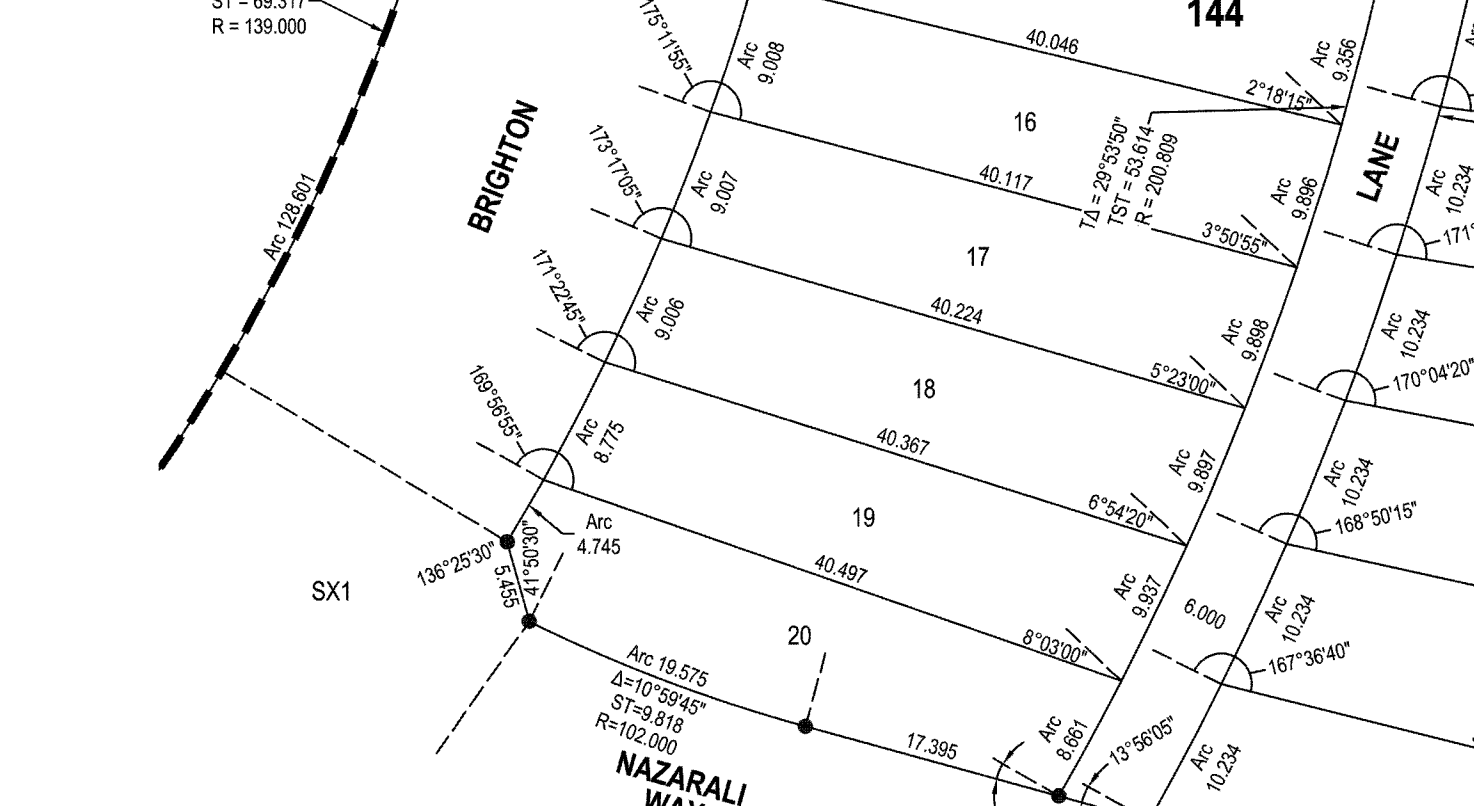
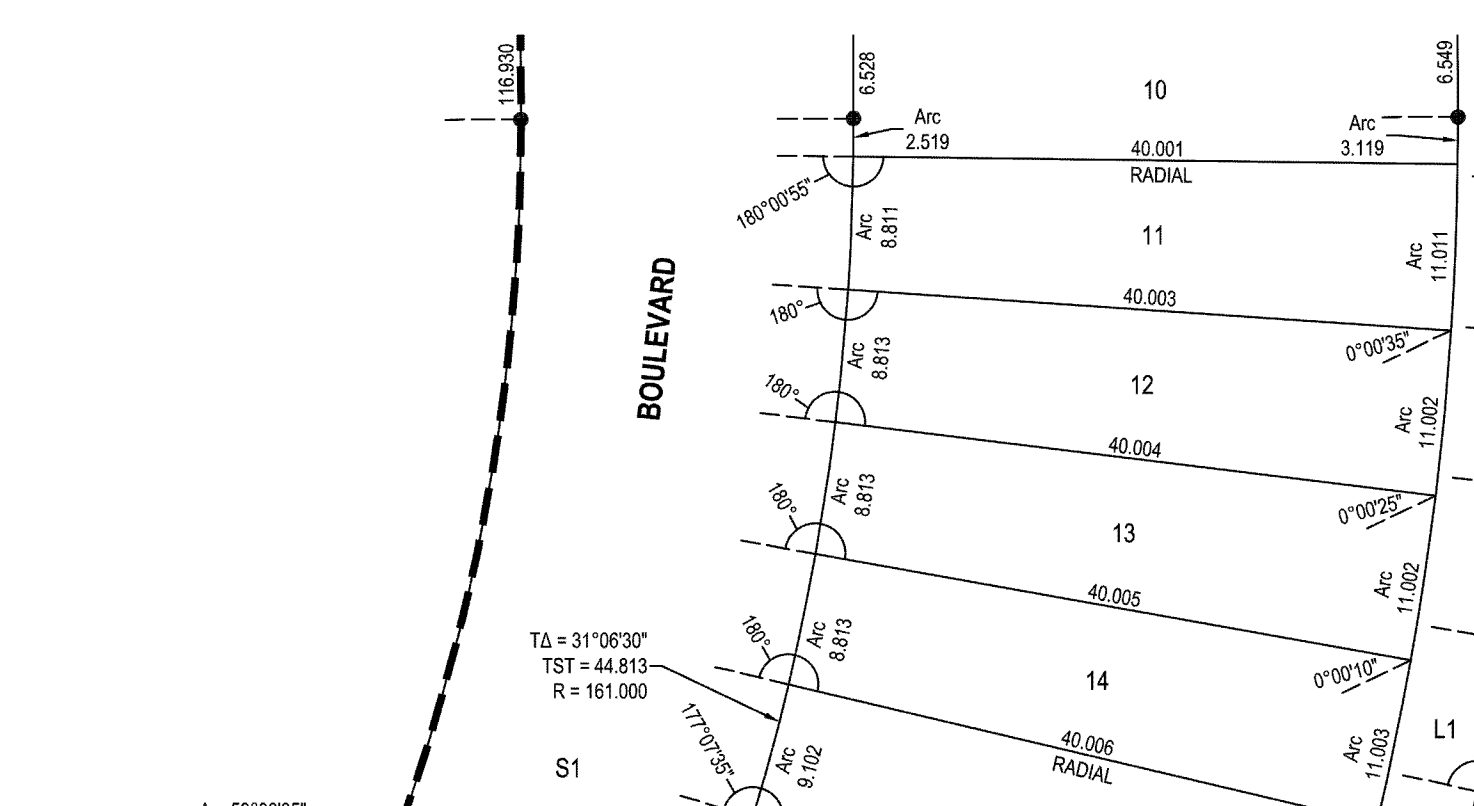
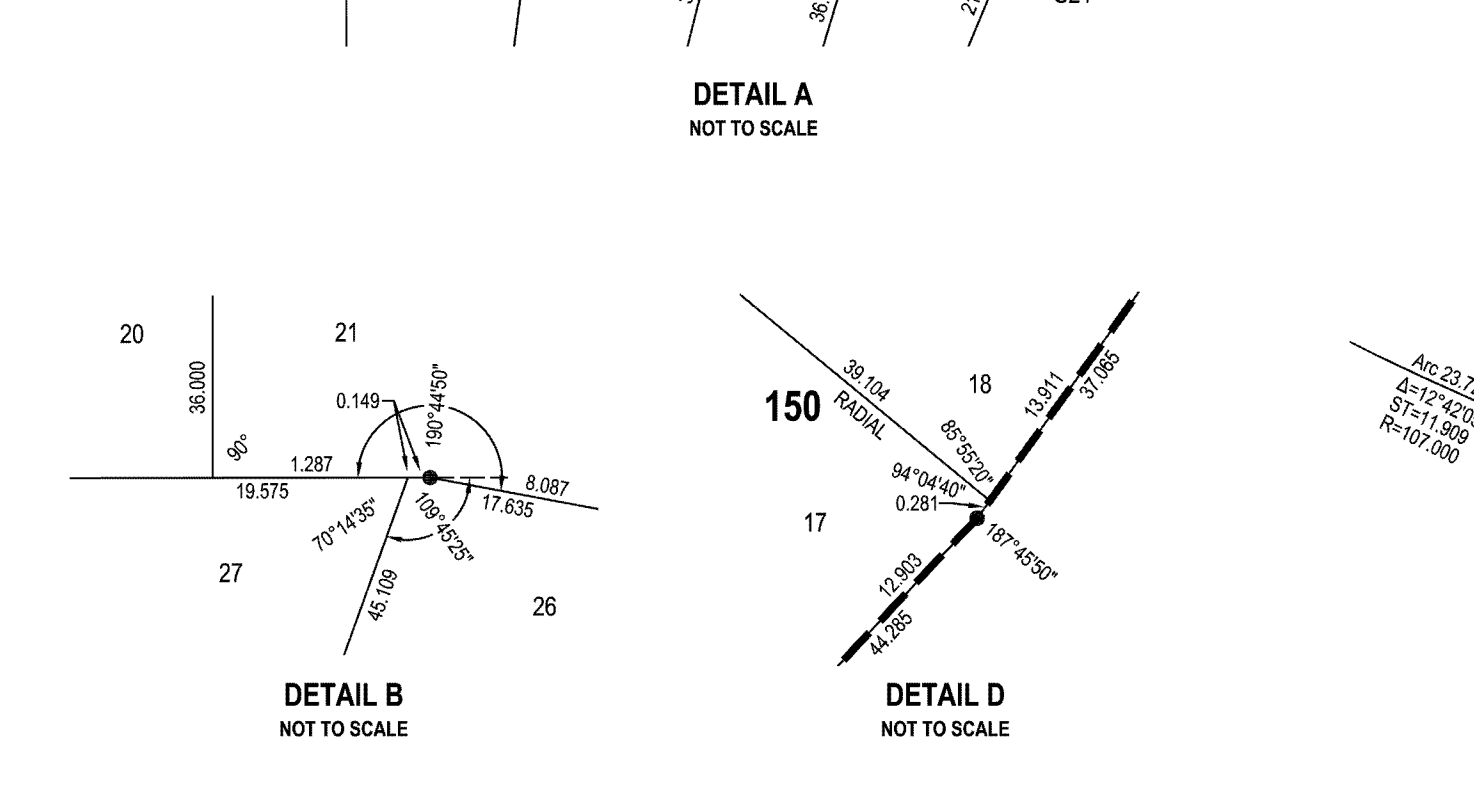
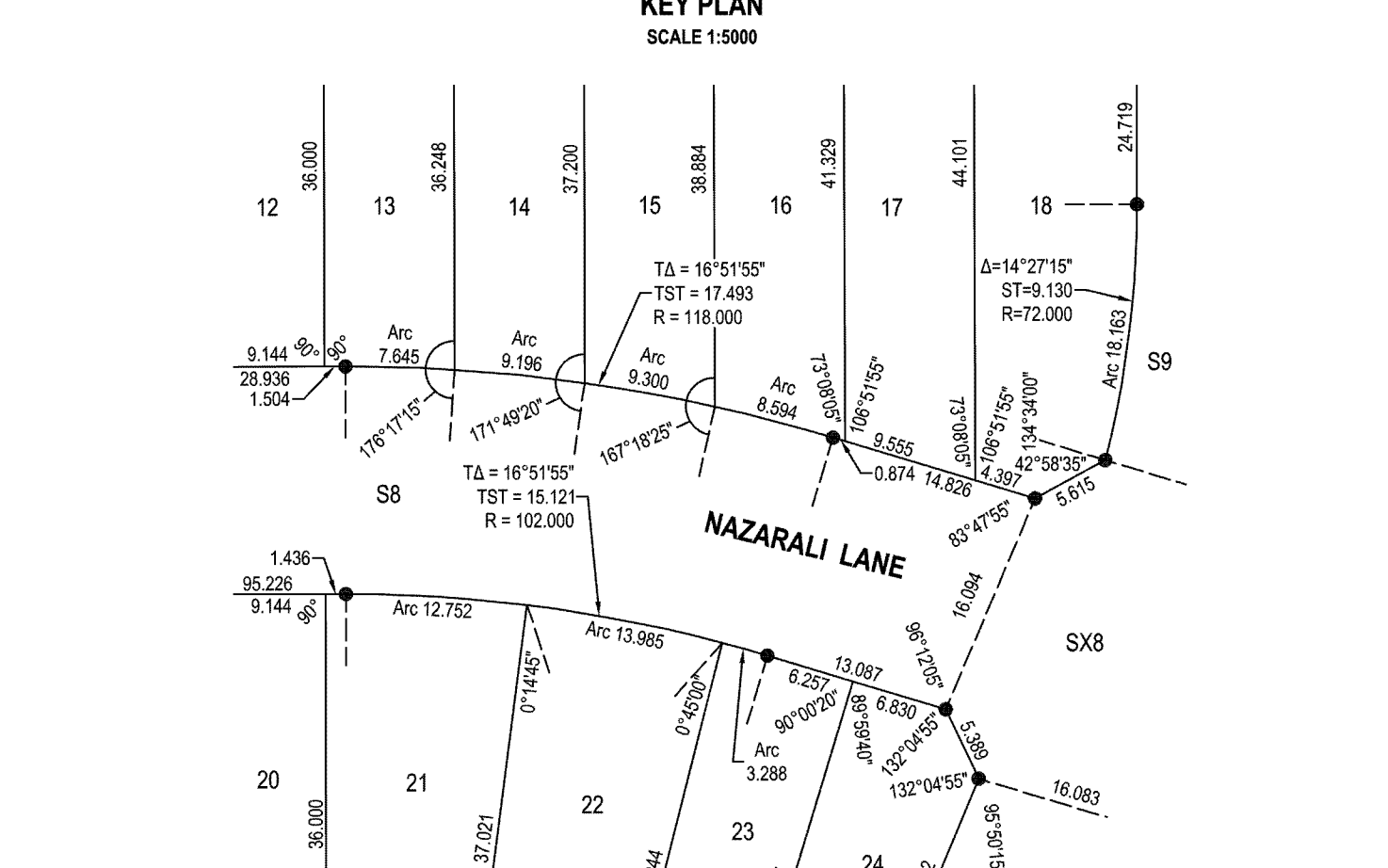
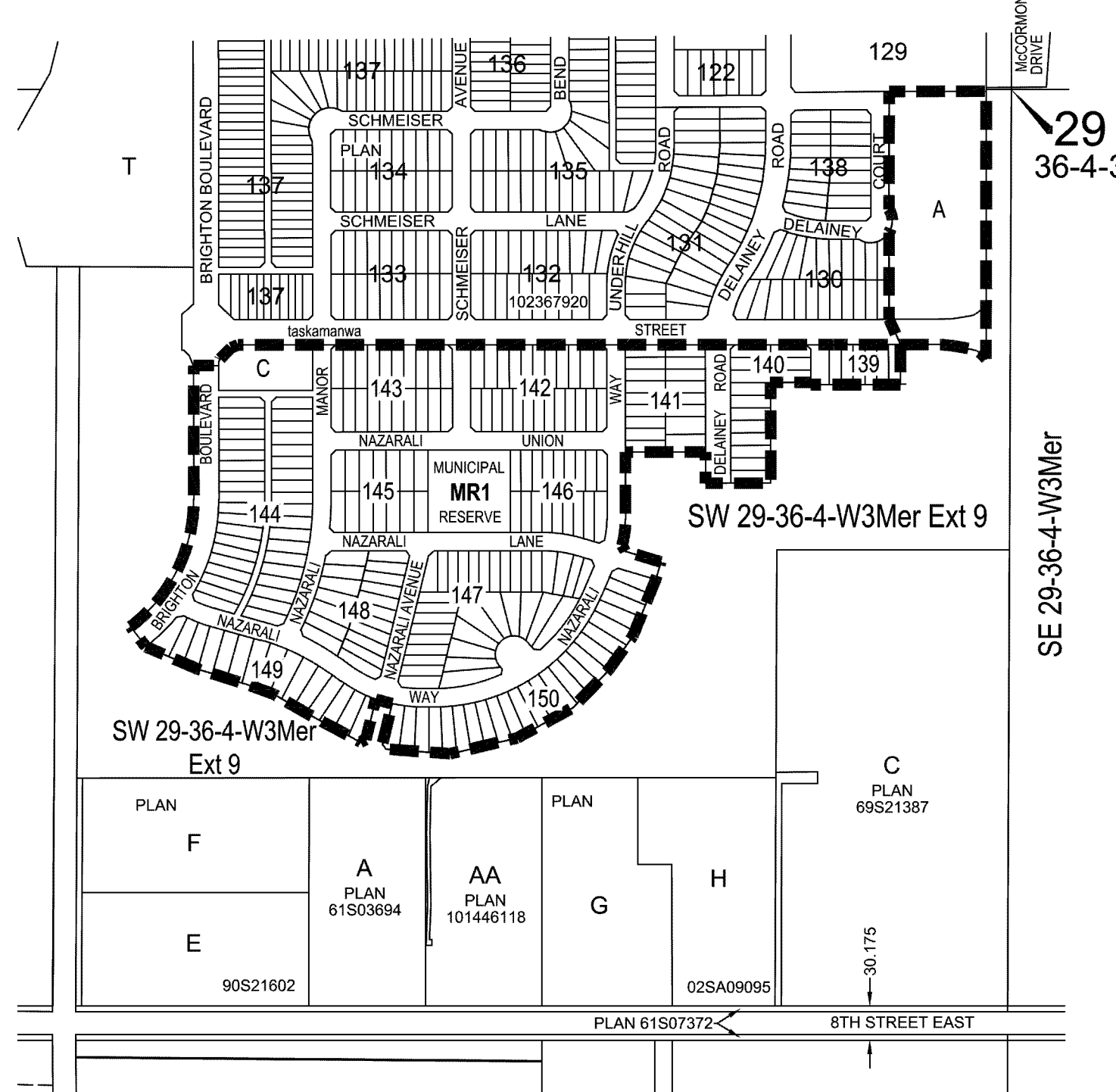


BRIGHTON LAND DEVELOPMENT
NICHOLSON YARD AREA GRADING
DESIGN CONTOURS




CHIEF ENGINEER	
SCALES:	
HOR. 1:1750	DATE
VERT. 1:1750	
SHEET NO. 40	PLAN NO. 113-0089-306r002

PLAN OF SURVEY
SHOWING
SURFACE SUBDIVISION
OF PART OF
SW 1/4 SEC 29
TWP 36 RGE 4 W3MER
CITY OF SASKATOON
SASKATCHEWAN
BY: KENT P. HEADRICK, S.L.S.
DATE: AUGUST 2023 - OCTOBER 2024
SCALE: 1:1000

LEGEND
STANDARD ROAD ALLOWANCES ON THIS PLAN ARE 20.117 METRES IN WIDTH.
MEASUREMENTS ARE IN METRES AND DECIMAL THEREOF.
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.
ALL PARCELS WITHIN THE AREA OF APPROVAL HAVE AN EXTENSION OF ZERO.
THE LANGUAGE IDENTIFIER OF S452 HAS BEEN STAMPED ON ALL ESTABLISHED STANDARD IRON POSTS.
STANDARDS IRON POSTS PLANTED ARE SHOWN THIS: .
ALL LOT CORNERS, NOT MARKED BY A STANDARD POST, ARE MARKED BY 0.013 x 0.040 SMALL IRON POST.
MONUMENTS LOCATED ARE SHOWN THIS: .
REFERENCE POINTS ARE SHOWN THIS:



DESCRIPTIVE PLAN - TYPE II
SHOWING
FEATURE UTILITY
RIGHT OF WAY
IN
PARCEL A,
MUNICIPAL RESERVE, MR1,
PARCEL C,
LOTS 1-6, BLOCK 139,
LOTS 1-14, BLOCK 140,
LOTS 1-17, BLOCK 141,
LOTS 1-24, BLOCK 142,
LOTS 1-39, BLOCK 144,
LOTS 1-14, BLOCK 145,
LOTS 1-18, BLOCK 146,
LOTS 1-34, BLOCK 147,
LOTS 1-18, BLOCK 148,
LOTS 1-15, BLOCK 149,
LOTS 1-24, BLOCK 150,
PLAN 102438503
WITHIN THE
SW 1/4 SEC 29
TWP 36 RGE 4 W3MER
CITY OF SASKATOON, SASKATCHEWAN
BY: KENT P. HEADRICK, S.L.S.
DATE: AUGUST 5, 2023 - OCTOBER 2, 2024
SCALE: 1:1000

LEGEND
WIDTH OF RIGHT OF WAY IS 3.000 METRES UNLESS OTHERWISE SHOWN.
NEW RIGHT OF WAY LIMITS ARE STRAIGHT LINES UNLESS OTHERWISE SHOWN.
MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.
THE EXTENSIONS OF ALL PARCELS AFFECTED BY THIS FEATURE ARE 3 UNLESS OTHERWISE SHOWN.
THE DATUM USED: NAD83/CRS82; THE PROJECTION USED: UTM ZONE 19N EXTENDED.
RP1: NORTHING 372527.08; EASTING 394493.135
RP2: NORTHING 372528.107; EASTING 394493.086
RP COORDINATES WERE DERIVED ON NOVEMBER 11TH, 2023.
GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS.
MONUMENTS FOUND ARE SHOWN THIS  
REFERENCE POINTS ARE SHOWN THIS 



SW 29-36-4-W3Mer

SW 29-36-4-W3Mer

SW 29-36-4-W3Mer

SW 29-36-4-W3Mer

F
PLAN 90521602

A
PLAN 61502694

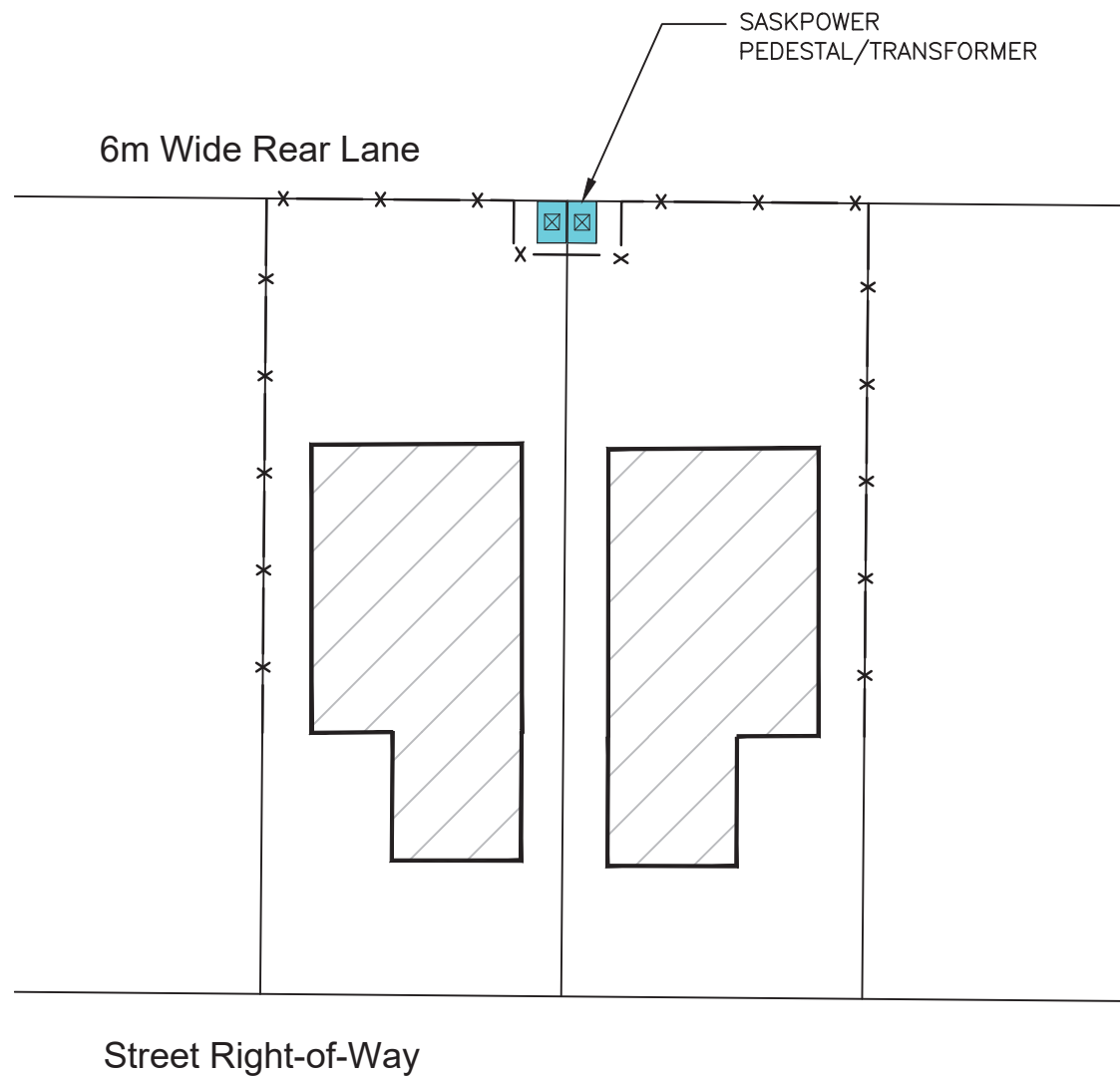
AA
PLAN 101448118

G

H

02S40906

Lots 21 to 39 Block 144



LEGEND

— x — FENCE LOCATION – UTILITY PEDESTALS AND TRANSFORMERS MUST BE ACCESSIBLE FROM REAR LANE AND BE LOCATED OUTSIDE FENCE AS SHOWN

Servicing From Lane
SaskPower and SaskEnergy
Underground Lines

Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Branch.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- Saskatoon Land takes no responsibility regarding the legality of the building layout on the lot.

Lots 9.5m Wide and Less

Water and Sewer Connection Requirements

Please refer to the Design and Development Standards Manual, Section 7, Part 3

This manual can be found on the City of Saskatoon website (www.saskatoon.ca)

- Click on Business & Development along the top
- Under Development Regulation - Click on Specifications and Standards
- Click on Design & Development Standards Manual

If the water and sewer connection into the lot can be within 1.5 meters of the side property line and not obstructed by any structures, no additional requirements are needed.

If the dwelling needs to be less than 1.5 meters from the side property line and the entire frontage of dwelling is garage, there are a few alternatives that could be done on installations to meet City Specification and Standards for similar buildings/situations:

- a) A water and sewer connection can be installed less than 1.5 meters from the side property line if both adjacent lot owners agree to registering an easement on the adjoining property at their cost.
- b) The water and sewer connection could be installed under the garage, given that the following is met:
 - i. For the sewer connection the licensed water and sewer contractor installs the sewer up to the front of the garage only, and the sewer connection under the garage is installed by a licensed plumbing contractor to meet plumbing code requirements. As part of the sewer plumbing installation, the piping materials, connections, cleanouts, and air testing need to meet the plumbing code.
 - ii. The water connection can be installed by the licensed water and sewer contractor under the garage up to the foundation, or the licensed water and sewer contractor can stop installing the water connection at the garage front where they stopped installing the sewer and leave enough polyethylene pipe for the plumbing contractor to complete the water installation at the same time as the sewer connection installation under the garage.

The main reason for the 1.5 meter side yard requirement is for future maintenance. When connections require maintenance or replacement in the future there needs to be enough room for the excavation without effecting the adjacent property, unless an easement on that adjoining property is in place.

Any inquires should be directed to the City of Saskatoon Connections Desk at 306-975-1475.