

ORDER OF BUSINESS

REGULAR MEETING OF CITY COUNCIL

TUESDAY, SEPTEMBER 4, 2012, AT 6:00 P.M.

1. **Approval of Minutes** of meeting of City Council held on August 15, 2012.

 2. **Public Acknowledgements**

 3. **Hearings (6:00 p.m.)**
 - a) **Proposed Rezoning from R1A to RM3, RMTN and R1B; and from AG to R1A
Richardson Road, Lehrer Manor, Lehrer Crescent and 37th Street West
Hampton Village Neighbourhood
Applicant: City of Saskatoon, Land Branch
Proposed Bylaw No. 9049
(File No. CK. 4351-012-015)**
-

The purpose of this hearing is to consider proposed Bylaw No. 9049.

Attached is a copy of the following:

- Proposed Bylaw No. 9049;
 - Clause 1, Report No. 6-2012 of the Municipal Planning Commission, which was adopted by City Council at its meeting held on August 15, 2012;
 - Notice that appeared in the local press on August 18, 2012.
-
- b) **Proposed Neighbourhood Concept Plan Amendment
Stonebridge Neighbourhood
Applicant: Dundee Developments
(File No. CK. 4351-012-012)**
-

The purpose of this hearing is to consider a proposed Stonebridge Neighbourhood Concept Plan Amendment.

Attached is a copy of the following:

- Proposed Bylaw No. 9050;
- Report of the General Manager, Community Services Department, dated August 7, 2012, recommending that the proposed Stonebridge Neighbourhood Concept Plan amendment within the southeast corner of the Stonebridge neighbourhood be approved;
- Letter dated August 17, 2012, from the Secretary of the Municipal Planning Commission advising the Commission supports the above-noted recommendation; and
- Notice that appeared in the local press on August 18, 2012.

c) **Proposed Rezoning from R1A to R1B, R2, RM3, RMTN and RMTN1
Stonebridge Neighbourhood
Applicant: Dundee Developments
Proposed Bylaw No. 9050
(File No. CK. 4351-012-012)**

The purpose of this hearing is to consider proposed Bylaw No. 9050.

Attached is a copy of the following:

- Proposed Bylaw No. 9050;
- Report of the General Manager, Community Services Department, dated August 7, 2012, recommending that the proposed Stonebridge Neighbourhood Concept Plan amendment within the southeast corner of the Stonebridge neighbourhood be approved (**See Attachment 3b**);
- Letter dated August 17, 2012, from the Secretary of the Municipal Planning Commission advising the Commission supports the above-noted recommendation (**See Attachment 3b**);
- Notice that appeared in the local press on August 18, 2012; and
- Letter dated August 19, 2012 from Greg and Brenda Lock submitting comments regarding the above matter.

- d) **Proposed Rezoning from R1A to R1B and RMTN
Evergreen Boulevard, Kloppenburg Crescent, Bend, Link, Street, and Way
Evergreen Neighbourhood
Applicant: City of Saskatoon, Land Branch
Proposed Bylaw No. 9051
(File No. CK. 4351-012-013)**
-

The purpose of this hearing is to consider proposed Bylaw No. 9051.

Attached is a copy of the following:

- Proposed Bylaw No. 9051;
- Clause 5, Report No. 6-2012 of the Municipal Planning Commission, which was adopted by City Council at its meeting held on August 15, 2012;
- Notice that appeared in the local press on August 18, 2012.

- e) **Proposed Rezoning from R1A(H) to R1A
FUD to R1A, and R1A(H) to R1B
Kensington Neighbourhood
Applicant: City of Saskatoon, Land Branch
Proposed Bylaw No. 9052
(File No. CK. 4351-012-011)**
-

The purpose of this hearing is to consider proposed Bylaw No. 9052.

Attached is a copy of the following:

- Proposed Bylaw No. 9052;
- Clause 4, Report No. 6-2012 of the Municipal Planning Commission, which was adopted by City Council at its meeting held on August 15, 2012;
- Notice that appeared in the local press on August 18, 2012.

- f) **Proposed New Commercial Zoning District - B5B Broadway
Nutana Neighbourhood
Applicant: City of Saskatoon, Planning and Development Branch
Proposed Bylaw No. 9053
(File No. CK. 4351-012-005)**
-

The purpose of this hearing is to consider proposed Bylaw No. 9053.

Attached is a copy of the following:

- Proposed Bylaw No. 9053;
- Clause 2, Report No. 6-2012 of the Municipal Planning Commission, which was adopted by City Council at its meeting held on August 15, 2012; and
- Notice that appeared in the local press on August 18, 2012.

- g) **Proposed New Architectural Control Overlay District – AC2 – B5B
Nutana Neighbourhood
Applicant: City of Saskatoon, Planning and Development Branch
Proposed Bylaw No. 9055
(File No. CK. 4351-012-005)**
-

The purpose of this hearing is to consider proposed Bylaw No. 9055.

Attached is a copy of the following:

- Proposed Bylaw No. 9055;
- Clause 2, Report No. 6-2012 of the Municipal Planning Commission, which was adopted by City Council at its meeting held on August 15, 2012 (**See Attachment 3f**); and
- Notice that appeared in the local press on August 18, 2012 (**See Attachment 3f**).

**h) Proposed Rezoning from B5 to B5B Commercial District
Nutana Neighbourhood
Applicant: City of Saskatoon, Planning and Development Branch
Proposed Bylaw No. 9054
(File No. CK. 4351-012-010)**

The purpose of this hearing is to consider proposed Bylaw No. 9054.

Attached is a copy of the following:

- Proposed Bylaw No. 9054;
- Clause 3, Report No. 6-2012 of the Municipal Planning Commission, which was adopted by City Council at its meeting held on August 15, 2012; and
- Notice that appeared in the local press on August 18, 2012.

**i) Proposed Zoning Bylaw Amendment – AC2 – B5B
Nutana Neighbourhood
Applicant: City of Saskatoon, Planning and Development Branch
Proposed Bylaw No. 9056
(File No. CK. 4351-012-0105)**

The purpose of this hearing is to consider proposed Bylaw No. 9056.

Attached is a copy of the following:

- Proposed Bylaw No. 9056;
- Clause 3, Report No. 6-2012 of the Municipal Planning Commission, which was adopted by City Council at its meeting held on August 15, 2012 (**See Attachment 3h**); and
- Notice that appeared in the local press on August 18, 2012 (**See Attachment 3h**).

**j) Rosewood – Municipal Reserve Exchange
Proposed Bylaw No. 9057
(File No. CK. 4110-40)**

The purpose of this hearing is to consider proposed Bylaw No. 9057.

Attached is a copy of the following:

- Proposed Bylaw No. 9057;
- Clause 4, Report No. 13-2012 of the Planning and Operations Committee, which was adopted by City Council at its meeting held on August 15, 2012; and
- Notice that appeared in the local press on August 25, 2012.

4. Matters Requiring Public Notice

5. Unfinished Business

6. Reports of Administration and Committees:

- a) Administrative Report No. 13-2012;
- b) Legislative Report No. 11-2012;
- c) Report No. 14-2012 of the Planning and Operations Committee;
- d) Report No. 5-2012 of the Land Bank Committee; and
- e) Report No. 14-2012 of the Executive Committee.

7. Communications to Council – (Requests to speak to Council regarding reports of Administration and Committees)

8. Communications to Council (Sections B, C, and D only)

9. Question and Answer Period

10. Matters of Particular Interest

11. Enquiries

12. Motions

13. Giving Notice

14. Introduction and Consideration of Bylaws

Bylaw No. 9049	-	The Zoning Amendment Bylaw, 2012 (No. 12)
Bylaw No. 9050	-	The Zoning Amendment Bylaw, 2012 (No. 13)
Bylaw No. 9051	-	The Zoning Amendment Bylaw, 2012 (No. 14)
Bylaw No. 9052	-	The Zoning Amendment Bylaw, 2012 (No. 15)
Bylaw No. 9053	-	The Zoning Amendment Bylaw, 2012 (No. 16)
Bylaw No. 9054	-	The Zoning Amendment Bylaw, 2012 (No. 17)
Bylaw No. 9055	-	The Zoning Amendment Bylaw, 2012 (No. 18)
Bylaw No. 9056	-	The Zoning Amendment Bylaw, 2012 (No. 19)

Bylaw No. 9057 - The Rosewood Municipal Reserve Redesignation and Exchange Bylaw, 2012

Bylaw No. 9058 - The Residential Parking Program Amendment Bylaw, 2012 (No. 2)

15. Communications to Council – (Section A - Requests to Speak to Council on new issues)

3a)

BYLAW NO. 9049

The Zoning Amendment Bylaw, 2012 (No. 12)

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 12).

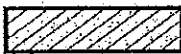
Purpose

2. The purpose of this Bylaw is to amend the Zoning Bylaw to rezone the lands referred to in the Bylaw from an R1A District to an R1B District, an R1A District to an RM3 District, an R1A District to an RMTN District and an AG District to an R1A District respectively.


Zoning Bylaw Amended

3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.


R1A District to RMTN District

4. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an R1A District to an RMTN District:
 - (a) Parcels BB and CC as shown on a Plan of Proposed Subdivision of Lot "K", Block 664 – Reg'd Plan No. 69-S-08033 and part of Parcel "A" – Plan 101880042 and part of N.E. ¼ Sec. 6 – Twp. 37 – Rge. 5 – W.3Mer. all in E ½ Sec. 6 – Twp. 37 – Rge. 5 – W.3Mer. Saskatoon, Saskatchewan, by R.A. Webster, S.L.S. dated April 18, 2012.

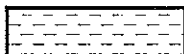
R1A District to RM3 District

5. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an R1A District to an RM3 District:
 - (a) Parcel AA as shown on a Plan of Proposed Subdivision of Lot "K", Block 664 – Reg'd Plan No. 69-S-08033 and part of Parcel "A" – Plan 101880042 and part of N.E. ¼ Sec. 6 – Twp. 37 – Rge. 5 – W.3Mer. all in E ½ Sec. 6 – Twp. 37 – Rge. 5 – W.3Mer. Saskatoon, Saskatchewan, by R.A. Webster, S.L.S. dated April 18, 2012.

R1A District to R1B District

6. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an R1A District to an R1B District:
- (a) Lots 1 to 16, Block 24 as shown on a Plan of Proposed Subdivision of Parcel "J" – Reg'd Plan No., 68-S-11596 and part of Parcel "A" – Plan No. 101880042 and N.E. ¼ Sec. 6 – Twp. 37 – Rge. 5 – W.3Mer. all in E. ½ Sec. 6 – Twp. 37 – Rge. 5 – W.3Mer. Saskatoon, Saskatchewan, by R.A. Webster, S.L.S.

AG District to R1A District

7. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an AG District to an R1A District:
- (a) Surface Parcel No. 144851812
Reference Land Description: Lot L, Block 664, Plan No. 69S08033 Extension 0
As described on Certificate of Title 69S08033A;
and
- (b) Lots 9 and 10 as shown on Plan of Proposed Subdivision of part of Lot L – Block 664 – Reg'd Plan No. 69S08033, part of Glenwood Avenue and all of Glenwood Avenue & 37th Street Intersection Reg'd Plan No. 61S13617 in S.E. ¼ Sec. 6 & S.W. ¼ Sec. 5 Twp. 37 – Rge. 5 – W3rdMer, City of Saskatoon, Saskatchewan, by R.J. Morrison, S.L.S. dated October 14, 2011.

Coming into Force

8. This Bylaw shall come into force on the day of its final passing.

Read a first time this _____ day of _____, 2012.

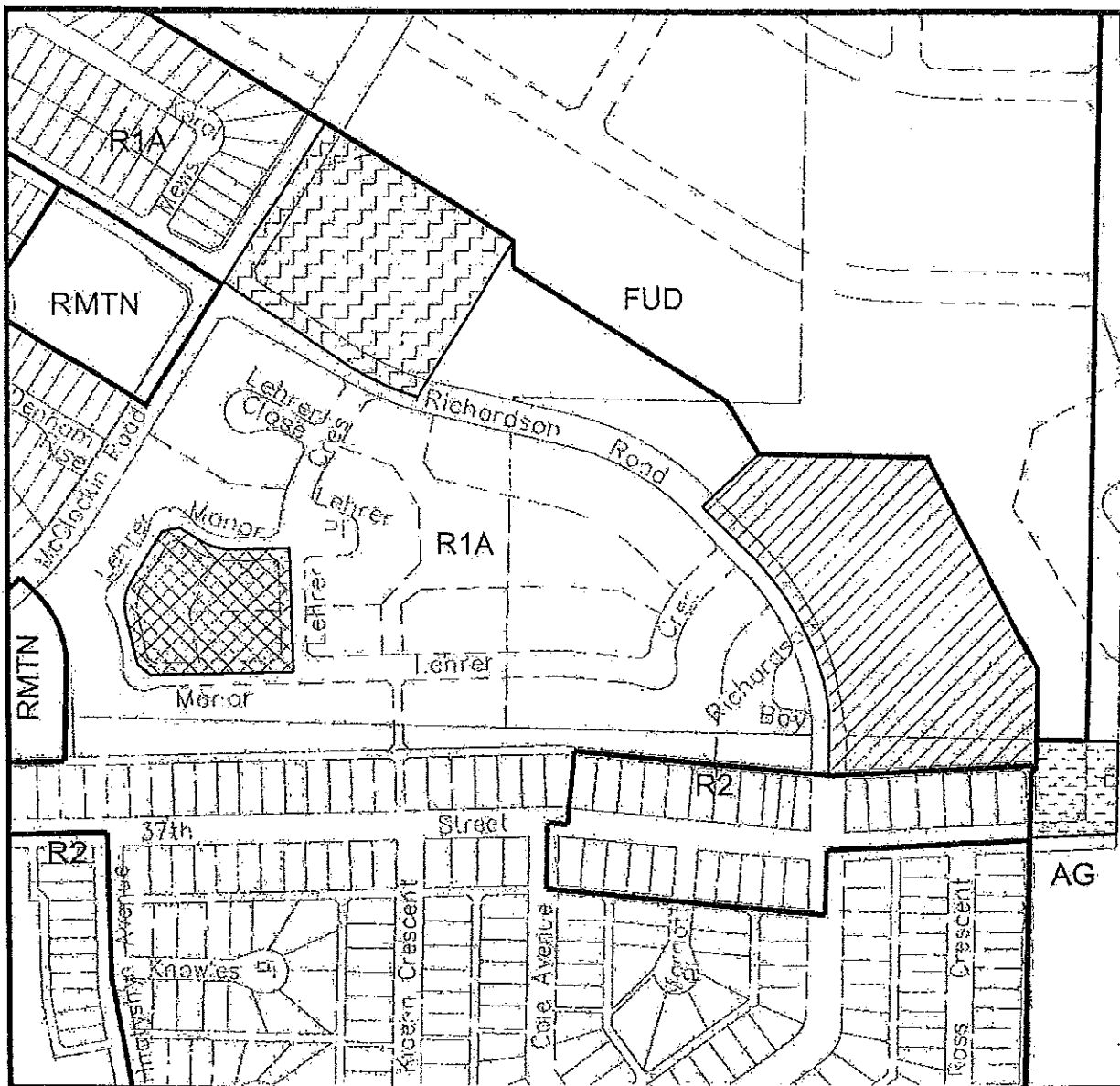
Read a second time this _____ day of _____, 2012.

Read a third time and passed this _____ day of _____, 2012.

Mayor

City Clerk

Appendix "A"



REZONING

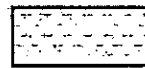
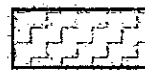


From R1A to RMTN

From R1A to RM3

From R1A to R1B

From AG to R1A



The following is a copy of **Clause 1, Report No. 6-2012 of the Municipal Planning Commission**, which was **ADOPTED** by City Council at its meeting held on **August 15, 2012**:

1. **Proposed Rezoning from R1A to RM3, RMTN and R1B; and from AG to R1A
Richardson Road, Lehrer Manor, Lehrer Crescent and 37th Street West
Hampton Village Neighbourhood
Applicant: City of Saskatoon, Land Branch
(File No. CK. 4351-012-015)**
-

- RECOMMENDATION:**
- 1) that City Council approve the advertising with respect to the proposal to rezone the properties outlined in the report of the General Manager, Community Services Department dated July 16, 2012;
 - 2) that the General Manager, Community Services Department, be requested to prepare the required notices for advertising the proposed amendments;
 - 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
 - 4) that at the time of the public hearing, City Council consider the Commission's recommendation that the proposed amendment to Zoning Bylaw No. 8770 to rezone the land parcels located on Richardson Road, Lehrer Manor, Lehrer Crescent, and a utility parcel (see Attachment 2 to the report of the General Manager, Community Services Department dated July 16, 2012) from R1A – One-Unit Residential District to RM3 – Medium Density Multiple-Unit Dwelling District, RMTN – Townhouse Residential District, and R1B – Small Lot One-Unit Residential District; and AG – Agricultural District to R1A – One-Unit Residential District, be approved based on the reasons outlined in the report of the General Manager, Community Services Department, dated July 16, 2012.

Attached is a report of the General Manager, Community Services Department dated July 16, 2012, with respect to the above proposed rezoning.

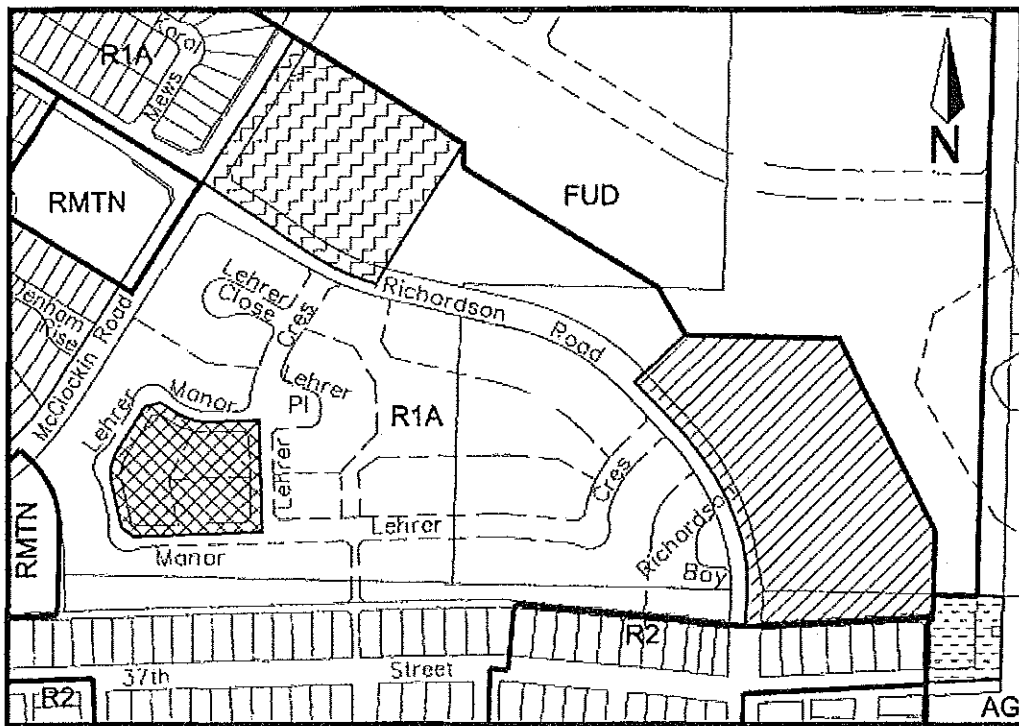
Your Committee has reviewed the proposed rezoning with the Administration and supports the above recommendations.

1.

COMMUNITY SERVICES DEPARTMENT

APPLICATION NO. Z11/12	PROPOSAL Proposed Rezoning from R1A to RM3, RMTN, and R1B; and from AG to R1A	EXISTING ZONING R1A and AG
LEGAL DESCRIPTION Parcels AA, BB, CC, Lots 1 to 16, Block 24; and Parcel L, Lots 9 and 10, Block 664; and Lot L, Block 664, Plan No. 69S08033	CIVIC ADDRESS Richardson Road, Lehrer Manor, Lehrer Crescent, and 37 th Street West	
	NEIGHBOURHOOD Hampton Village	
DATE July 16, 2012	APPLICANT City of Saskatoon, Land Branch 201 3 rd Avenue North Saskatoon SK S7K 2H7	OWNER City of Saskatoon, Land Branch 201 3 rd Avenue North Saskatoon SK S7K 2H7

LOCATION PLAN



PROPOSED REZONING

From R1A to RMTN — From AG to R1A —

From R1A to RM3 — From R1A to R1B —

City of Saskatoon
Planning & Development Branch

File No. RZ11-2012

A. COMMUNITY SERVICES DEPARTMENT RECOMMENDATION:

That a report be forwarded to City Council recommending:

- 1) that City Council approve the advertising with respect to the proposal to rezone the properties outlined in this report;
- 2) that the General Manager, Community Services Department, be requested to prepare the required notices for advertising the proposed amendments;
- 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
- 4) that at the time of the public hearing, City Council consider the Administration's recommendation that the proposed amendment to the Zoning Bylaw No. 8770 to rezone the land parcels located on Richardson Road, Lehrer Manor, Lehrer Crescent, and a utility parcel (see Attachment 2) from R1A – One-Unit Residential District to RM3 – Medium Density Multiple-Unit Dwelling District, RMTN – Townhouse Residential District, and R1B – Small Lot One-Unit Residential District; and AG – Agricultural District to R1A – One-Unit Residential District, be approved based on the reasons outlined in this report.

B. PROPOSAL

The Planning and Development Branch has received an application from the City of Saskatoon, Land Branch requesting that the land parcels located on Richardson Road, Lehrer Manor, Lehrer Crescent, and a utility parcel (see Attachment 2) be rezoned as follows:

- 1) R1A – One-Unit Residential District to RM3 – Medium Density Multiple-Unit Dwelling District - this property (Parcel AA) is located on the northern corner of Richardson Road and McClocklin Road;
- 2) R1A – One-Unit Residential District to RMTN – Townhouse Residential District - these properties (Parcels BB and CC) are located adjacent to Richardson Road in the south east corner of the subject area;
- 3) R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District - these properties (Block 24) are surrounded by Lehrer Manor in the south west portion of the subject area; and
- 4) AG – Agricultural District to R1A – One-Unit Residential District - this property is located at the very outset of the south east corner of the subject area, adjacent to the

termination point of 37th Street West.

The remaining residential lots shown on the attached Location Plan of Proposed Subdivision (see Attachment 2) will retain the current R1A zoning designation.

C. REASON FOR PROPOSAL (By Applicant)

The proposed rezoning will permit the development of the aforementioned lands in a manner which is consistent with the Hampton Village Neighbourhood Concept Plan (Concept Plan).

D. BACKGROUND INFORMATION

The subject sites are currently zoned AG and R1A and are greenfield properties located within the most easterly section of Hampton Village, which is in the final phase of neighbourhood development. The Concept Plan for Hampton Village was approved by City Council in 2004 and provides a wide range of housing options, which included the RM3 and RMTN properties identified in the administrative report. In October 2011, City Council approved a minor Concept Plan Amendment that moved the RIB – Small Lot Residential area to the parcel bound by Lehrer Manor. In addition to this, there was a reconfiguration of the utility parcel (dry pond) that did not affect the overall size of that parcel. At the time leading up to the public hearing, public notice was sent to the Hampton Village Community Association and a notice was advertised in The StarPhoenix.

In order to accommodate future development, the proposed Zoning Bylaw No. 8770 amendments will change the zoning designations for the specified areas of the neighbourhood to permit residential development.

E. JUSTIFICATION

1. Community Services Department Comments

a) Planning and Development Branch

The proposed rezoning is in compliance with the approved Concept Plan and will accommodate a diversity of housing types in the Hampton Village neighbourhood. Future development on this site will comply with the development standards identified in the R1A, RM3, RMTN, and R1B Zoning Districts. As such, the Planning and Development Branch has no concerns regarding the proposed rezoning of the identified properties.

2. Comments by Others

a) Infrastructure Services Department

The proposed Zoning Bylaw No. 8770 amendment is acceptable to the Infrastructure Services Department.

Please note that the properties zoned RMTN and RM3 may require a Traffic Impact Study upon development of the parcels.

b) Utility Services Department, Transit Services Branch

At present, the Transit Branch's closest bus stop is approximately 450 metres from the above referenced properties, located on the east side of East Hampton Boulevard and north of McClocklin Road.

Bus service is at 30 minute intervals Monday to Saturday and at 60 minute intervals after 18:00 Monday to Friday, early Saturday mornings, Sundays, and statutory holidays.

F. COMMUNICATION PLAN

Once this application has been considered by the Municipal Planning Commission, it will be advertised in accordance with Public Notice Policy No. C01-021, and a date for a public hearing will be set. The property owners affected by this rezoning will be notified in writing. The Planning and Development Branch will also notify the Community Consultant and the Ward Councillor of the public hearing date by letter. A notice will be placed in The StarPhoenix two weeks prior to the public hearing. Notice boards will also be placed on the site.

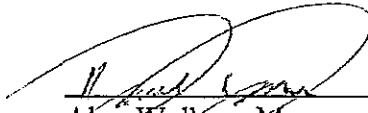
G. ENVIRONMENTAL IMPLICATIONS

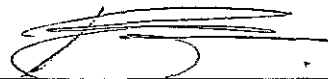
There are no environmental and/or greenhouse gas implications.

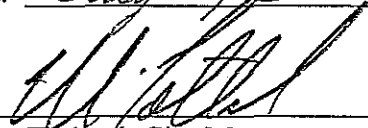
H. ATTACHMENTS

1. Fact Summary Sheet
2. Location Plan

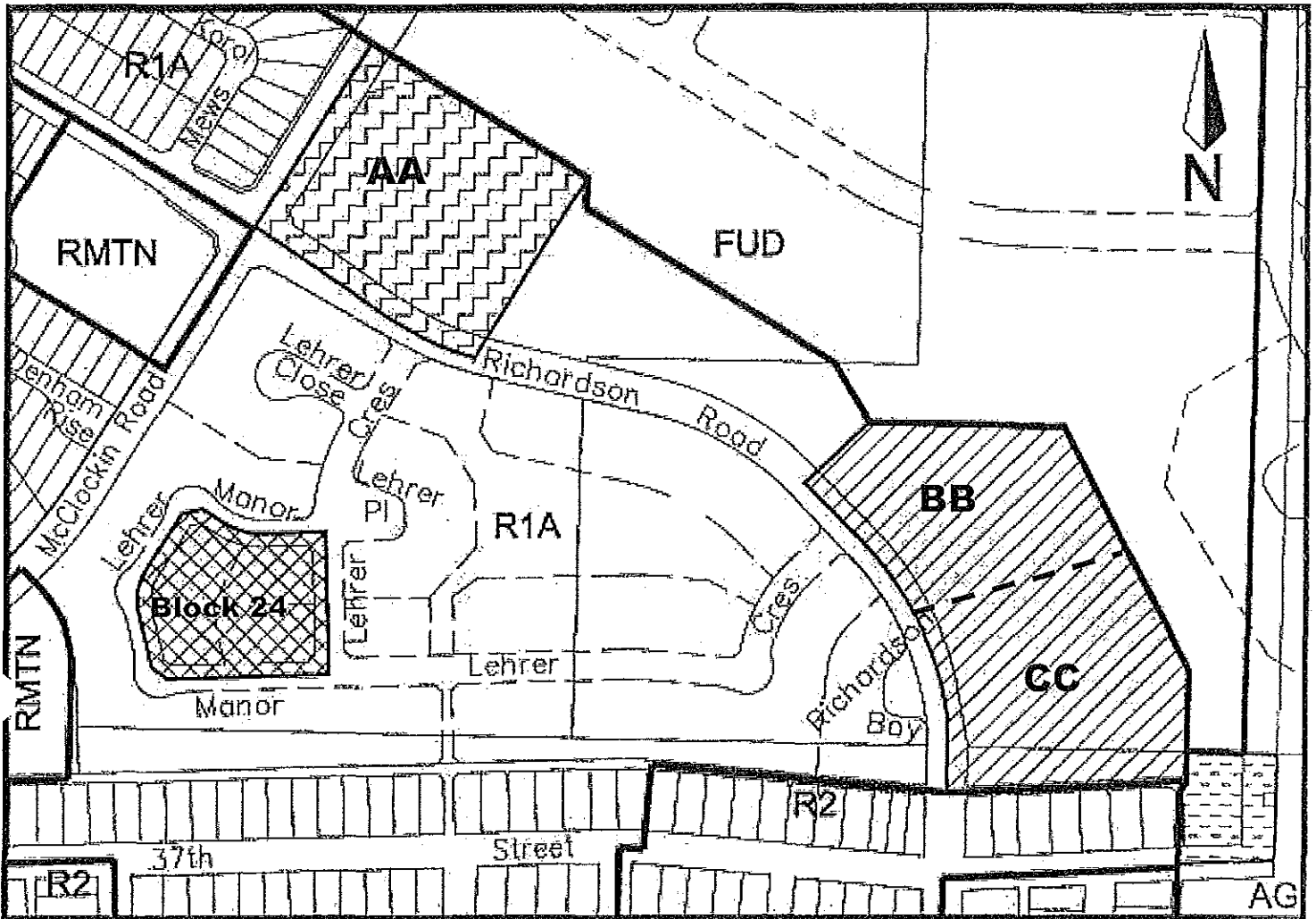
Written by: Daniel Gray, Planner 16

Reviewed by:  For
Alan Wallace, Manager
Planning and Development Branch

Approved by: 
Randy Grauer, General Manager
Community Services Department
Dated: July 31, 2012

Approved by: 
Murray Totland, City Manager
Dated: Aug 11/12

FACT SUMMARY SHEET	
A. Location Facts	
1. Municipal Address	Richardson Road, Lehrer Manor, Lehrer Crescent, and Right-of-Way Parcel
2. Legal Description	Parcels AA, BB, CC, Lots 1 to 16, Block 24; and Parcel L, Lots 9 and 10, Block 664; and Lot L, Block 664, Plan No. 69S08033
3. Neighbourhood	Hampton Village
4. Ward	4
B. Site Characteristics	
1. Existing Use of Property	Residential – R1A
2. Proposed Use of Property	Residential – RM3, RMTN, and R1B
3. Adjacent Land Uses and Zoning	Residential and FUD
North – Aerogreen Neighbourhood	Future Urban Development - FUD
South – Westview Neighbourhood	Residential – R1A and R2
East – Aerogreen Neighbourhood	Future Urban Development - FUD
West – Hampton Village Neighbourhood	Residential – R1A
4. No. of Existing Off-Street Parking Spaces	N/A
5. No. of Off-Street Parking Spaces Required	N/A
6. No. of Off-Street Parking Spaces Provided	N/A
7. Site Frontage	N/A
8. Site Area	N/A
9. Street Classification	Richardson Road – Major Collector Richardson Bay – Local Street Lehrer Crescent – Local Street Lehrer Manor – Local Street
C. Official Community Plan Policy	
1. Existing Official Community Plan Designation	Residential
2. Proposed Official Community Plan Designation	Residential
3. Existing Zoning District	R1A
4. Proposed Zoning District	RM3, RMTN, and R1B



PROPOSED REZONING



From R1A to RMTN —		From AG to R1A —	
From R1A to RM3 —		From R1A to R1B —	

File No. RZ11-2012

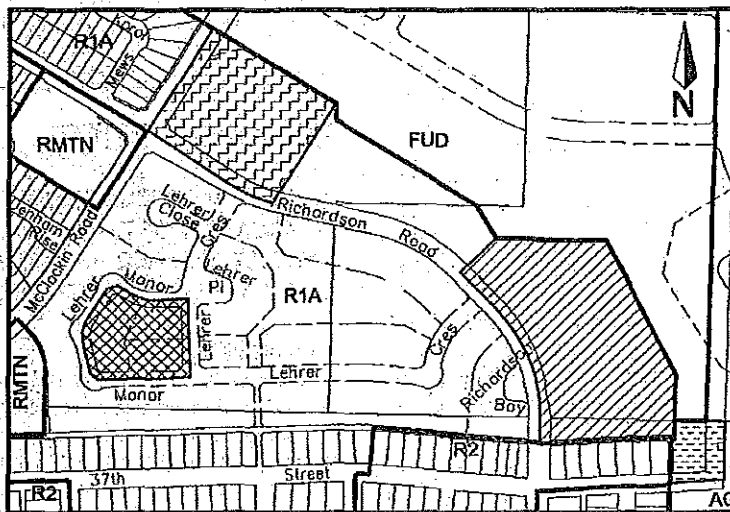
ZONING NOTICE

HAMPTON VILLAGE NEIGHBOURHOOD PROPOSED ZONING BYLAW AMENDMENT – BYLAW NO. 9049

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No. 8770). Through Bylaw No. 9049, the Zoning Amendment Bylaw 2012 (No. 12), the properties in the Hampton Village Neighbourhood as shown in the map below will be rezoned from R1A - One-Unit Residential District to R1B - Small Lot One-Unit Residential District, RM3 - Medium Density Multiple-Unit Dwelling District, and RMTN - Townhouse Residential District; and from a AG - Agricultural District to a R1A - One-Unit Residential District.

LEGAL DESCRIPTION – Parcels AA, BB, CC, Lots 1-16, Block 24; Parcel L, Lots 9 and 10, Block 664; and Lot L, Block 664, Plan No. 69S08033

CIVIC ADDRESS – Richardson Road, Lehrer Manor, Lehrer Crescent, and 37th Street West.



PROPOSED REZONING



From R1A to RMTN — 	From AG to R1A — 
From R1A to RM3 — 	From R1A to R1B — 

File No. RZ11-2012

REASON FOR THE AMENDMENT – The proposed rezoning would facilitate residential development in a manner consistent with the Hampton Village Neighbourhood Concept Plan.

INFORMATION - Questions regarding the proposed amendment or requests to view the proposed amending Bylaw, the City of Saskatoon Zoning Bylaw and Zoning Map may be directed to the following without charge:
Community Services Department, Planning and Development Branch
Phone: 975-7723 (Daniel Gray)

PUBLIC HEARING - City Council will consider all submissions on the proposed amendment, and hear all persons who are present at the City Council meeting and wish to speak on Tuesday, September 4th, 2012 at 6:00 p.m. in City Council Chamber, City Hall, Saskatoon, Saskatchewan.

All written submissions for City Council's consideration must be forwarded to:

His Worship the Mayor and Members of City Council
c/o City Clerk's Office, City Hall

222 Third Avenue North, Saskatoon SK S7K 0J5

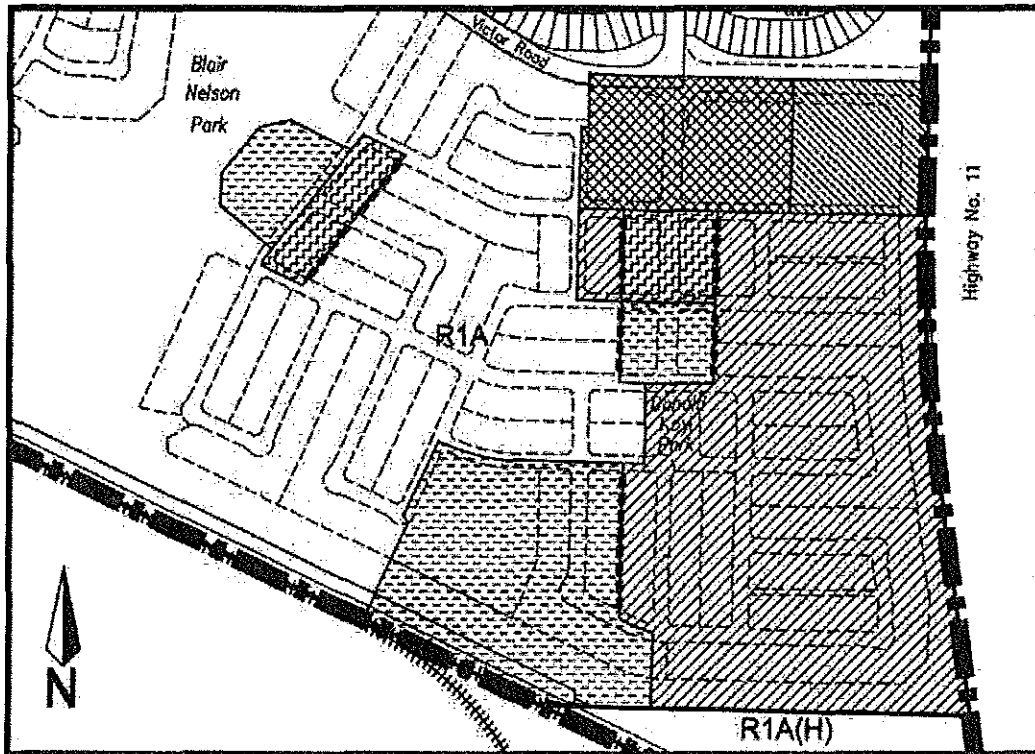
All submissions received by the City Clerk by 10:00 a.m. on Tuesday, September 4th, 2012 will be forwarded to City Council.

3b)

COMMUNITY SERVICES DEPARTMENT

APPLICATION NO. Z7/12	PROPOSAL Proposed Amendments: 1. Neighbourhood Concept Plan Amendment; and 2. Rezoning from R1A to R1B, R2, RM3, RMTN, and RMTN1	EXISTING ZONING R1A
LEGAL DESCRIPTION Parcel H, Plan No. 101923477, Extension 10		CIVIC ADDRESS N/A
		NEIGHBOURHOOD Stonebridge
DATE August 7, 2012	APPLICANT Dundee Developments 112 – 2100 8 th Street East Saskatoon, SK S7H 0V1	OWNER Dundee Developments 112 – 2100 8 th Street East Saskatoon, SK S7H 0V1

LOCATION PLAN



PROPOSED REZONING	
From R1A to R1B	
From R1A to R2	
From R1A to RM3	
From R1A to RMTN	
From R1A to RMTN1	
 City of Saskatoon Planning & Development Branch File No. RZ07-2012	

A. COMMUNITY SERVICES DEPARTMENT RECOMMENDATION:

that a report be forwarded to City Council recommending:

- 1) that at the time of the public hearing, City Council consider the Administration's recommendation that the proposed Stonebridge Neighbourhood Concept Plan amendment within the southeast corner of the Stonebridge neighbourhood be approved; and
- 2) that at the time of the public hearing, City Council consider the Administration's recommendation that the proposed amendment to the Zoning Bylaw No. 8770 to rezone Parcel H, Plan No. 101923477, Extension 10 (as shown in the administrative report) from R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District, R2 – One and Two-Unit Residential District, RM3 – Medium Density Multiple-Unit Dwelling District, RMTN – Townhouse Residential District, and RMTN1 – Medium Density Townhouse Residential District 1 be approved.

B. PROPOSAL

The Planning and Development Branch has received an application from Dundee Developments requesting an amendment to the Stonebridge Neighbourhood Concept Plan (Concept Plan) and the rezoning of the following property (please refer to Attachment 2):

1. R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District,
2. R1A – One-Unit Residential to R2 – One and Two-Unit Residential District;
3. R1A – One-Unit Residential to RM3 – Medium Density Multiple-Unit Dwelling District;
4. R1A – One-Unit Residential to RMTN – Townhouse Residential District; and
5. R1A – One-Unit Residential to RMTN1 – Medium Density Townhouse Residential District

Dundee Developments proposes to rezone these properties to accommodate a variety of housing options within the Stonebridge Neighbourhood, including one and two-unit dwellings, medium density multiple-unit dwellings, and townhouse residential.

C. REASON FOR PROPOSAL (By Applicant)

The proposed rezoning is required to implement the residential land use pattern consistent with the updated Stonebridge Neighbourhood Concept Plan (Concept Plan).

D. BACKGROUND INFORMATION

The Concept Plan was approved by City Council in 2005 and provides a wide range of housing options, as well as neighbourhood commercial services. The sites in question are currently under a blanket zoned R1A District (One-Unit Residential District), which was administered at the inception of the Concept Plan to identify general land use in the neighbourhood.

E. JUSTIFICATION

1. Community Services Department Comments:

During its April 30, 2012 meeting, City Council approved an amendment to the Stonebridge Neighbourhood Concept Plan, subject to the Developer submitting a detailed design of the pocket park and perimeter streets to address safety concerns.

Dundee Developments has submitted a minor amendment to the Stonebridge Neighbourhood Concept Plan in response to this safety issue (see Attachment 2). The amendment reconfigures the pocket park and perimeter streets to address traffic concerns by reducing the amount of direct park street frontage and providing for single family dwellings directly adjacent to three sides of the pocket park. Compared to the amendment approved by City Council on April 30, 2012, this minor amendment to the Stonebridge Neighbourhood Concept Plan results in a small reallocation of land uses, shown as follows:

Land Use Category	Amended Concept Plan- Approved April 30, 2012 (Hectares)	Proposed Minor Concept Plan Amendment (Hectares)	Area Difference (Hectares)
Single Family	24.19	23.28	- 0.91
Single Family Lane	2.94	3.18	+ 0.24
Single Family Attached	2.95	3.30	+ 0.35
Multi-Family (Parcel)	4.83	5.19	+ 0.36
Multi-Family (Apartment)	1.29	1.29	0
Road	10.20	10.16	- 0.04
Lane	0.58	0.52	- 0.06
Municipal Reserve	4.83	4.83	0
Municipal Buffer	9.20	9.26	+ 0.06
Utility	10.05	10.05	0
Total	71.06	71.06	0

The Community Services Department supports this amendment.

a) Planning and Development Branch

The rezoning proposal is consistent with the overall amended Stonebridge Neighbourhood Concept Plan and complies with all requirements of the Official Community Plan.

b) Community Development Branch and Leisure Services Branch

The Community Development Branch and the Leisure Services Branch collectively reviewed the proposed amendment, in particular the proposed changes resulting from the reconfiguration of the pocket park in the south east area of Stonebridge, and are in favor of the proposed changes.

With the proposed reconfiguration of the pocket park and resulting rezoning application, both the Community Development Branch and Leisure Services Branch feel the safety concerns have been adequately addressed.

2. Comments by Others:

a) Infrastructure Services Department

The proposed Zoning Bylaw No. 8770 amendment is acceptable to the Infrastructure Services Department.

b) Transit Services Branch, Utilities Services Department

Saskatoon Transit has no easement requirements regarding the above referenced property. At present, Saskatoon Transit has no service within 450 metres but has service in this development.

Saskatoon Transit will continue to develop in this area as roads are completed and may include stops close to the vicinity of this development.

c) Parks Branch, Infrastructure Services Department

The Parks Branch has reviewed the above noted rezoning request, as it relates to the reconfiguration of the pocket park to ensure that it is not completely surrounded by streets. Given the revised design, the Parks Branch approves the reconfiguration of the pocket park in Stonebridge.

F. COMMUNICATION PLAN

This application has been referred to the Stonebridge Community Association. The Community Association established a sub-committee to review the proposed pocket park issues. Members of the sub-committee have advised that the reconfiguration of the park space is satisfactory.

Once this application has been considered by the Municipal Planning Commission, it will be advertised in accordance with the Public Notice Policy No. C01-021, and a date for a public hearing will be set. The property owners affected by this rezoning will be notified in writing. The Planning and Development Branch will also notify the Community Consultant and Ward Councillor of the public hearing date by letter. A notice will be placed in The StarPhoenix once, two weeks prior to the public hearing. Notice boards will also be placed on the site.

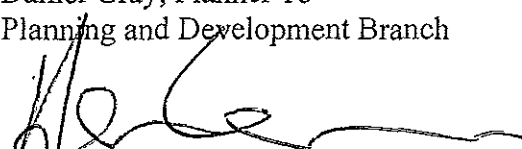
G. ENVIRONMENTAL IMPLICATIONS

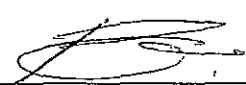
There are no environmental and/or greenhouse gas implications.

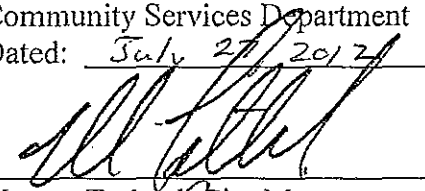
H. ATTACHMENTS

1. Fact Summary Sheet
2. Proposed Zoning Map – Stonebridge S.E.

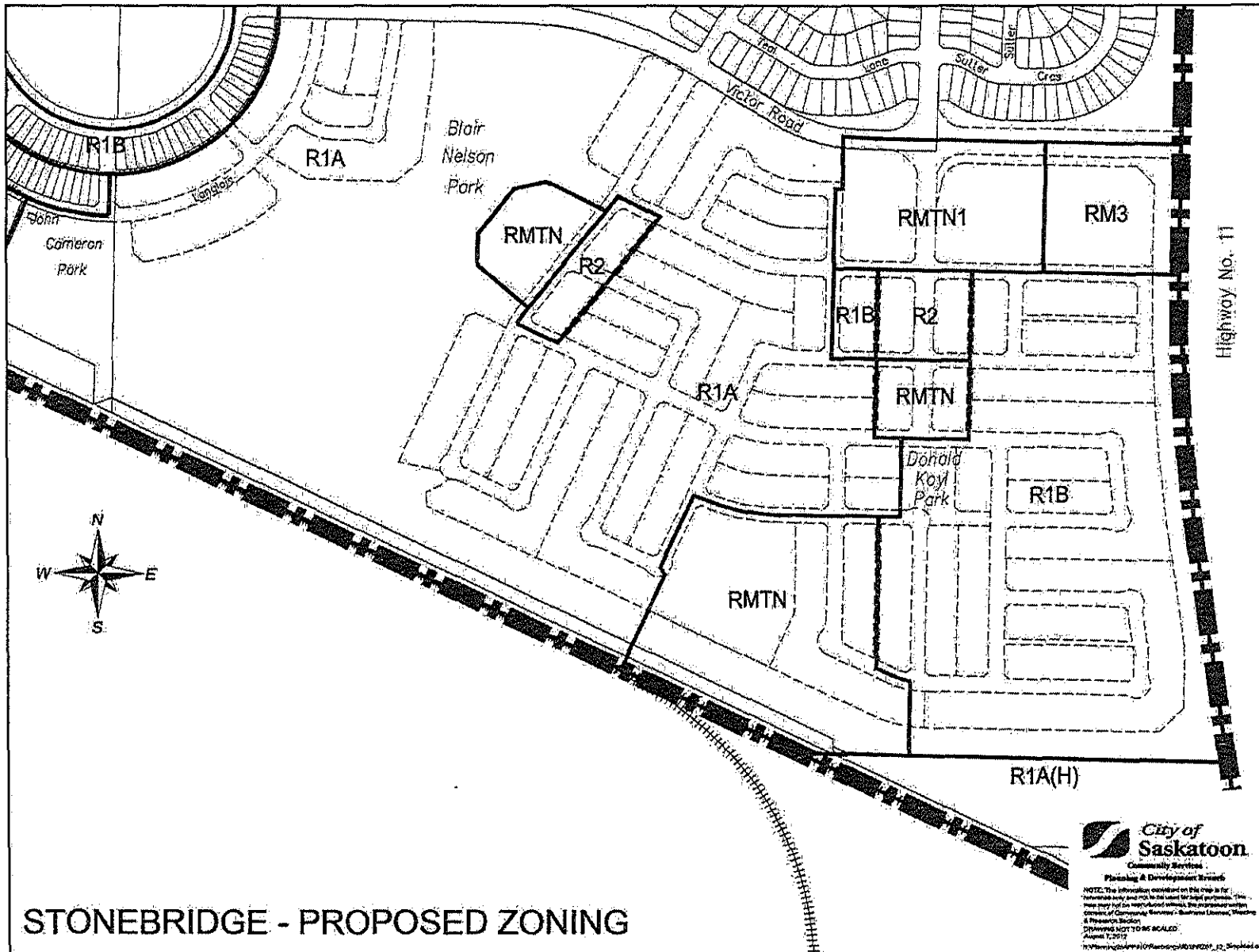
Written by: Daniel Gray, Planner 16
Planning and Development Branch

Reviewed by: 
Alah Wallace, MCIP, Manager
Planning and Development Branch

Approved by: 
Randy Grauer, General Manager
Community Services Department
Dated: July 27, 2012

Approved by: 
Murray Totland, City Manager
Dated: July 30/12

FACT SUMMARY SHEET	
A. Location Facts	
1. Municipal Address	Stonebridge S.E.
2. Legal Description	Parcel H, Plan No. 101923477, Extension 10
3. Neighbourhood	Stonebridge
4. Ward	7
B. Site Characteristics	
1. Existing Use of Property	Residential – R1A
2. Proposed Use of Property	Residential – R1B, R2, RM3 & RMTN
3. Adjacent Land Uses and Zoning	Residential
North	Residential – R1A
South	Residential – R1A(H)
East	Residential – R1A
West	Residential – R1A, R1B, R2 & RMTN
4. No. of Existing Off-Street Parking Spaces	N/A
5. No. of Off-Street Parking Spaces Required	N/A
6. No. of Off-Street Parking Spaces Provided	N/A
7. Site Frontage	N/A
8. Site Area	N/A
9. Street Classification	Victor Road – Major Collector Langlois Way– Proposed
C. Official Community Plan Policy	
1. Existing Official Community Plan Designation	Residential
2. Proposed Official Community Plan Designation	Residential
3. Existing Zoning District	R1A
4. Proposed Zoning District	R1B, R2, RM3, RMTN & RMTN1





City of
Saskatoon
Office of the City Clerk

222 - 3rd Avenue North ph 306•975•3240
Saskatoon, SK S7K 0J5 fx 306•975•2784

August 17, 2012

City Clerk

Dear City Clerk:

**Re: Municipal Planning Commission Report for Public Hearing
 Neighbourhood Concept Plan Amendment
 and Rezoning from R1A to R1B, R2, RM3, RMTN and RMTN1
 Stonebridge Neighbourhood
 Applicant: Dundee Developments
 (File No. CK. 4351-012-012, x4131-27)**

The Municipal Planning Commission has considered the report of the General Manager, Community Services Department dated August 7, 2012, with respect to the above proposed amendments.

The Commission has reviewed the report with the Administration and Mr. Don Armstrong, Dundee Developments, as summarized below:

- The roadway was reconfigured the south, east and west of the pocket park so it is not surrounded by roadway. The roadway to the north terminates at the park. This was part of an earlier application approved by Council. Any changes at that time would have impacted development for 2012.
- The application was reviewed and supported by a subcommittee of the community association, which was formed to review issues relating the pocket park.
- An open wrought iron fence will be constructed along the park where it backs onto neighbouring properties.

Following review of this matter, the Commission is supporting the following recommendations of the Community Services Department:

- 1) that the proposed Stonebridge Neighbourhood Concept Plan amendment within the southeast corner of the Stonebridge neighbourhood be approved; and
- 2) that the proposed amendment to the Zoning Bylaw No. 8770 to rezone Parcel H, Plan No. 101923477, Extension 10 (as shown in the report of the General Manager, Community Services Department dated August 7, 2012) from R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District, R2 – One and Two-Unit Residential District, RM3 – Medium Density Multiple-Unit Dwelling District, RMTN – Townhouse Residential District, and RMTN1 – Medium Density Townhouse Residential District 1, be approved.

August 17, 2012
Page 2

The Commission respectfully requests that the above report be considered by City Council at the time of the public hearing with respect to the above proposed amendments.

Yours truly,

A handwritten signature in cursive script that reads "Diane Kanak".

Diane Kanak, Deputy City Clerk
Municipal Planning Commission

:dk

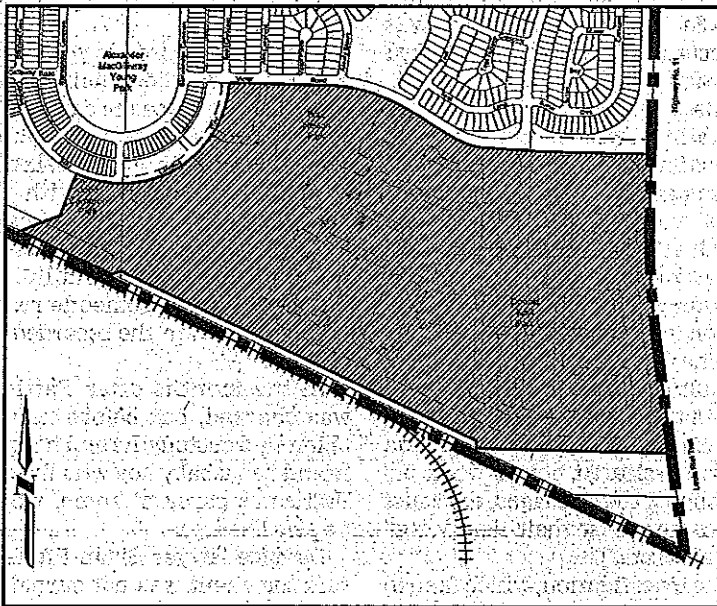
PUBLIC NOTICE

PROPOSED STONEBRIDGE NEIGHBOURHOOD CONCEPT PLAN AMENDMENT

Amendment

Saskatoon City Council will consider an amendment to the Stonebridge Neighbourhood Concept Plan for the Stonebridge Neighbourhood, which was submitted by Dundee Development Corporation.

City Council previously approved an amendment to the Stonebridge Neighbourhood Concept Plan subject to the Developer submitting a detailed design of the pocket park and perimeter streets to address neighbourhood safety concerns.



REASON FOR AMENDMENT – Dundee Developments submitted a minor amendment to the Stonebridge Neighbourhood Concept Plan in response to this safety issue. The amendment reconfigures the pocket park and perimeter streets to address traffic concerns by reducing the amount of direct park street frontage and providing for single family dwellings directly adjacent to three sides of the pocket park.

INFORMATION – Questions regarding the proposal may be directed to the following:

Community Services Department, Planning and Development Branch
Phone: 975-7723 (Daniel Gray)

PUBLIC HEARING – City Council will consider all submissions on the proposal and hear all persons who are present at the City Council meeting and wish to speak on Tuesday, September 4, 2012 at 6:00 p.m. in Council Chambers, City Hall, Saskatoon, Saskatchewan.

All written submissions for City Council's consideration must be forwarded to:

His Worship the Mayor and Members of City Council c/o City Clerk's Office, City Hall
222 3rd Avenue North,
Saskatoon SK S7K 0J5

All submissions received by the City Clerk by 10:00 a.m. on Tuesday, September 4, 2012 will be forwarded to City Council.

3c)

BYLAW NO. 9050

The Zoning Amendment Bylaw, 2012 (No. 13)

The Council of The City of Saskatoon enacts:

Short Title

- 1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 13).


Purpose

- 2. The purpose of this Bylaw is to amend the Zoning Bylaw to rezone the lands referred to in the Bylaw from an R1A District to an R1B District, and R2 District, an RM3 District, and RMTN District and an RMTN1 District respectively.

Zoning Bylaw Amended

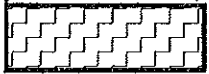
- 3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

R1A District to R1B District

- 4. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the land described in this section and shown as  on Appendix "A" to this Bylaw from an R1A District to an R1B District:


- (a) Portion of Surface Parcel No. 166062124
Reference Land Description: Blk/Par H, Plan 101923477 Ext 10.

R1A District to R2 District

- 5. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the land described in this section and shown as  on Appendix "A" to this Bylaw from an R1A District to an R2 District:

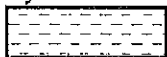
- (a) Portion of Surface Parcel No. 166062124
Reference Land Description: Blk/Par H, Plan 101923477 Ext 10.

R1A District to RM3 District

6. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the land described in this section and shown as  on Appendix "A" to this Bylaw from an R1A District to an RM3 District:


- (a) Portion of Surface Parcel No. 166062124
Reference Land Description: Blk/Par H, Plan 101923477 Ext 10.

R1A District to RMTN District

7. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the land described in this section and shown as  on Appendix "A" to this Bylaw from an R1A District to an RMTN District:

- (a) Portion of Surface Parcel No. 166062124
Reference Land Description: Blk/Par H, Plan 101923477 Ext 10.

R1A District to RMTN1 District

8. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the land described in this section and shown as  on Appendix "A" to this Bylaw from an R1A District to an RMTN1 District:

- (a) Portion of Surface Parcel No. 166062124
Reference Land Description: Blk/Par H, Plan 101923477 Ext 10.

Coming into Force

This Bylaw shall come into force on the day of its final passing.

Read a first time this _____ day of _____, 2012.

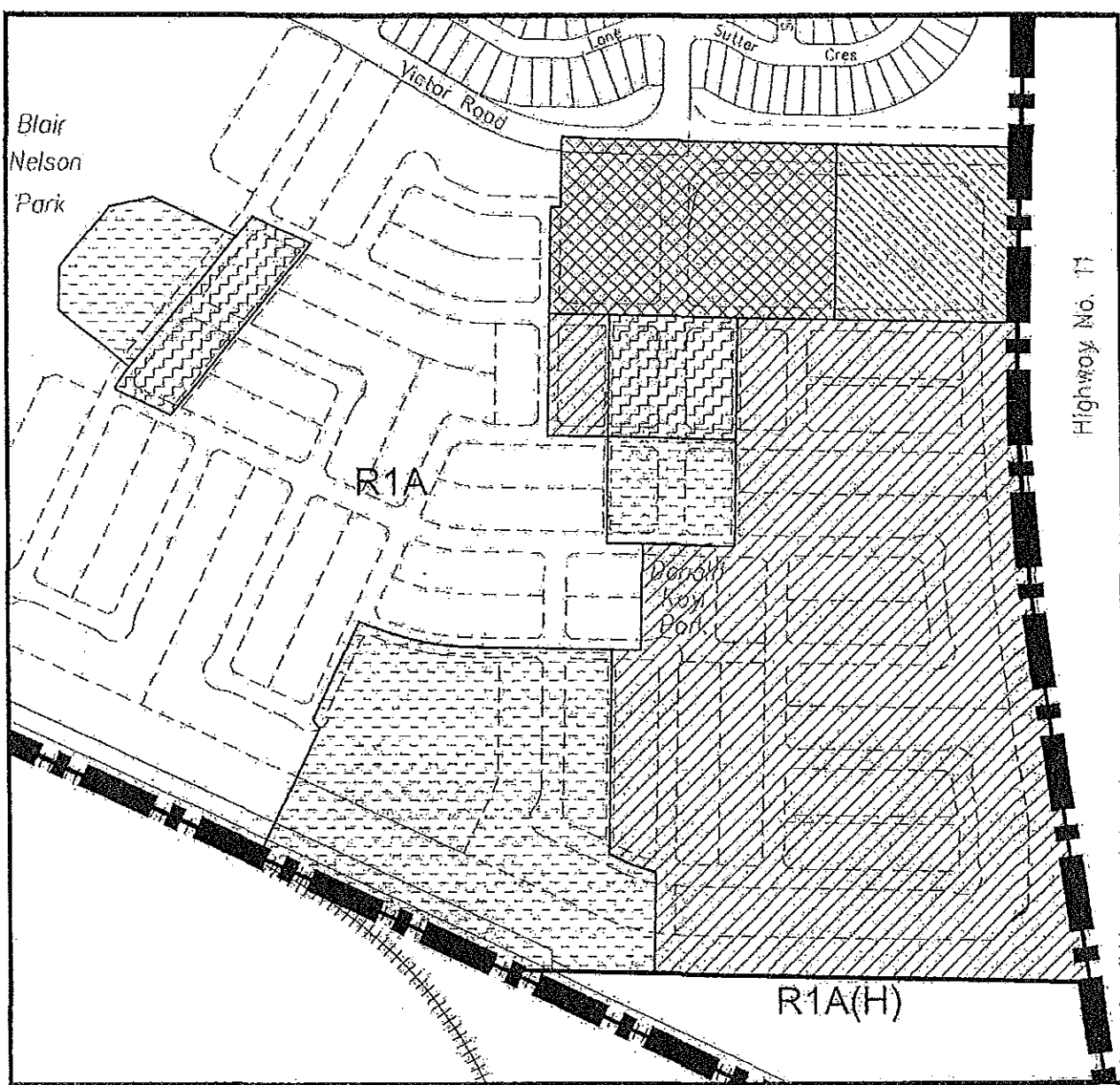
Read a second time this _____ day of _____, 2012.

Read a third time and passed this _____ day of _____, 2012.






Mayor

City Clerk

Appendix "A"



REZONING

- From R1A to R1B 
- From R1A to R2 
- From R1A to RM3 
- From R1A to RMTN 
- From R1A to RMTN1 

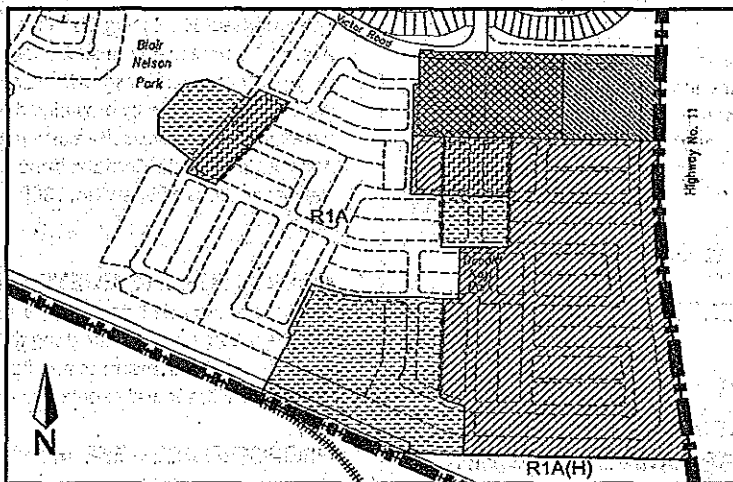
ZONING NOTICE

STONEBRIDGE NEIGHBOURHOOD

PROPOSED ZONING BYLAW AMENDMENT – BYLAW NO. 9050

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No.8770). Through Bylaw No.9050, the Zoning Amendment Bylaw 2012 (No. 13), the properties in the Stonebridge Neighbourhood as shown in the map below will be rezoned from R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District, R2 – One and Two-Unit Residential District, RM3 – Medium Density Multiple-Unit Dwelling District, RMTN – Townhouse Residential District, and RMTN1 – Medium Density Townhouse District 1.

LEGAL DESCRIPTION – Parcel H, Plan No. 101923477, Extension 10



PROPOSED REZONING

From R1A to R1B
From R1A to R2
From R1A to RM3
From R1A to RMTN
From R1A to RMTN1



**City of
Saskatoon**
Planning & Development Branch
File No. RZ07-2012

REASON FOR THE AMENDMENT – The proposed rezoning would facilitate residential development in a manner consistent with the Stonebridge Neighbourhood Concept Plan.

INFORMATION - Questions regarding the proposed amendment or requests to view the proposed amending Bylaw, the City of Saskatoon Zoning Bylaw and Zoning Map may be directed to the following without charge:
Community Services Department, Planning and Development Branch
Phone: 975-7723 (Daniel Gray)

PUBLIC HEARING - City Council will consider all submissions on the proposed amendment, and hear all persons who are present at the City Council meeting and wish to speak on Tuesday, September 4th, 2012 at 6:00 p.m. in City Council Chamber, City Hall, Saskatoon, Saskatchewan.

All written submissions for City Council's consideration must be forwarded to:

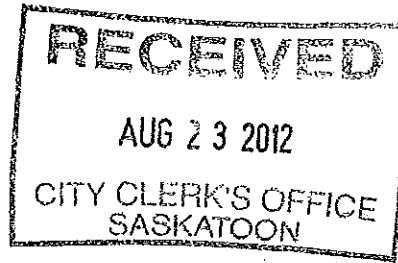
His Worship the Mayor and Members of City Council
c/o City Clerk's Office, City Hall

222 Third Avenue North, Saskatoon SK S7K 0J5

All submissions received by the City Clerk by 10:00 a.m. on Tuesday, September 4th, 2012 will be forwarded to City Council.

August 19, 2012

City Clerk's Office, City Hall
222 – 3rd Ave. North
Saskatoon, Sask.
S7K 0J5



His Worship the Mayor and Members of City Council

We write in opposition to the proposed zoning bylaw amendment – Bylaw No. 9050

Please consider the following:

When we decided to build in the Stonebridge area, we carefully considered the zoning. It was with great deliberation that we choose the location of our home, and selection was based on the R1A zoning of the crescent, and the surrounding area.

The time and monies we have invested in our home was done with the express thought that we were in an R1A area surrounded by R1A zoning. Quite frankly, we would not have built our home here if we were informed that the zoning in the immediate area would allow MRTN and RMTN1.

We are strongly opposed to proposed zoning changes for Parcel H.

Sincerely,

Two handwritten signatures in cursive. The first signature is "Gregory Lock" and the second is "Brenda Lock".

Greg and Brenda Lock
119 Alm Cres.
Saskatoon, Sask.
S7T 0E1

301)

BYLAW NO. 9051

The Zoning Amendment Bylaw, 2012 (No. 14)

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 14).

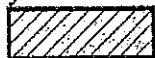
Purpose

2. The purpose of this Bylaw is to amend the Zoning Bylaw to rezone the lands referred to in the Bylaw from an R1A District to an R1B District, and an R1A District to an RMTN District.


Zoning Amended

3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

R1A District to R1B District

4. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an R1A District to an R1B District:
 - (a) Lots 20 to 35, Block 636, Lots 1 to 44, Block 638 and Lots 1 to 44, Block 639 as shown on a Plan of Proposed Subdivision of part of NW Sec 07 Twp 37 Rge 4 West 3 Meridian and part of RA north of NW Sec 07 Twp 37 Rge 4 West 3 Meridian and part of LSD 3 Sec 07 Twp 37 Rge 4 West 3 Meridian and part of LSD 4 Sec 07 Twp 37 Rge 4 West 3 Meridian; and
 - (b) Lots 1 to 24, Block 643 and Lots 11 to 27, Block 644 as shown on a Plan of Proposed Subdivision of Part of LSD 3 & LSD 4 & SE ¼ Section 18, Twp 37, Rge 4, W3rd Mer and Part of Parcel A & S1 Reg'd Plan No. 78S34536 and Part of NE ¼ Section 7 Twp 37, Rge 4, W 3rd Mer and RA South of Section 18, Twp 37, Rge 4, W 3rd Mer, Saskatoon, Saskatchewan, by C.W.A. Bourassa, S.L.S. dated July, 2011.

R1A District to RMTN District

5. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an R1A District to an RMTN District:

- (a) Parcel EE as shown on a Plan of Proposed Subdivision of part of NW Sec 07 twp 37 Rge 4 West 3 Meridian and part of RA north of NW Sec 07 Twp 37 Rge 4 West 3 Meridian and part of LSD 3 Sec 07 Twp 37 Rge 4 West 3 Meridian and part of LSD 4 Sec 07 Twp 37 Rge 4 West 3 Meridian; and
- (b) Parcels FF and GG as shown on a Plan of Proposed Subdivision of Part of LSD 3 & LSD 4 & SE ¼ Section 18, Twp 37, Rge 4, W3rd Mer and Part of Parcel A & S1 Reg'd Plan No. 78S34536 and Part of NE ¼ Section 7 Twp 37, Rege 4, W 3rd Mer and RA South of Section 18, Twp 37, Rge 4, W 3rd Mer, Saskatoon, Saskatchewan, by C.W.A. Bourassa, S.L.S. dated July, 2011.

Coming into Force

6. This Bylaw shall come into force on the day of its final passing.

Read a first time this	day of	, 2012.
Read a second time this	day of	, 2012.
Read a third time and passed this	day of	, 2012.

Mayor

City Clerk

The following is a copy of **Clause 5, Report No. 6-2012 of the Municipal Planning Commission**, which was **ADOPTED** by City Council at its meeting held on **August 15, 2012**:

- 5. Proposed Rezoning from R1A to R1B and RMTN
Evergreen Boulevard, Kloppenburg Crescent, Bend, Link, Street, and Way
Evergreen Neighbourhood
Applicant: City of Saskatoon, Land Branch
(File No. CK. 4351-012-013)**
-

- RECOMMENDATION:**
- 1) that City Council approve the advertising with respect to the proposal to rezone the properties outlined in the report of the General Manager, Community Services Department dated July 16, 2012;
 - 2) that the General Manager, Community Services Department, be requested to prepare the required notices for advertising the proposed amendments;
 - 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
 - 4) that at the time of the public hearing, City Council consider the Commission's recommendation that the proposed amendment to Zoning Bylaw No. 8770 to rezone the properties identified in the attached Proposed Zoning Map from R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District, and RMTN – Townhouse Residential District, be approved.

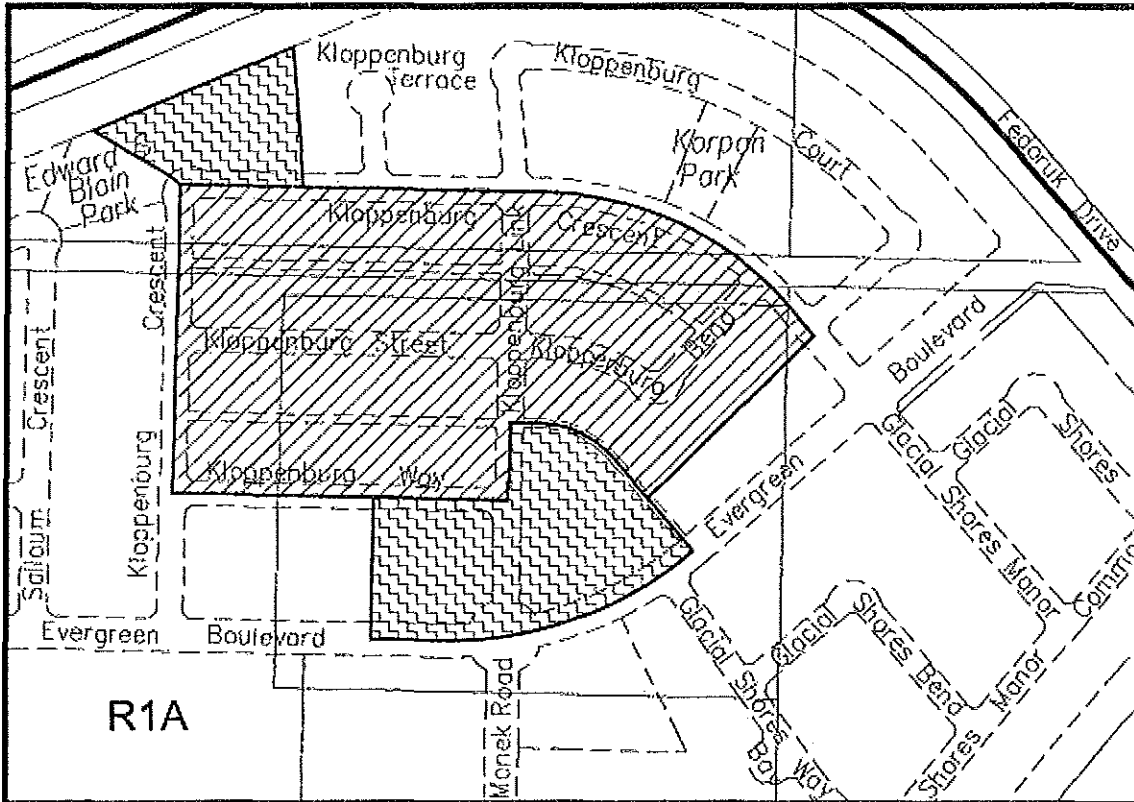
Attached is a report of the General Manager, Community Services Department dated July 16, 2012, with respect to the above matter.

Your Commission has reviewed the report with the Administration and supports the above recommendations.

COMMUNITY SERVICES DEPARTMENT

APPLICATION NO. Z17/12	PROPOSAL Proposed Rezoning from R1A to R1B and RMTN	EXISTING ZONING R1A
LEGAL DESCRIPTION Plan to be Approved		CIVIC ADDRESS Evergreen Boulevard, Kloppenburg Crescent, Bend, Link, Street, and Way
		NEIGHBOURHOOD Evergreen
DATE July 16, 2012	APPLICANT City of Saskatoon, Land Branch 201 3 rd Avenue North Saskatoon SK S7K 2H7	OWNER City of Saskatoon, Land Branch 201 3 rd Avenue North Saskatoon SK S7K 2H7

LOCATION PLAN



PROPOSED REZONING

From R1A to R1B

From R1A to RMTN

City of
Saskatoon

Planning & Development Branch

File No. RZ17-2012

A. COMMUNITY SERVICES DEPARTMENT RECOMMENDATION:

That a report be forwarded to City Council recommending:

- 1) that City Council approve the advertising with respect to the proposal to rezone the properties outlined in this report;
- 2) that the General Manager, Community Services Department, be requested to prepare the required notices for advertising the proposed amendments;
- 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
- 4) that at the time of the public hearing, City Council consider the Administration's recommendation that the proposed amendment to Zoning Bylaw No. 8770 to rezone the properties identified in the attached Proposed Zoning Map from R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District, and RMTN – Townhouse Residential District, be approved.

B. PROPOSAL

The Planning and Development Branch has received an application from the City of Saskatoon, Land Branch, requesting that the properties identified in the attached Proposed Zoning Map (see Attachment 2) be rezoned as follows:

- 1) Blocks 1 to 7 be rezoned from R1A – One-Unit Residential District to R1B – Small Lot One-Unit Residential District; and
- 2) Parcels EE, FF, and GG, be rezoned from R1A – One-Unit Residential District to RMTN – Townhouse Residential District.

The rezoning of these lands would accommodate small lot one-unit and townhouse residential development.

C. REASON FOR PROPOSAL (By Applicant)

The proposed rezoning will permit the development of the aforementioned lands in a manner which is consistent with the Evergreen Neighborhood Concept Plan (Concept Plan).

D. BACKGROUND INFORMATION

During its June 1, 2009 meeting, City Council approved the Concept Plan. The subject

sites are currently under the blanket zoning of a R1A District (One-Unit Residential District), which was applied to the area after the approval of the Concept Plan. The Concept Plan provides a wide range of housing options, as well as neighbourhood commercial services to serve the area. The proposed amendments will change the zoning designations for the specified areas of the neighbourhood in order to accommodate the variety of residential development that is desired within the Evergreen neighbourhood.

E. JUSTIFICATION

1. Community Services Department Comments

a) Planning and Development Branch

The proposed rezoning is in compliance with the approved Concept Plan and will accommodate a diversity of housing types in the Evergreen neighbourhood. Future development on this site will comply with the development standards identified in the R1B and RMTN Zoning Districts.

2. Comments by Others

a) Infrastructure Services Department

The proposed amendment is acceptable to the Infrastructure Services Department.

b) Utility Services Department, Transit Services Branch

The Transit Branch has no easement requirements regarding the above referenced property. At present, the Transit Branch has no service within 450 metres, but has services within this development.

F. COMMUNICATION PLAN

Once this application has been considered by the Municipal Planning Commission, it will be advertised in accordance with Public Notice Policy No. C01-021, and a date for a public hearing will be set. The property owners affected by this rezoning will be notified in writing. The Planning and Development Branch will also notify the Community Consultant and the Ward Councillor of the public hearing date by letter. A notice will be placed in The StarPhoenix two weeks prior to the public hearing. Notice boards will also be placed on the site.

G. ENVIRONMENTAL IMPLICATIONS

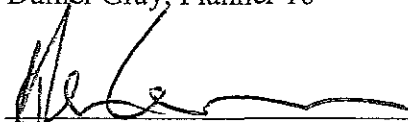
There are no environmental and/or greenhouse gas implications.

H. ATTACHMENTS

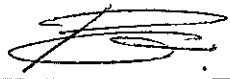
1. Fact Summary Sheet
2. Proposed Zoning Map

Written by: Daniel Gray, Planner 16

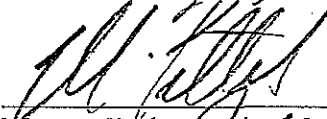
Reviewed by:


Alan Wallace, Manager
Planning and Development Branch

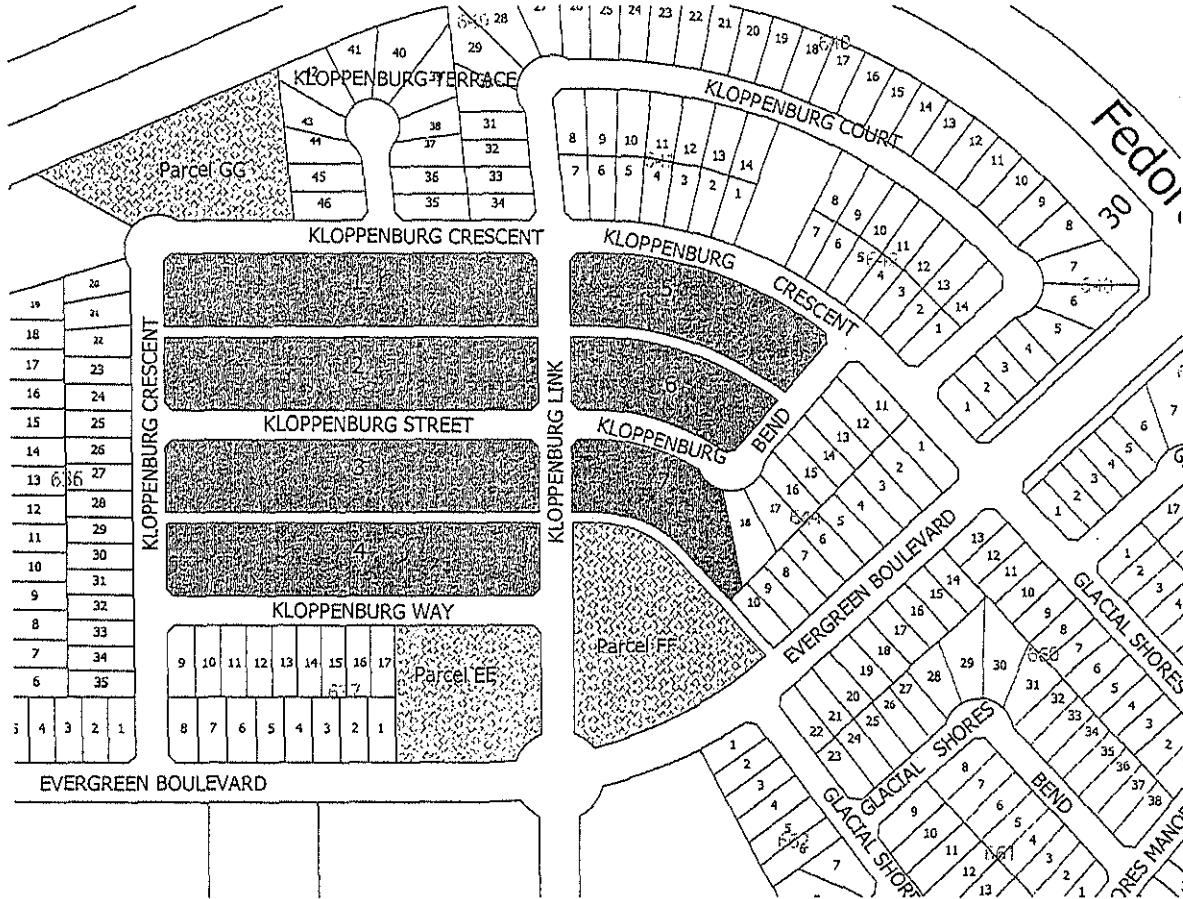
Approved by:


Randy Grauer, General Manager
Community Services Department
Dated: July 23, 2012



Approved by:


Murray Totland, City Manager
Dated: July 26/12

FACT SUMMARY SHEET	
A. Location Facts	
1. Municipal Address	Evergreen Blvd, Kloppenburg Crescent, Bend, Link, Street, and Way
2. Legal Description	Plan to be Approved
3. Neighbourhood	Evergreen
4. Ward	10
B. Site Characteristics	
1. Existing Use of Property	Residential – R1A
2. Proposed Use of Property	Residential – R1B and RMTN
3. Adjacent Land Uses and Zoning	Residential
North - Undeveloped	Future Urban Development - FUD
South - Evergreen Neighbourhood	Residential – R1A
East - Evergreen Neighbourhood	Residential – R1A
West - Evergreen Neighbourhood	Residential – R1A
4. No. of Existing Off-Street Parking Spaces	N/A
5. No. of Off-Street Parking Spaces Required	N/A
6. No. of Off-Street Parking Spaces Provided	N/A
7. Site Frontage	N/A
8. Site Area	N/A
9. Street Classification	Evergreen Boulevard – Major Collector Kloppenbug Crescent, Bend, Link, Street, and Way – Local Street
C. Official Community Plan Policy	
1. Existing Official Community Plan Designation	Residential
2. Proposed Official Community Plan Designation	Residential
3. Existing Zoning District	R1A
4. Proposed Zoning District	R1B and RMTN



Legend:

-  RIB
- Parcel 1:
Part of LSD 3-18-37-04-3 Ext 33 & Part of NW 1/4 7-37-4-W3M
- Parcels 2 - 4:
Part of Parcel A Registered Plan #78534536 & Part of NW 1/4 7-37-4-W3M
- Parcel 5:
Part of LSD 3-18-37-04-3 Ext 33 & Part of Registered Plan #78534536
- Parcel 6:
Part of Parcel A Registered Plan #78534536
- Parcels 7:
Part of Parcel A Registered Plan #78534536 & Part of NE 1/4 7-37-4-W3M
-  RMTN
- Parcels EE & FF:
Part of Parcel A Registered Plan #78534536
- Parcel GG:
Part of LSD 4-18-37-04-3 Ext 32 & Part of LSD 3-18-37-04-3 Ext 33

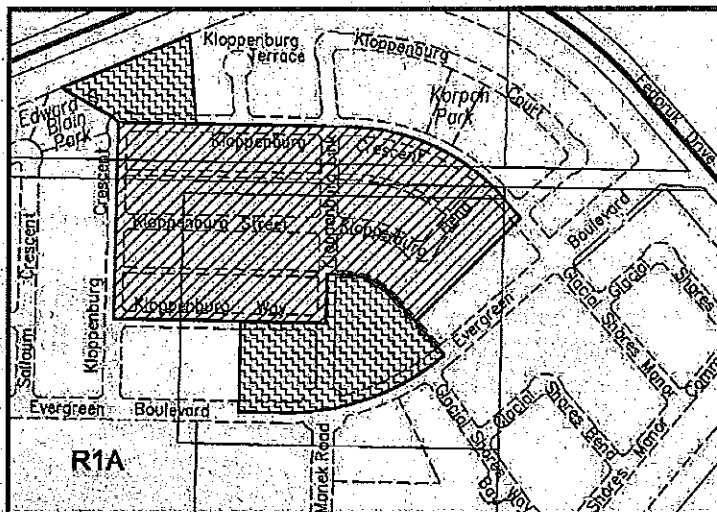
ZONING NOTICE

EVERGREEN NEIGHBOURHOOD PROPOSED ZONING BYLAW AMENDMENT – BYLAW NO. 9051

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No.8770). Through Bylaw No. 9051, the Zoning Amendment Bylaw 2012 (No. 14), the properties in the Evergreen Neighbourhood as shown in the map below will be rezoned from R1A-One-Unit Residential District to R1B – Small Lot One-Unit Residential District and RMTN – Townhouse Residential District.

LEGAL DESCRIPTION – Part of LSD 3-18-37-04-3, Extension 33; Part of NW ¼ 7-37-4-W3M; Part of Registered Plan No. 78S34536; and Part of LSD 4-18-37-04-3, Extension 32.

CIVIC ADDRESS – Evergreen Boulevard; and Kloppenburg Bend, Crescent, Link, Street, and Way



PROPOSED REZONING

From R1A to R1B



From R1A to RMTN

File No. RZ17-2012



REASON FOR THE AMENDMENT – The proposed rezoning would facilitate residential development in a manner consistent with the Evergreen Neighbourhood Concept Plan.

INFORMATION - Questions regarding the proposed amendment or requests to view the proposed amending Bylaw, the City of Saskatoon Zoning Bylaw and Zoning Map may be directed to the following without charge:

Community Services Department, Planning and Development Branch
Phone: 975-7723 (Daniel Gray)

PUBLIC HEARING - City Council will consider all submissions on the proposed amendment, and hear all persons who are present at the City Council meeting and wish to speak on Tuesday, September 4, 2012 at 6:00 p.m. in City Council Chamber, City Hall, Saskatoon, Saskatchewan.

All written submissions for City Council's consideration must be forwarded to:

His Worship the Mayor and Members of City Council
c/o City Clerk's Office, City Hall

222 Third Avenue North, Saskatoon SK S7K 0J5

All submissions received by the City Clerk by 10:00 a.m. on Tuesday, September 4, 2012 will be forwarded to City Council.

3e)

BYLAW NO. 9052

The Zoning Amendment Bylaw, 2012 (No. 15)

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 15).

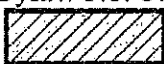
Purpose

2. The purpose of this Bylaw is to amend the Zoning Bylaw to rezone the lands referred to in the Bylaw from an FUD District to an R1A District, an R1A(H) District to an R1A District and an R1A(H) District to an R1B District respectively.

Zoning Bylaw Amended


3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

FUD District to R1A District

4. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an FUD District to an R1A District:
 - (a) Surface Parcel No. 135680621
Reference Land Description: LSD 3 – Sec 02 Twp 37 Rge 06 W3 Extension 6
As described on Certificate of Title 70S00161,
description 6;
 - (b) Surface Parcel No. 135680643
Reference Land Description: LSD 5 – Sec 02 Twp 37 Rge 06 W3 Extension 7
As described on Certificate of Title 70S00161,
description 7;

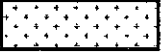
- (c) Surface Parcel No. 135680665
Reference Land Description: LSD 6 – Sec 02 Twp 37 Rge 06 W3 Extension 8
As described on Certificate of Title 70S00161,
description 8;
- (d) Surface Parcel No. 117153008
Reference Land Description: Blk/Par A, Plan No. 98SA07556 Extension 0
As described on Certificate of Title 98SA17521;
- (e) Surface Parcel No. 118172257
Reference Land Description: NW Sec 35 Twp 36 Rge 06 W3 Extension 1
As described on Certificate of Title 82S04897;
- (f) Surface Parcel No. 152959551
Reference Land Description: SW Sec 35 Twp 36 Rge 06 W3 Extension 21
As described on Plan 101709783;
- (g) Surface Parcel No. 136167420
Reference Land Description: Blk/Par C, Plan No. 00SA28118 Extension 1
As described on Certificate of Title 00SA28119;
- (h) Surface Parcel No. 152959540
Reference Land Description: Blk/Par E, Plan No. 101709783 Extension 0; and
- (i) Surface Parcel No. 152959539
Reference Land Description: Blk/Par D, Plan No. 101709783 Extension 0.

R1A(H) District to R1A District

5. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an R1A(H) District to an R1A District:

- (a) Portion of Surface Parcel No. 153363573
Reference Land Description: SE Sec 02 Twp 37 Rge 06 W3
As described in Plan No. 101836076.

R1A(H) District to R1B District

6. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from an R1A(H) District to an R1B District:

- (a) Lots 1 to 26, Block 100, Lots 1 to 29, Block 101 and Lots 1 to 30, Block 103 as shown on a Plan of Proposed Subdivision showing subdivision of part S.E. ¼ Sec. 2 – Twp. 37 – Rge. 6 – W3rdMer. Plan No. 101836076, Saskatoon, Saskatchewan by R. J. Morrison, S.L.S.

Coming into Force

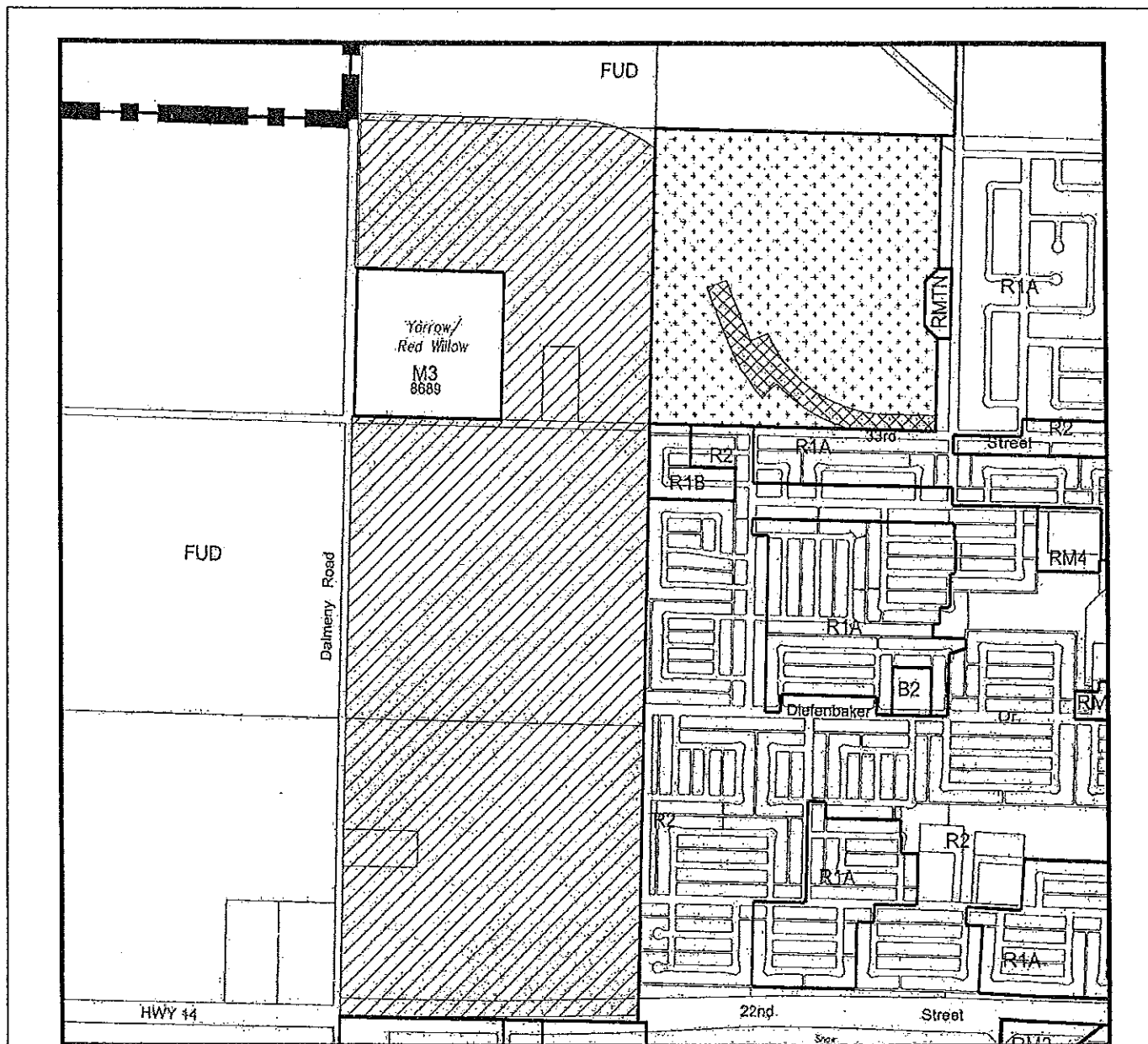
7. This Bylaw shall come into force on the day of its final passing.

Read a first time this	day of	, 2012.
Read a second time this	day of	, 2012.
Read a third time and passed this	day of	, 2012.

Mayor

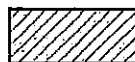
City Clerk

Appendix "A"



REZONING

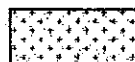
From FUD to R1A —————



From R1A(H) to R1B —————



From R1A(H) to R1A —————



City of Saskatoon

Planning & Development Branch

The following is a copy of **Clause 4, Report No. 6-2012 of the Municipal Planning Commission**, which was **ADOPTED** by City Council at its meeting held on **August 15, 2012**:

- 4. Proposed Rezoning from R1A(H) to R1A,
FUD to R1A, and R1A(H) to R1B
Kensington Neighbourhood
Applicant: City of Saskatoon, Land Branch
(File No. CK. 4351-012-11)**
-

- RECOMMENDATION:**
- 1) that City Council approve the advertising with respect to the proposal to rezone the properties outlined in the report of the General Manager, Community Services Department dated July 19, 2012;
 - 2) that the General Manager, Community Services Department, be requested to prepare the required notices for advertising the proposed amendments;
 - 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
 - 4) that at the time of the public hearing, City Council consider the Commission's recommendation that the proposed amendments to Zoning Bylaw No. 8770 be approved, as follows:
 - a) that the properties identified in Attachment 2 to the report of the General Manager, Community Services Department dated July 19, 2012, be rezoned from R1A(H) - One-Unit Residential District with a Holding symbol, and FUD - Future Urban Development District to R1A - One-Unit Residential District; and
 - b) Phase I of the Kensington neighbourhood development, as shown on the Plan of Proposed Subdivision (see Attachment 3 to the report of the General Manager, Community Services Department dated July 19, 2012), be rezoned from:
 - i. R1A(H) - One-Unit Residential District with a Holding symbol, to R1B - Small Lot One-Unit Residential District (Lots 1 to 26, Block 100, Lots 1 to 29, Block 101, Lots 1 to 30, Block 103); and

Clause 4, Report No. 6-2012
Municipal Planning Commission
Wednesday, August 15, 2012
Page Two

- ii. R1A(H) - One-Unit Residential District with a Holding symbol to R1A – One-Unit Dwelling Residential District (Lots 1 to 15, Block 102, and Lots 71 to 76, Block 103).

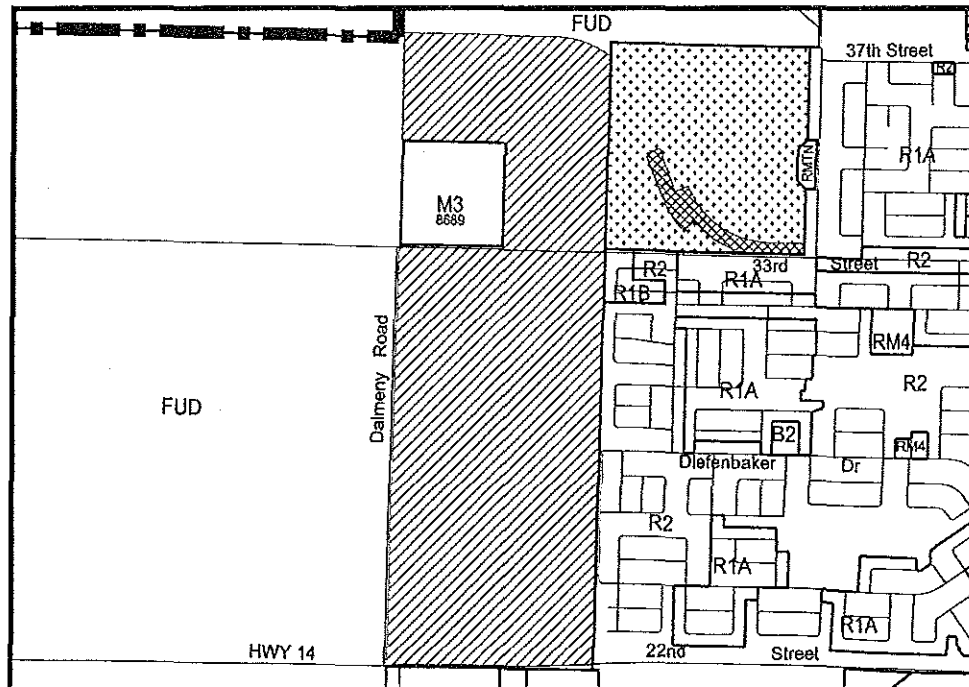
Attached is a report of the General Manager, Community Services Department dated July 19, 2012, with respect to the above matter.

Your Commission has reviewed the report with the Administration and is supporting the above recommendations.

COMMUNITY SERVICES DEPARTMENT

APPLICATION NO. Z15/12	PROPOSAL Proposed Rezoning from R1A(H) to R1A, FUD to R1A, and R1A(H) to R1B	EXISTING ZONING R1A (H) and FUD
LEGAL DESCRIPTION Various (see Attachment 1)		CIVIC ADDRESS N/A
		NEIGHBOURHOOD Kensington
DATE July 19, 2012	APPLICANT City of Saskatoon, Land Branch 201 3 rd Avenue North Saskatoon SK S7K 2H7	OWNER City of Saskatoon, Land Branch 201 3 rd Avenue North Saskatoon SK S7K 2H7

LOCATION PLAN



PROPOSED REZONING

From FUD to R1A

From R1A(H) to R1B

From R1A(H) to R1A

File No. RZ15-2012

City of Saskatoon
Planning & Development Branch

A. COMMUNITY SERVICES DEPARTMENT RECOMMENDATION:

That a report be forwarded to City Council recommending:

- 1) that City Council approve the advertising with respect to the proposal to rezone the properties outlined in this report;
- 2) that the General Manager, Community Services Department, be requested to prepare the required notices for advertising the proposed amendments;
- 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
- 4) that at the time of the public hearing, City Council consider the Administration's recommendation that the proposed amendments to Zoning Bylaw No. 8770 be approved:
 - a) that the properties identified in Attachment 2 be rezoned from R1A(H) - One-Unit Residential District with a Holding symbol, and FUD - Future Urban Development District to R1A - One-Unit Residential District; and
 - b) Phase I of the Kensington neighbourhood development, as shown on the Plan of Proposed Subdivision (see Attachment 3), be rezoned from:
 - i. R1A(H) - One-Unit Residential District with a Holding symbol, to R1B - Small Lot One-Unit Residential District (Lots 1 to 26, Block 100, Lots 1 to 29, Block 101, Lots 1 to 30, Block 103); and
 - ii. R1A(H) - One-Unit Residential District with a Holding symbol to R1A - One-Unit Dwelling Residential District (Lots 1 to 15, Block 102, and Lots 71 to 76, Block 103).

B. PROPOSAL

The Planning and Development Branch has received an application from the City of Saskatoon (City), Land Branch requesting that the identified properties within the Kensington Neighbourhood Concept Plan area be rezoned from R1A(H) - One-Unit Residential District with a Holding symbol, and FUD - Future Urban Development District to R1A - One-Unit Residential District; and to rezone Kensington Phase I from R1A(H) - One-Unit Residential District with a Holding symbol, to R1A - One-Unit Residential District and R1B - Small Lot One-Unit Residential District.

C. REASON FOR PROPOSAL (By Applicant)

The proposed rezoning of the identified properties would facilitate residential development that is consistent with the Kensington Neighbourhood Concept Plan.

D. BACKGROUND INFORMATION

During its April 16, 2012 meeting, City Council approved the Kensington Neighbourhood Concept Plan, which provides a wide range of housing options, as well as neighbourhood commercial services.

E. JUSTIFICATION

1. Community Services Department Comments

a) Planning and Development Branch

The proposed rezoning is consistent with the approved Concept Plan. Properties in the northwest part of the Kensington neighbourhood will be zoned R1B District and R1A District to accommodate development of Phase I of the neighbourhood. The remainder of the properties identified will be zoned as a R1A District. Any parcels intended for other forms of development will be subject to future rezoning when detailed survey plans are prepared.

2. Comments by Others

a) Infrastructure Services Department

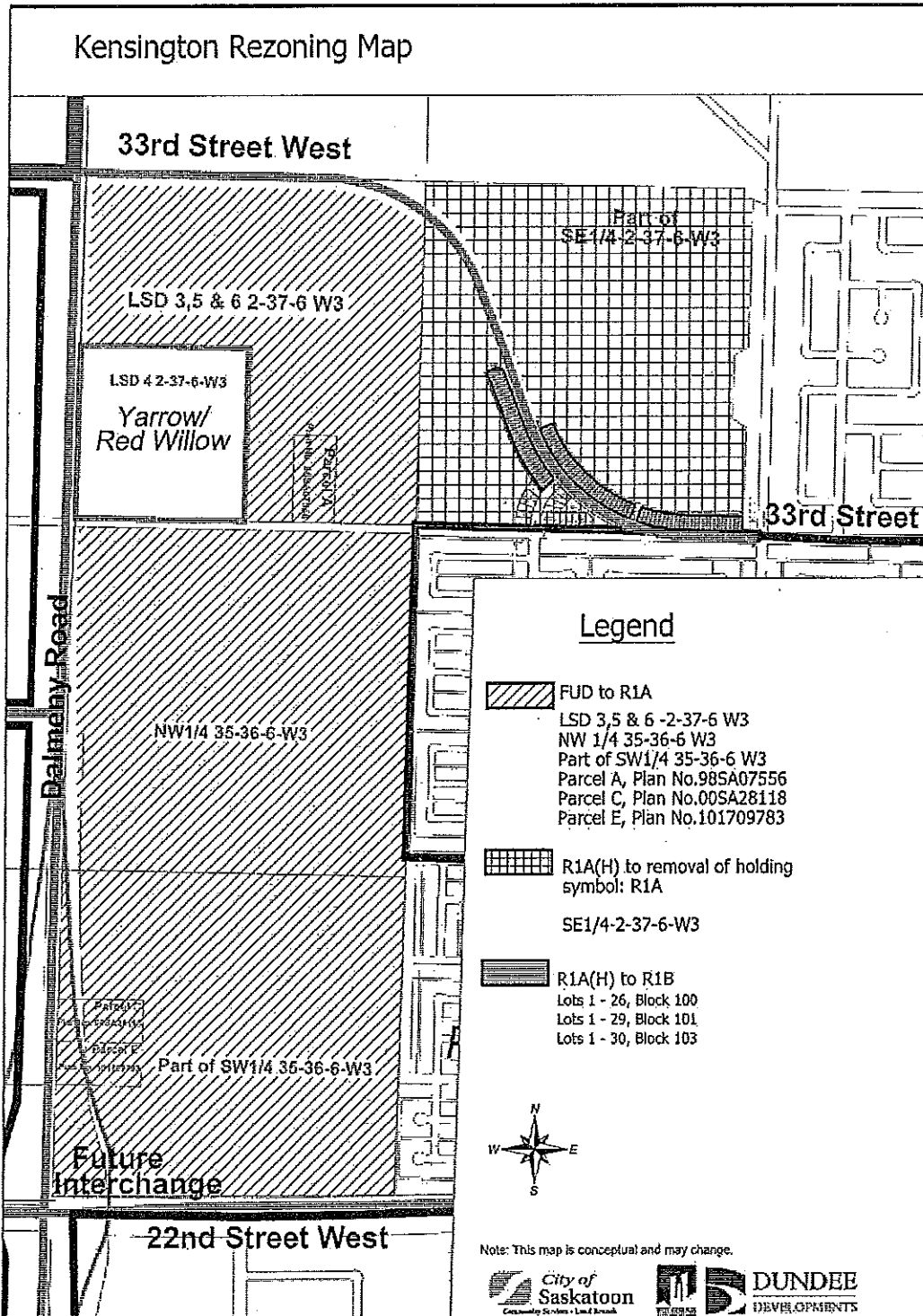
The proposed Zoning Bylaw No. 8770 amendment is acceptable to the Infrastructure Services Department.

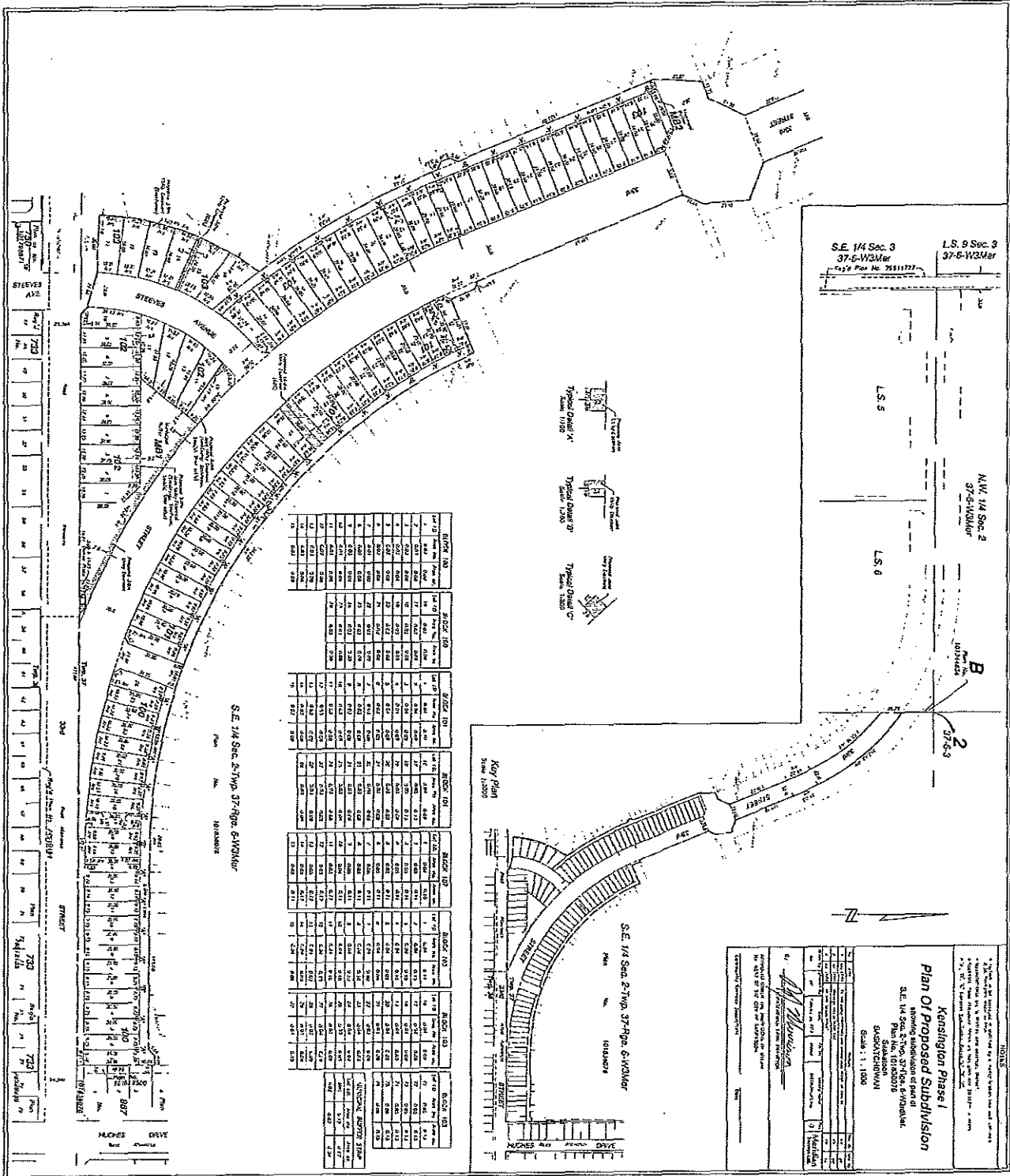
b) Utility Services Department, Transit Services Branch

The Transit Services Branch has no easement requirements regarding the above referenced properties. At present, the Transit Services Branch has no service within 450 metres.

FACT SUMMARY SHEET

FACT SUMMARY SHEET	
A. Location Facts	
1. Municipal Address	N/A
2. Legal Description	LSD 3, 5, and 6 2-37-6-W3; NW¼ 35-36-6-W3; Part of SW¼ 35-36-6-W3; Parcel A, Plan No. 98SA07556; Parcel C, Plan No. 00SA28118; Parcel E, Plan No. 101709783; and Lots 1 to 26, Block 100, Lots 1 to 29, Block 101, Lots 1 to 30, Block 103 as shown on Plan of Proposed Subdivision showing Part of SE¼ 2-37-6-W3, Plan No. 101836076
3. Neighbourhood	Kensington
4. Ward	3
B. Site Characteristics	
1. Existing Use of Property	Residential with a Holding symbol - R1A(H) and Future Urban Development -FUD
2. Proposed Use of Property	Residential – R1A and R1B
3. Adjacent Land Uses and Zoning	Future Urban Development, Residential, Direct Control District, Institutional, and Commercial
North - Undeveloped	Future Urban Development – FUD
South – Blairmore Suburban Centre	Direct Control District – DCD6, Commercial – B3, and Institutional – M3
East – Confederation Park Neighbourhood Pacific Heights Neighborhood	Residential – R2, R1B, and RMTN
West - Undeveloped	Future Urban Development – FUD
4. Street Classification	22 nd Street West – Major Arterial Diefenbaker Drive – Major Arterial 33 rd Street West – Major Arterial
C. Official Community Plan Policy	
1. Existing Official Community Plan Designation	Residential
2. Proposed Official Community Plan Designation	Residential
3. Existing Zoning District	FUD and R1A(H)
4. Proposed Zoning District	R1A and R1B





Block	Lot	Area (sq. ft.)	Area (sq. m.)
BLOCK 101	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 102	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 103	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 104	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 105	1	10,000	914.4
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	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 106	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
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BLOCK 107	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 108	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 109	1	10,000	914.4
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	3	10,000	914.4
	4	10,000	914.4
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BLOCK 111	1	10,000	914.4
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	3	10,000	914.4
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	5	10,000	914.4
	6	10,000	914.4
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	9	10,000	914.4
	10	10,000	914.4
BLOCK 112	1	10,000	914.4
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	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 113	1	10,000	914.4
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	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
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	9	10,000	914.4
	10	10,000	914.4
BLOCK 114	1	10,000	914.4
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	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
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BLOCK 115	1	10,000	914.4
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	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 116	1	10,000	914.4
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	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 117	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 118	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 119	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4
BLOCK 120	1	10,000	914.4
	2	10,000	914.4
	3	10,000	914.4
	4	10,000	914.4
	5	10,000	914.4
	6	10,000	914.4
	7	10,000	914.4
	8	10,000	914.4
	9	10,000	914.4
	10	10,000	914.4

Kensington Phase I
Plan Of Proposed Subdivision
Approved by the City of St. Louis
Plan No. 10180578
Scale: 1:1,000

[Signature]
City Engineer

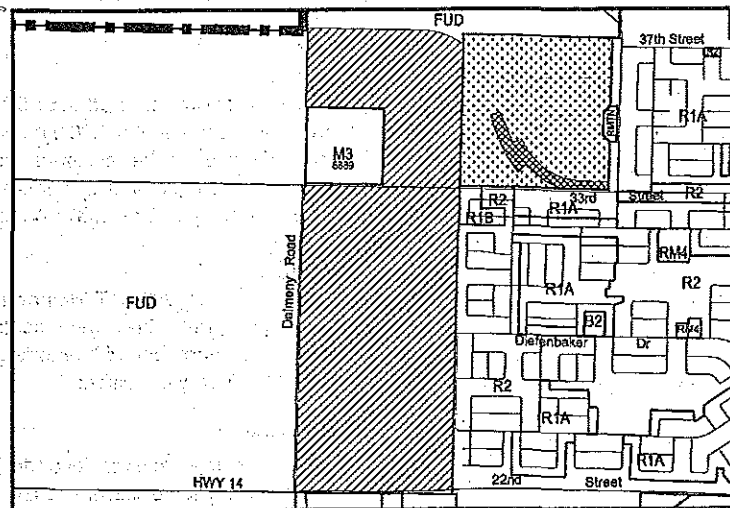
[Signature]
Professional Engineer

ZONING NOTICE




KENSINGTON NEIGHBOURHOOD PROPOSED ZONING BYLAW AMENDMENT – BYLAW NO. 9052

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No.8770). Through Bylaw No.9052, the Zoning Amendment Bylaw 2012 (No. 15), the properties in the Kensington Neighbourhood as shown in the map below will be rezoned from R1A (H) – One-Unit Residential District with a Holding Symbol to R1B – Small Lot One-Unit Residential District; from R1A (H) – One-Unit Residential District with a Holding Symbol to a R1A – One-Unit Residential District; and FUD – Future Urban Development to R1A – One-Unit Residential District.

LEGAL DESCRIPTION – LSD 3, 5 & 6 2-37-6-W3; NW ¼ 35-36-6-W3; Part of SW ¼ 35-36-6-W3; SE ¼ 2-37-6-W3 ;Parcel A, Plan No. 98SA07556; Parcel C, Plan No. 00SA28118; D, Plan 101709783, Surface Parcel 152959539; Parcel E, Plan No. 101709783; Lots 1-26, Block 100; Lots 1-29, Block 101; and Lots 1-30, Block 103 as shown on Plan of Proposed Subdivision showing subdivision of part of S.E. ¼ Sec. 2-Twp. 37-Rge. 6 W3rd Mer. Plan No. 101836076 Saskatoon, SK. by Meridian Surveys Ltd. S.L.S. dated February 26, 2012



PROPOSED REZONING

From FUD to R1A	
From R1A(H) to R1B	
From R1A(H) to R1A	

File No. RZ15-2012



REASON FOR THE AMENDMENT – The proposed rezoning would facilitate residential development in a manner consistent with the Kensington Neighbourhood Concept Plan.

INFORMATION - Questions regarding the proposed amendment or requests to view the proposed amending Bylaw, the City of Saskatoon Zoning Bylaw and Zoning Map may be directed to the following without charge:
Community Services Department, Planning and Development Branch
Phone: 975-7723 (Daniel Gray)

PUBLIC HEARING - City Council will consider all submissions on the proposed amendment, and hear all persons who are present at the City Council meeting and wish to speak on Tuesday, September 4th, 2012 at 6:00 p.m. in City Council Chamber, City Hall, Saskatoon, Saskatchewan.

All written submissions for City Council's consideration must be forwarded to:
His Worship the Mayor and Members of City Council
c/o City Clerk's Office, City Hall

222 Third Avenue North, Saskatoon SK S7K 0J5

All submissions received by the City Clerk by 10:00 a.m. on Tuesday, September 4th, 2012 will be forwarded to City Council.

39)

BYLAW NO. 9053

The Zoning Amendment Bylaw, 2012 (No. 16)

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 16).

Purpose

2. The purpose of this Bylaw is to amend the Zoning Bylaw to provide for a new zoning district known as the B5B – Broadway Commercial District and to make certain consequential amendments.

Zoning Bylaw Amended

3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

Subsection 3.1 Amended

4. Subsection 3.1 is amended by adding “B5B Broadway Commercial District” after “B5 Inner-City Commercial Corridor District”.

Subclause 6.3.3(4) Amended

5. Subclause 6.3.3(4) is amended by adding “B5B,” after “B5,”.

Subclause 6.3.3(6) Amended

6. The chart contained in Subclause 6.3.3(6) is amended:
 - (a) by adding “, B5B,” after “B5” in the heading;
 - (b) by adding “, B5B,” after “B5” in the requirements for Adult day care centres – Type I & II;
 - (c) by adding “and B5B” after “B5” in the first sentence in the requirements for Boarding apartments;

- (d) by adding “and B5B” after “B5” in the first sentence in the requirements for Boarding houses;
- (e) by adding “, B5B” after “B5” in the requirements for Custodial care facilities – Type I, II & III; and
- (f) by adding “and B5B” after “B5” in the first sentence in the requirements for Multiple-unit dwellings.

Subsection 10.8A Amended

- 7. Subsection 10.8A is amended by striking out “10.8A” wherever it occurs in that subsection and replacing it with “10.8B”.

New Subsection 10.8A

- 8. Subsection 10.8A as shown on Schedule “A” to this Bylaw is added after Subsection 10.8.

Sign Regulations Amended

- 9. The Sign Regulations, being Appendix “A” to Bylaw No. 8770 and forming part of the Bylaw, are amended:
 - (a) by adding “B5B,” after “B5,” in Section 2.1; and
 - (b) by adding “B5B,” after “B5,” in Section 3.5.

Coming into Force

- 10. This Bylaw shall come into force on the day of its final passing.

Read a first time this _____ day of _____, 2012.

Read a second time this _____ day of _____, 2012.

Read a third time and passed this _____ day of _____, 2012.

Mayor

City Clerk

Schedule "A" to Bylaw No. 9053

10.8A B5B - Broadway Commercial District

10.8A.1 Purpose

The purpose of the B5B District is to recognize the historic Broadway Commercial area and facilitate mixed use development including a range of commercial, institutional and residential uses in medium to high density form.

10.8A.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in a B5B District are set out in the following chart:

B5B District	Minimum Development Standards (in Metres)						
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)	Amenity Space Per Unit (m ²)
10.8A.2 Permitted Uses							
(1) Hotels and motels	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(2) Restaurants and lounges	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(3) Bakeries	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(4) Dry cleaners	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(5) Theatres	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(6) Commercial recreation uses	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(7) Photography studios	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(8) Retail stores	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(9) Personal service trades and health clubs	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(10) Offices and office buildings	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(11) Medical clinics	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(12) Medical, dental and optical laboratories	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(13) Financial institutions	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(14) Private schools and educational institutions	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(15) Repair services restricted to the repair of household goods and appliances	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(16) Places of worship	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(17) Public halls and community centres	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(18) Private clubs	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(19) Libraries, art galleries and museums	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(20) Funeral homes	7.5	225	0 ₁	0 ₂	0 ₃	-4	-

B5B District	Minimum Development Standards (in Metres)						
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)	Amenity Space Per Unit (m ²)
10.8A.2 Permitted Uses (continued)							
(21) Radio or television studios	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(22) Motion picture or recording studios	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(23) Duplicating or copying centres	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(24) Dwelling units in conjunction with and attached to any other permitted use	-	-	0 ₁	0 ₂	0 ₃	-4	-
(25) Multiple-unit dwellings	15	450	0 ₁	0 ₂	0 ₃	-4	5
(26) Commercial parking lots	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(27) Storage garages	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(28) Banquet halls	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(29) Catering halls and catering kitchens	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(30) Neighbourhood recycling and collection depots	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(31) Parking stations	7.5	225	0 ₁	Refer to Section 6.0			
(32) Shopping centres	15	450	0 ₁	0 ₂	0 ₃	-4	-
(33) Veterinary clinics	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(34) Commercial printers	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(35) Public elementary & high schools	15	450	0 ₁	0 ₂	0 ₃	-4	-
(36) Boarding apartments	15	450	0 ₁	0 ₂	0 ₃	-4	5
(37) Boarding houses	7.5	225	0 ₁	0 ₂	0 ₃	-4	5
(38) Custodial care facilities - Type I & II	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(39) Small animal grooming	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(40) Accessory buildings and uses	-	-	0 ₁	0 ₂	0 ₃	-4	-

10.8A.3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in a B5B District are set out in the following chart:

B5B District	Minimum Development Standards (in Metres)						
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)	Amenity Space Per Unit (m ²)
10.8A.3 Discretionary Uses							
(1) Special needs housing	15	560	0 ₁	0 ₂	0 ₃	-4	5
(2) Child care centres and pre-schools	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(3) Adult day care centres - Type I & II	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(4) Custodial care facilities - Type III	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(5) Night clubs and taverns	7.5	225	0 ₁	0 ₂	0 ₃	-4	-

10.8A. 4 Notes to Development Standards

1. (a) *Building Base*: a minimum of 70% of the aggregate width of the front building line shall be located within 1.0 metre of the front property line.
- (b) *Building Cap*: a minimum front yard shall be provided of 3.0 metres from the front property line up to three storeys from the front property line shall be provided for every storey above the three storey building cap, however, the minimum setback of the building cap shall not exceed 6.0 metres from the front property line.
2. (a) *Building Base*: where a B5B District abuts an R District without the intervention of a street or lane, an abutting side yard shall be provided of at least 1.5 metres.
- (b) *Building Cap*: setback increased by 0.3 metres for each additional story above the building base to a maximum of 3.0 metres.
3. (a) *Building Base*: where a B5B District abuts an R District, a rear yard shall be provided of at least 3.0 metres.
- (b) *Building Cap*: where a B5B District abuts an R District, the rear setback shall be increased by 0.6 metres for each additional story above the building base to a maximum of 7.5 metres.
4. *Building Base*: shall be a minimum of 7.5 metres and a maximum of 12.0 metres. Exceptions may be made for corner sites where the architectural feature is included that may encourage massing and designs that accentuate the visual prominence of the site.

10.8A.5 Signs

The regulations governing signs in a B5B District are contained in **Appendix A - Sign Regulations**.

10.8A.6 Parking

The regulations governing parking and loading in a B5B District are contained in **Section 6.0**.

10.8A.7 Gross Floor Space Ratio

- (1) The gross floor space ratio shall not exceed 7:1.
- (2) In the B5B District, above grade parking floor areas shall not be exempt from the calculation of the gross floor space ratio.
- (3) Notwithstanding Section (2), above grade parking floor areas which are needed to provide 1.25 parking spaces per dwelling unit and parking floor areas which are needed to provide parking at the rate of one parking space for every 24 square metres of gross leasable floor area for all other uses shall be exempt from the calculation of Gross Floor Space Ratio.
- (4) Floor areas used for below grade parking shall be deducted from the exemption outlined in Section (3), at the rate outlined in said Section.

10.8A.8 Landscaping

- (1) On sites used for, commercial parking lots, parking stations or multiple-unit dwellings a landscaped strip of not less than 3 metres in depth throughout lying parallel to and abutting the front site line shall be provided and shall be used for no purpose except landscaping and necessary driveway access to the site, and on corner lots, in addition to the landscaping required in the front yard, a landscaped strip of not less than 1.5 metres in width throughout lying parallel to the flanking street shall be provided.

In addition, on sites used for commercial parking lots or parking stations located at grade level, screening of the site from front streets, flanking streets and public lanes shall be provided to the satisfaction of the Development Officer.

10.8A.9 Garbage Pickup Area

- (1) A space to be used exclusively for garbage storage and pickup, having minimum dimensions of 2.7 metres by 6.0 metres, shall be provided on each site to the satisfaction of the General Manager, Utility Services Department. The required loading and pick up spaces may be combined where considered appropriate by the Development Officer.

The following is a copy of **Clause 2, Report No. 6-2012 of the Municipal Planning Commission**, which was **ADOPTED** by City Council at its meeting held on **August 15, 2012**:

- 2. Proposed New Commercial Zoning District – B5B Broadway and
Proposed New Overlay Zoning District – AC2 –
B5B Architectural Control Overlay Zoning District
Applicant: City of Saskatoon, Planning and Development Branch
(File No. CK. 4350-012-005)**
-

- RECOMMENDATION:**
- 1) that City Council approve the advertising respecting the proposal to amend Sections 13.1.3 of Zoning Bylaw No. 8770 as outlined in the report of the General Manager, Community Services Department dated July 17, 2012;
 - 2) that the General Manager, Community Services Department, be requested to prepare the required notice for advertising the proposed amendment;
 - 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
 - 4) that at the time of the public hearing, City Council consider the Commission's recommendation to amend Zoning Bylaw No. 8770 to add the proposed B5B Zoning District and the AC2 – B5B Architectural Control Overlay Zoning District, and to amend the parking and sign regulations contained in Zoning Bylaw No. 8770 to reflect the addition of the B5B Zoning District.

Attached is a report of the General Manager, Community Services Department dated July 17, 2012, with respect to the above proposed amendments to the Zoning Bylaw.

Your Commission has reviewed the report with the Administration and the Chair of the Broadway 360 Steering Committee, including the consultation process undertaken, and is supporting the above recommendations.

COMMUNITY SERVICES DEPARTMENT

APPLICATION NO. Z14/12	PROPOSAL Proposed New Commercial Zoning District – B5B Broadway Proposed New Overlay Zoning District – AC2 – B5B Architectural Control Overlay Zoning District	EXISTING ZONING
LEGAL DESCRIPTION	CIVIC ADDRESS	
	NEIGHBOURHOOD	
DATE July 17, 2012	APPLICANT City of Saskatoon Planning and Development Branch 222 3 rd Avenue North Saskatoon SK S7K 0J5	OWNER

LOCATION PLAN

A. COMMUNITY SERVICES DEPARTMENT RECOMMENDATION:

that a report be forwarded to City Council recommending:

- 1) that City Council approve the advertising respecting the proposal to amend Sections 13.1.3 of Zoning Bylaw No. 8770 as outlined in this report;
- 2) that the General Manager, Community Services Department, be requested to prepare the required notice for advertising the proposed amendment;
- 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770; and
- 4) that at the time of the public hearing, City Council consider the Administration's recommendation to amend Zoning Bylaw No. 8770 to add the proposed B5B Zoning District and the AC2 – B5B Architectural Control Overlay Zoning District, and that parking and sign regulations contained in Zoning Bylaw No. 8770 are amended to reflect the addition of the B5B Zoning District.

B. PROPOSAL

The Planning and Development Branch is requesting that Zoning Bylaw No. 8770 be amended to add the B5B Broadway Commercial Zoning District and the AC2 – B5B Architectural Control Overlay Zoning District. The addition of the B5B Zoning District also requires amendments to the sign and parking regulations contained in Section 6.0 and Appendix A of Zoning Bylaw No. 8770 (see Attachments 2 and 3).

C. REASON FOR PROPOSAL (By Applicant)

The proposed commercial B5B Zoning District is intended to be applied in the Broadway Avenue commercial area. This district will provide development standards to ensure that new development enhances the existing urban environment along this unique commercial corridor.

The proposed Architectural Control Overlay Zoning District is also intended to be applied in the Broadway Avenue commercial area. This Architectural Control Overlay Zoning District will ensure that new buildings reinforce and enhance the best qualities of the Broadway commercial area.

The B5B Zoning District and the AC2 – B5B Architectural Control Overlay Zoning District is intended to be applied to the Broadway area, which is currently zoned B5, as indicated on Attachment 1. The rezoning of these properties is covered under a separate report.

D. BACKGROUND INFORMATION

In 2007, the Broadway Business Improvement District (BID) and the Nutana Community Association proposed that a study of the Broadway commercial area be undertaken. It was noted by both groups that some of the recommendations contained in the 2001 Nutana Local Area Plan (LAP) had become outdated, other recommendations appeared to be difficult to implement due to community or property owner resistance, and there were concerns about the future character of Broadway Avenue. The City of Saskatoon (City) was invited to participate as a partner with the Broadway BID and Nutana Community Association in the development of a "Broadway Area Plan" to address outstanding recommendations in the Nutana LAP.

The Planning Partnership, a Toronto-based urban planning consultant firm, was hired to prepare what would become the Broadway 360 Development Plan (Plan). The Plan involved a thorough public consultation process that engaged residents, business and commercial property owners, area schools, churches, and those representing Saskatoon's heritage community.

The Plan explored practical urban development solutions to address land use, street character, safety, parking, and traffic issues in the Broadway area. During its September 28, 2009 meeting, City Council received the Plan.

A Steering Committee that was struck during the creation of the Plan was comprised of developers, commercial property owners, Nutana residents, the Nutana Community Association, the BID, and the Ward Councillor. Following City Council receiving the Plan, the Steering Committee met and prioritized the recommendations. The items that were identified as having the highest priority were those concerning land use. These included a new zoning district that would put greater controls on form and massing of building and implementation of an architectural control district. There was initially a lack of consensus within the Steering Committee regarding these proposed development standards.

The Administration worked very closely with the Steering Committee over several months to prepare detailed zoning requirements that would be acceptable to the various stakeholders. The Administration and the Steering Committee met 13 times over the course of 20 months to prepare these proposed Zoning Bylaw No. 8770 amendments.

During its April 16, 2012 meeting, City Council approved an implementation strategy for the Plan. This implementation plan indicated that two tasks, adoption of the recommended development standards and consideration of an architectural control district, would be undertaken in 2012.

E. JUSTIFICATION

1. Community Services Department Comments

a) Official Community Plan Bylaw No. 8769

This area is designated as “Special Area Commercial” on the Nutana Land Use map contained in Official Community Plan Bylaw No. 8769. The proposal to apply a new zoning treatment and architectural control district in the Broadway Avenue commercial area is consistent with the objectives and policies in related to Special Area Commercial Areas, as stated in Section 6.4 of the Official Community Plan:

“Historic Commercial Areas

The Special Area Commercial designation has been applied to certain commercial lands along 20th Street, 33rd Street, Central Avenue and Broadway Avenue, primarily due to their long and unique development history. In general, these areas contain a built form that is oriented to pedestrians, with limited front or side yard setbacks, and with a relatively high density of development. As a consequence, the Zoning Bylaw shall prescribe development standards for these areas which reflect their unique character, while also promoting compatibility with surrounding residential land use.

Specific local area plans or design studies may also be undertaken in these areas to further define future land use patterns and design and development standards.”

b) Planning and Development Branch Comments

i) Proposed B5B Zoning District

The purpose of the B5B district is to recognize the historic Broadway Avenue commercial area and to facilitate mixed-use developments, including a range of commercial, institutional, and medium to high density residential (see Attachment 2). The following table summarizes the differences between the existing B5 and the proposed B5B Zoning District.

B5 Zoning District (Current Regulations)	PROPOSED B5B ZONING DISTRICT
PERMITTED USES	
There are a wide range of uses permitted in the B5 district. This district permits commercial, institutional (office), and residential uses.	The same uses as permitted in B5, with the following vehicle-oriented uses being deleted: a) service stations b) car washes c) motor vehicle, marine, and trailer coach sales establishments d) public garages
SETBACK REQUIREMENTS	
Front Yard Setback – Building Base: a) no minimum for most uses b) 3 metres for vehicle-oriented use c) 6 metres for multiple-unit dwellings	a) no minimum b) maximum setback – A minimum of 70 percent of the aggregate width of the front building line shall be located within one metre of the front property line
Front Yard Setback – Building Cap: a) no current standard	a) Minimum setback of 3 metres up to 3 storeys above the building base and 0.6 metres for every storey above 3, to a maximum setback of 6 metres
Side Yard Setback – Building Base: a) zero, with exceptions	a) no minimum; however, where a B5B District abuts an R District without the intervention of a street or lane, an abutting side yard shall be provided of at least 1.5 metres
Side Yard Setback – Building Cap: a) no current standard	a) the side yard setback shall be increased by 0.3 metres for each additional storey above the building base, to a maximum of 3 metres
Rear Yard Setback – Building Base: a) zero, with exceptions	a) no minimum; however, where a B5B District abuts an R District, a rear yard shall be provided of at least 3.0 metres
Rear Yard Setback – Building Cap: a) no current standard	a) no minimum; however, where a B5B District abuts an R District, the rear yard setback shall be increased by 0.6 metres for each additional storey above the building base to a maximum of 7.5 metres
BUILDING HEIGHT	
Building Base: a) 76 metres for entire building	a) shall be a minimum of 7.5 metres and a maximum of 12 metres
Building Cap: a) 76 metres for entire building	a) no maximum height limit, however, other factors govern height
GROSS FLOOR AREA RATIO	
a) 5:1 – site width less than 15 metres b) 7:1 – site width between 15 metres and 30 metres c) 10:1 – site width greater than 30 metres	a) the gross floor area ratio shall not exceed 7:1

PARKING REQUIREMENTS FOR MULTIPLE-UNIT DWELLINGS	
a)	1.25 per dwelling unit plus 0.125 visitor spaces
b)	units smaller than 50 m ² – 1.0 spaces per unit
a)	parking for multiple-unit dwellings shall be provided at the rate of 1.0 space per dwelling unit, plus 0.125 visitor spaces per dwelling unit

The intent of the B5B District is to ensure that buildings have an identifiable base and cap. The base of the building would have minimal setbacks while the building cap setback would provide appropriate sunlight penetration and ensure that development has an appropriate pedestrian scale.

The proposed B5B Zoning District does not contain a maximum height requirement. The development standards contained in the B5B District utilize tools that will limit the maximum building height. Those factors that have an effect on height include: gross floor area ratio of 7:1, site size, height of base building (must be a minimum 7.5 metres to a maximum of 12 metres), setback and stepbacks, and parking (both the amount of required parking and where it is located on the site).

Amendments are also required to the signage and parking requirements contained in Zoning Bylaw No. 8770 to reflect the addition of the B5B Zoning District. The regulations for parking and signage will be the same as those currently applied in the B5 and B6 Districts.

ii) Proposed AC2 – B5B Architectural Control Overlay District

It is recommended that an Architectural Control District (ACD), including specific Architectural Control Guidelines, be adopted in conjunction with the above noted B5B District (see Attachment 3).

The ACD will provide direction to ensure high quality architectural design for new construction in the Broadway commercial area. The ACD is intended to allow for flexibility and foster creativity in building design.

It is proposed that the ACD will be applied to the construction of all new buildings and where City funding is being requested under programs, such as the Heritage Conservation Program, the Facade Renovation and Rehabilitation Program, or the Affordable Housing Program.

Property owners and developers will be encouraged to follow the guidelines in any other cases.

As noted in Appendix 3, the ACD will contain 14 design guidelines that address the following: building expression, orientation and placement, street wall, heritage contexts, corner sites, storefronts, residential street access units, roof treatment, above-grade parking, material and architectural quality, sidewalk cafes, building lighting, signage, and sustainable design.

The review process for the ACD will be administered by the Planning and Development Branch, Community Services Department, in the same manner as currently undertaken for development projects in River Landing. A development review committee consisting of design professionals (community planners, landscape architects, and other architects) will review each application. Approvals under the ACD are proposed to be delegated to the Administration.

iii) Compatibility with Adjacent Land Uses

These new development standards should reinforce the best qualities that characterize the Broadway Area and ensure an appropriate interface with existing heritage resources and the adjacent low-rise residential neighbourhood. The new B5B Zoning District and the AC2 – B5B Architectural Control Overlay Zoning District are intended ensure that all new development adheres to the development principles contained in the Plan.

4. Comments by Others

a) Infrastructure Services Department

1. The allowed land uses within the proposed zoning district vary widely in capacity use from a water and sewer perspective. High density/high capacity, such as hotels and multi-story residential, may significantly affect water and sewer concerns with respect to fire flows and sanitary sewer capacity. The wide variation makes it very difficult to determine if any water and sewer conditions exist. Storm sewer capacity is not a concern.
2. With varied land uses, it is possible for the first high density new land development (i.e. a multi-story residential or hotel) to effectively consume all the available sanitary sewer capacity in the district, thereby “sterilizing” the area for other high density uses.

Since zoning is the only control for regulating land use it would be prudent to either determine a method of regulating high density uses for the zoning district or determine a levy payment method so that the first user does not benefit from “free” existing capacity while future users must pay for all additional upgrades to water and sewer infrastructure.

Note: The proposed B5B Zoning District will be applied in the area currently zoned B5 in the Broadway Commercial Area. The B5B District limits the maximum development potential in this area compared to what is currently permitted in the B5 District.

The Integrated Growth Plan will be addressing issues related to the financing of infrastructure upgrades necessary to accommodate infill development.

b) Transit Services Branch, Utilities Services Department

At present, Saskatoon Transit has bus stops throughout the district. Service is at 15 minute intervals Monday to Saturday; at 30 minute intervals evenings, early Saturday mornings, Sundays, and statutory holidays.

F. ENVIRONMENTAL IMPLICATIONS

There are no environmental implications and/or greenhouse gas implications.

G. COMMUNICATION PLAN

As noted above, this Plan has been undertaken as a joint initiative of the Broadway BID, the Nutana Community Association, and the City. Extensive public consultation was undertaken throughout the Broadway 360 study process.

In addition, a public open house was held on January 19, 2012, at the Cosmopolitan Senior Citizens Centre on 10th Street in Nutana. A presentation by your Administration was followed by a question and answer period. A technical workshop was also held on January 24, 2012. Notices for these consultations were distributed throughout the area by flyer drop, in the Nutana Community Association newsletter, and by direct mail to Broadway commercial property owners and business owners.

The technical workshop was targeted towards developers, commercial property owners, architects, and others in the development industry. A summary of these consultations is included as Attachment 4.

If this application is approved for advertising by City Council, a notice will be placed in The StarPhoenix for a minimum of seven days prior to the date on which the matter will be considered by City Council. Notice boards will also be placed throughout the area. The Steering Committee members, the Nutana Community Association, and Broadway BID will be notified of the hearing date when set. The property owners affected by this rezoning will also be notified, in writing, by mail.

H. ATTACHMENTS

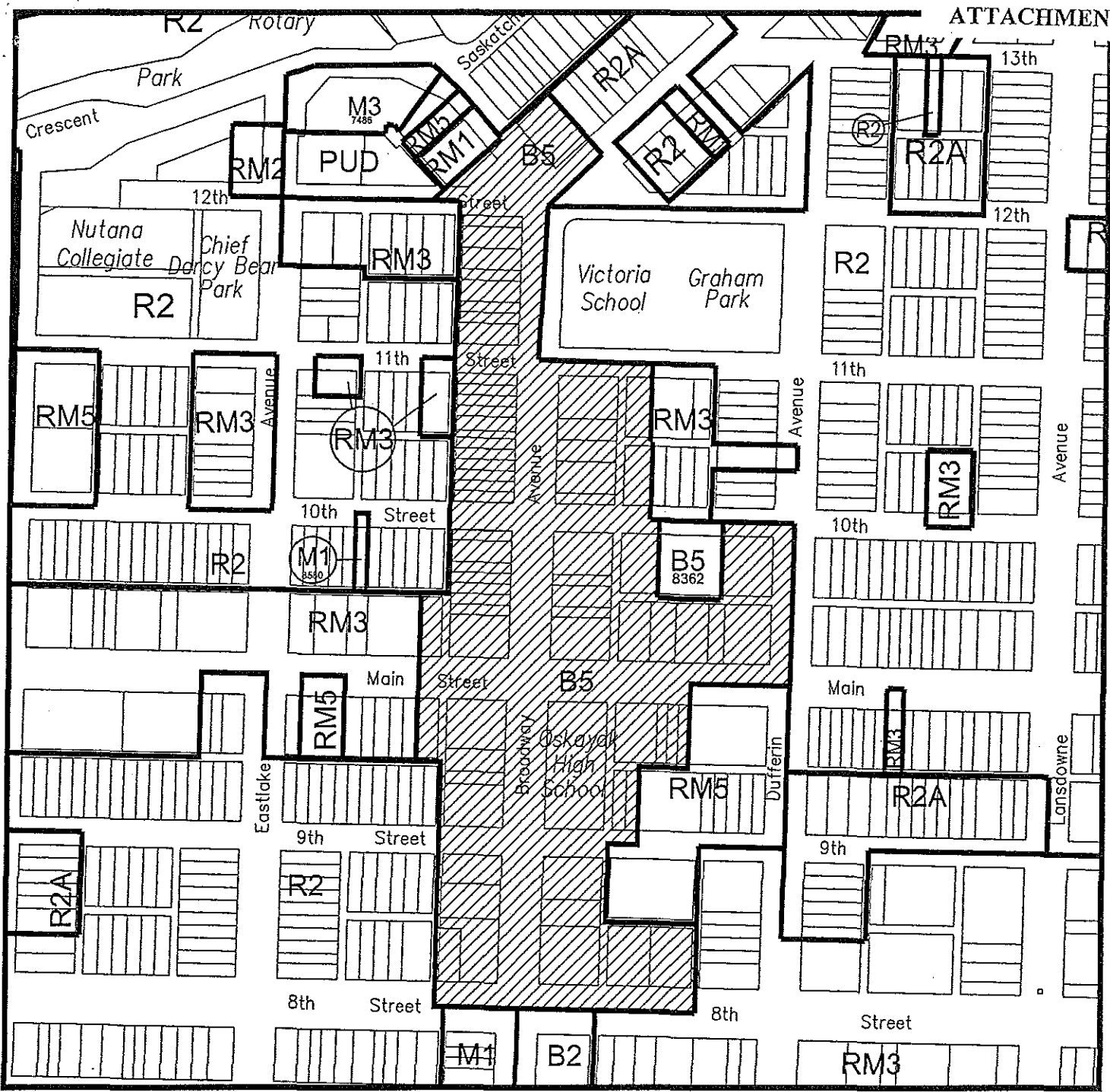
1. Map from B5 to B5B and to AC2 – B5B
2. Proposed B5B Zoning District
3. Proposed AC2 – B5B Architectural Control Overlay Zoning District
4. Feedback from January 2012 Consultation

Written by: Paula Kotasek-Toth, Heritage and Design Coordinator

Reviewed by: “Darryl Dawson” for
Alan Wallace, Manager
Planning and Development Branch

Approved by: “Randy Grauer”
Randy Grauer, General Manager
Community Services Department
Dated: “July 30, 2012”

Approved by: “Murray Totland”
Murray Totland, City Manager
Dated: “July 30, 2012”



REZONING

From B5 to B5B and B5B(ACD2) — 



X.X. B5B - Broadway Commercial District

X.X.1 Purpose

The purpose of the B5B District is to recognize the historic Broadway Commercial area and facilitate mixed use development including a range of commercial, institutional and residential uses in medium to high density form.

X.X.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in a B5B District are set out in the following chart:

B5B District	Minimum Development Standards (in Metres)						
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)	Amenity Space Per Unit (m ²)
10.8.2 Permitted Uses							
(1) Hotels and motels	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(2) Restaurants and lounges	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(3) Bakeries	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(4) Dry cleaners	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(5) Theatres	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(6) Commercial recreation uses	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(7) Photography studios	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(8) Retail stores	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(9) Personal service trades and health clubs	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(10) Offices and office buildings	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(11) Medical clinics	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(12) Medical, dental and optical laboratories	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(13) Financial institutions	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(14) Private schools and educational institutions	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(15) Repair services restricted to the repair of household goods and appliances	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(16) Places of worship	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(17) Public halls and community centres	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(18) Private clubs	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(19) Libraries, art galleries and museums	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(20) Funeral homes	7.5	225	0 ₁	0 ₂	0 ₃	-4	-

B5B District	Minimum Development Standards (in Metres)						
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)	Amenity Space Per Unit (m ²)
10.8.2 Permitted Uses (continued)							
(21) Radio or television studios	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(22) Motion picture or recording studios	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(23) Duplicating or copying centres	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(24) Dwelling units in conjunction with and attached to any other permitted use	-	-	0 ₁	0 ₂	0 ₃	-4	-
(25) Multiple-unit dwellings	15	450	0 ₁	0 ₂	0 ₃	-4	5
(26) Commercial parking lots	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(27) Storage garages	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(28) Banquet halls	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(29) Catering halls and catering kitchens	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(30) Neighbourhood recycling and collection depots	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(31) Parking stations	7.5	225	0 ₁	Refer to Section 6.0.			
(32) Shopping centres	15	450	0 ₁	0 ₂	0 ₃	-4	-
(33) Veterinary clinics	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(34) Commercial printers	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(35) Public elementary & high schools	15	450	0 ₁	0 ₂	0 ₃	-4	-
(36) Boarding apartments	15	450	0 ₁	0 ₂	0 ₃	-4	5
(37) Boarding houses	7.5	225	0 ₁	0 ₂	0 ₃	-4	5
(38) Custodial care facilities - Type I & II	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(39) Small animal grooming	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(40) Accessory buildings and uses	-	-	0 ₁	0 ₂	0 ₃	-4	-

X.X. 3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in a B5B District are set out in the following chart:

B5B District	Minimum Development Standards (in Metres)						
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)	Amenity Space Per Unit (m ²)
10.8.3 Discretionary Uses							
(1) Special needs housing	15	560	0 ₁	0 ₂	0 ₃	-4	5
(2) Child care centres and pre-schools	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(3) Adult day care centres - Type I & II	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(4) Custodial care facilities - Type III	7.5	225	0 ₁	0 ₂	0 ₃	-4	-
(5) Night clubs and taverns	7.5	225	0 ₁	0 ₂	0 ₃	-4	-

X.X. 4 Notes to Development Standards

1. (a) *Building Base:* a minimum of 70% of the aggregate width of the front building line shall be located within 1.0 metre of the front property line.
- (b) *Building Cap:* a minimum front yard shall be provided of 3.0 metres from the front property line up to three storeys from the front property line shall be provided for every storey above the three storey building cap, however, the minimum setback of the building cap shall not exceed 6.0 metres from the front property line.
2. (a) *Building Base:* where a B5B District abuts an R District without the intervention of a street or lane, an abutting side yard shall be provided of at least 1.5 metres.
- (b) *Building Cap:* setback increased by 0.3 metres for each additional story above the building base to a maximum of 3.0 metres.
3. (a) *Building Base:* where a B5B District abuts an R District, a rear yard shall be provided of at least 3.0 metres.
- (b) *Building Cap:* where a B5B District abuts an R District, the rear setback shall be increased by 0.6 metres for each additional story above the building base to a maximum of 7.5 metres.
4. *Building Base:* shall be a minimum of 7.5 metres and a maximum of 12.0 metres. Exceptions may be made for corner sites where the architectural feature is included that may encourage massing and designs that accentuate the visual prominence of the site.

X.X.5 Signs

The regulations governing signs in a B5B District are contained in **Appendix A - Sign Regulations**.

X.X.6 Parking

The regulations governing parking and loading in a B5B District are contained in **Section 6.0**.

X.X.7 Gross Floor Space Ratio

- (1) The gross floor space ratio shall not exceed 7:1.
- (2) In the B5B District, above grade parking floor areas shall not be exempt from the calculation of the gross floor space ratio.
- (3) Notwithstanding Section (2), above grade parking floor areas which are needed to provide 1.25 parking spaces per dwelling unit and parking floor areas which are needed to provide parking at the rate of one parking space for every 24 square metres of gross leasable floor area for all other uses shall be exempt from the calculation of Gross Floor Space Ratio.
- (4) Floor areas used for below grade parking shall be deducted from the exemption outlined in Section (3), at the rate outlined in said Section.

X.X.8 Landscaping

- (1) On sites used for, commercial parking lots, parking stations or multiple-unit dwellings a landscaped strip of not less than 3 metres in depth throughout lying parallel to and abutting the front site line shall be provided and shall be used for no purpose except landscaping and necessary driveway access to the site, and on corner lots, in addition to the landscaping required in the front yard, a landscaped strip of not less than 1.5 metres in width throughout lying parallel to the flanking street shall be provided.

In addition, on sites used for commercial parking lots or parking stations located at grade level, screening of the site from front streets, flanking streets and public lanes shall be provided to the satisfaction of the Development Officer.

X.X.9 Garbage Pickup Area

- (1) A space to be used exclusively for garbage storage and pickup, having minimum dimensions of 2.7 metres by 6.0 metres, shall be provided on each site to the satisfaction of the General Manager, Utility Services Department. The required loading and pick up spaces may be combined where considered appropriate by the Development Officer.

ARCHITECTURAL CONTROL DISTRICT 2

*B5B Architectural
Control Overlay
Zone*

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Introduction

The Broadway 360 Development Plan was prepared in 2009 and is a comprehensive development plan for Nutana's Broadway area that will help shape future public and private sector decisions and investments, including guidance on the uses and form of development that is appropriate for this area.

The Broadway 360 Development Plan was guided by the following five pillars:

1. Towards a Sustainable Nutana & Saskatoon
2. Healthy Neighbourhood = Healthy Broadway
3. Leveraging Distinct Character
4. Well Mannered & High Quality New Buildings
5. Pedestrians First

The Broadway 360 Development Plan recommended that an Architectural Control District (ACD) be implemented to complement the Development Framework (B5B Zoning District). The guidelines contained in the ACD will provide direction regarding the quality of design for built form elements. The guidelines will ensure that new buildings reinforce and enhance the best qualities of the Broadway area. The guidelines are intended to provide for flexibility and not be prescriptive and rigid in their interpretation.

These guidelines will be applied in the following:

1. New construction
2. In circumstances where the City of Saskatoon is providing funding for exterior and facade renovation through the Heritage Conservation Program or the Facade Renovation and Rehabilitation Program or any City of Saskatoon program that may be funding the project (i.e. vacant lot program, affordable housing)

Property owners and developers will be encouraged to follow the guidelines in other cases.

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Theme

Broadway

Heritage

Core

“The Broadway area comprises the ‘heart’, ‘town centre’, and ‘main street’ of the Nutana community. Established as a temperance colony in the late 19th century, Nutana is one of Saskatoon’s most desirable neighbourhoods, due in large part to its historic ‘small town’ charm, the success of Broadway Avenue commercial area, and the proximity to the Downtown and the University of Saskatchewan.

Neighbourhoods are constantly changing and evolving, and Broadway Avenue and the Nutana Neighbourhood is no exception. At the heart of Saskatoon’s original neighbourhood, the Broadway area has been the social and commercial core for over 125 years. In more recent years, the area’s central location, and its unique history can character, and the distinct mix of restaurants and stores has attracted new residents and visitors to the neighbourhood, contributing to the revitalization that has made Broadway Avenue a region-wide destination.”

Notwithstanding the intent of this document to control aspects of architectural development in the Broadway Commercial Area, the controls or guidelines provide direction for the quality of design for a variety of built form elements. As a means for ensuring that new buildings reinforce and enhance the best qualities of the Broadway area. Therefore the projects must support the theme of “**Broadway Heritage Core**”.

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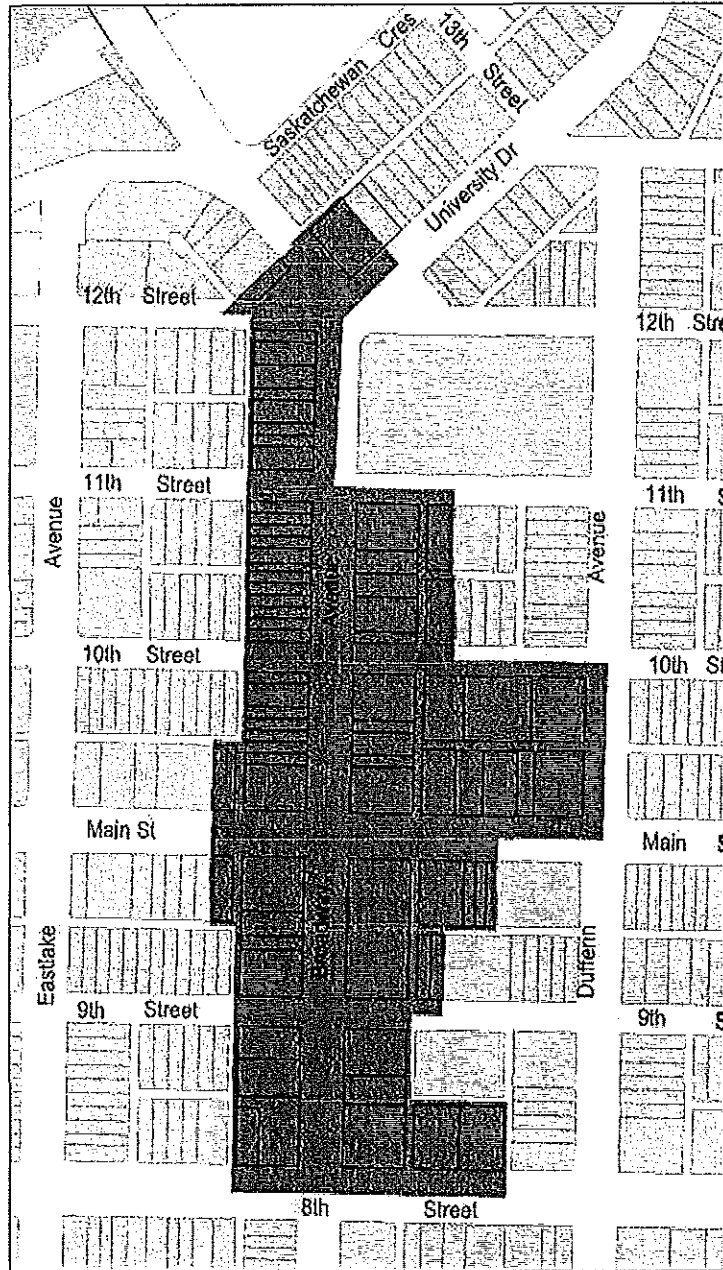
Development Principles

A central objective is to ensure that new buildings reinforce a coherent, harmonious and appealing urban environment, as well as contribute to the enhancement of the public realm. Informed by the consultation process and rooted in good planning and urban design practice, the key principles include:

- ❖ Protecting heritage resources and retaining their visual prominence.
- ❖ Protecting and strengthening established low-rise residential areas and ensuring compatible infill development and sympathetic developments in adjacent higher density areas.
- ❖ Ensuring base building conditions that form an appropriately scaled and designed street wall that reinforces the desired character at the street level.
- ❖ Ensuring appropriate building massing and height taking into consideration existing and permitted heights; proportional relationships to streets; and, visual and physical impacts on pedestrians and adjacent areas.
- ❖ Ensuring that new developments provide for appropriate transitions between areas of differing intensities and scales.
- ❖ Reinforcing important intersections and corners through massing and design.
- ❖ Well designed and articulated buildings that positively contribute to the quality and animation of the streetscape and the overall defining character and image of the area.

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Map of B5B Area



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1

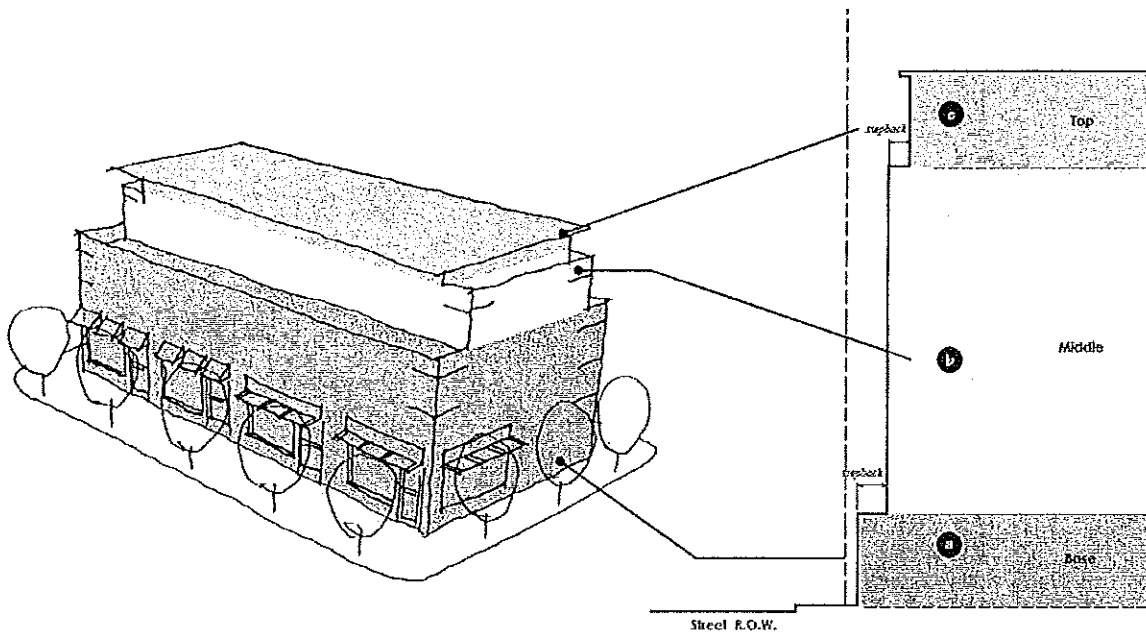
Building Expression

Buildings should reinforce a *base, middle, and top* in their design.

Base – Within the first three storeys of a building, a clearly defined base will contribute to the quality of the pedestrian environment by providing animation, transparency, and articulation.

Middle – The body of the building should contribute to the physical and visual quality of the overall streetscape.

Top – The roof should be distinguished from the rest of the building and designed to contribute to the visual quality of the streetscape.



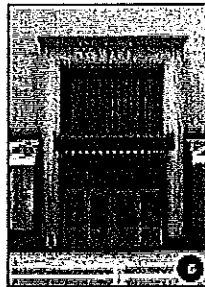
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2

Orientation and Placement

Buildings can enhance the pedestrian environment by creating a sense of enclosure. This is achieved by framing the street with parallel aligned buildings and providing the appropriate levels of animation and use.

- ❖ All buildings should orient to the street with clearly defined entry points that directly access the sidewalk.
- ❖ A minimum of 70% of the front building line shall be located within 1.0 metre of the front property line.

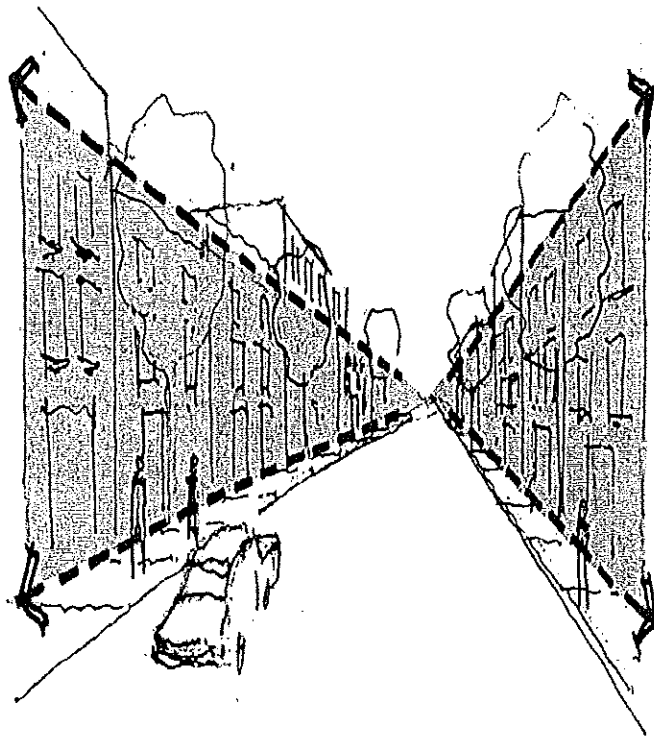


3

Street Wall

The street wall has the greatest impact on the character of the street experience. The key design objectives for street walls in the Broadway Area ensure visual continuity, pedestrian scale, animation and design quality.

- ❖ A street wall of a new building should align with those of neighbouring buildings or have the same setback as the predominant buildings on the block.
- ❖ The height of the street wall should be consistent with historic heights of no greater than 3 storeys and no less than 2 storeys. Levels above the street wall should be set back to reinforce a low-rise interface with the sidewalk.
- ❖ The height of ground-level floors should be visually prominent and no less than 4.5 metres for commercial and 4.0 metres for residential uses.



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4

Heritage Contexts

New buildings on Broadway Avenue should complement, rather than detract from, the character of older buildings.

General Guidelines

New buildings should avoid historical misrepresentation by not replicating past architectural styles.

New buildings should consider and respect the scale, material and massing of adjacent heritage significant buildings.

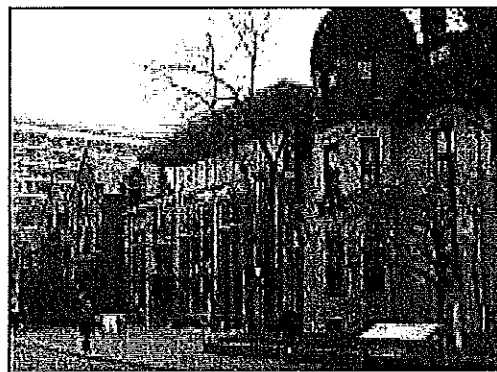
Façade Articulation

New buildings should respect the pattern of façade division by ensuring the horizontal and vertical architectural orders, including windows and entries, are aligned with neighbouring heritage buildings or the established pattern on the block.

Façade Materials

New buildings should consider materials and colours evident in existing heritage significant properties.

Building materials should be chosen for their functional and aesthetic quality. Exterior finishes should exhibit quality of workmanship, sustainability, permanence, and ease of maintenance.

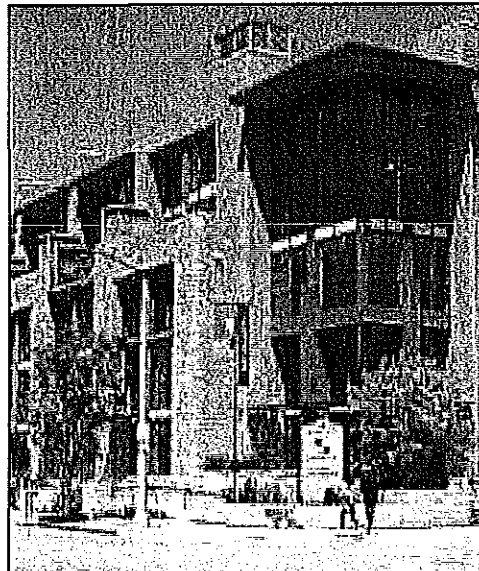
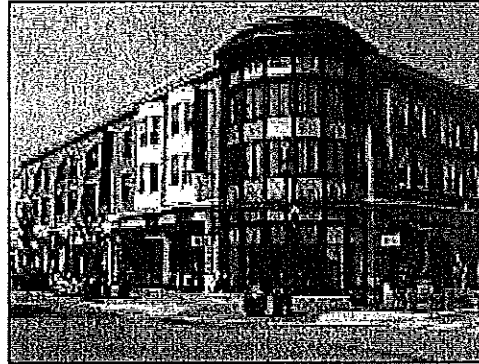


5

Corner Sites

Corner buildings have a greater visual prominence given that they front onto two streets and frame intersections. To enhance the distinction of new buildings at Key Corner Sites, modest exceptions to stepbacks and height restrictions should be permitted to encourage massing and designs that accentuate the visual prominence of the site.

- ❖ New developments on all corner sites should orient to both street frontages.
- ❖ Corner entrances should be encouraged wherever possible to address the two street frontages.



6

Storefronts

Well proportioned and designed storefronts can provide animation and visual interest at the sidewalk.

- ❖ To reflect the existing character and context, storefronts should generally have a frontage in the range of 7.5 metres but not greater than 15 metres.
- ❖ Where frontages are greater than 7.5 metres, they should articulate narrow storefronts in the design of the facade.
- ❖ Storefronts should have a minimum of 75% glazing to maximize visual animation.
 - Clear glass should be used for windows and doors along the street-level façade. Dark tinted, reflective or opaque glazing should be discouraged for storefronts.
- ❖ Storefront entrances should be highly visible and clearly articulated. Entrances should be located at or near grade.
- ❖ Storefront signage should be consistent with the signage guidelines, but add diversity and interest to the street.
- ❖ Weather protection for pedestrians is encouraged through the use of awnings and canopies.



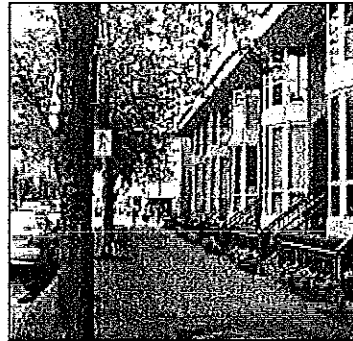
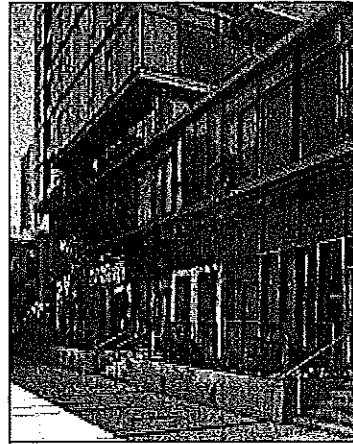
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7

Residential Street Access Units

Where retail is not required, and residential uses are proposed at-grade, the following guidelines apply:

- ❖ Residential uses at-grade should include individual units accessed from the street.
- ❖ Appropriate front yard privacy measures should be considered such as setbacks, landscaping, and porches.
- ❖ Access to the individual units should be clearly visible, and the scale, rhythm and articulation of the street wall should be consistent with the residential character of adjacent neighbourhoods. Grade-level units should be designed to accommodate live-work opportunities and potential conversion into commercial or retail uses.

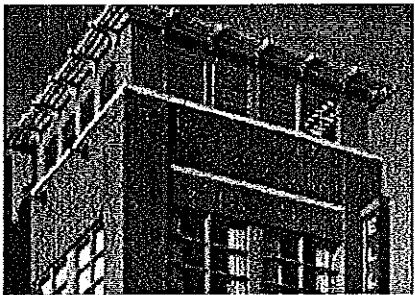
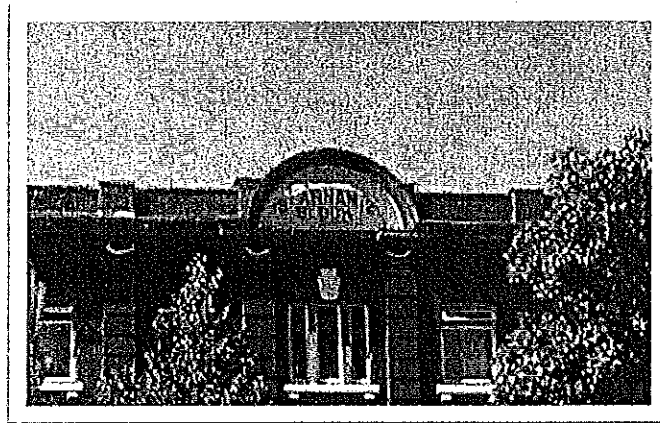
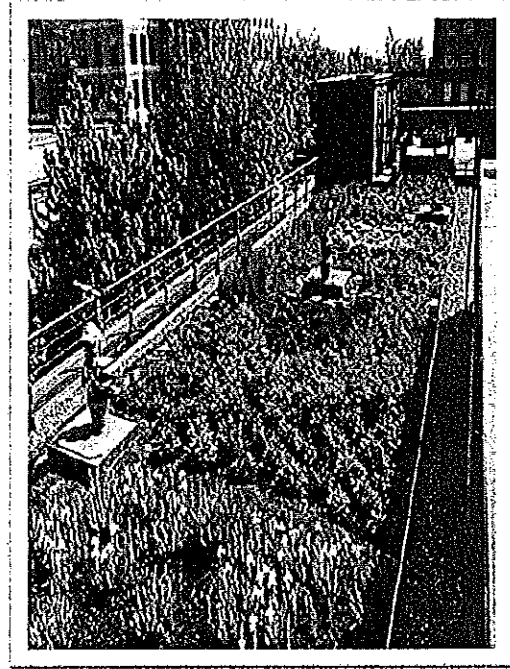


8

Roof Treatment

The design of the roof can make an impact on the character of the streetscape, especially from great distances. Roofs are also seen from other buildings of equal or greater height.

- ❖ The expression of the building top and roof should be clearly distinguished from the rest of the building through treatments such as stepbacks, change in materials, cornices lines, and overhangs.
- ❖ Mechanical penthouses should be integrated with the architectural treatment of roofs and/or screened from view.
- ❖ Green roofs should be encouraged.



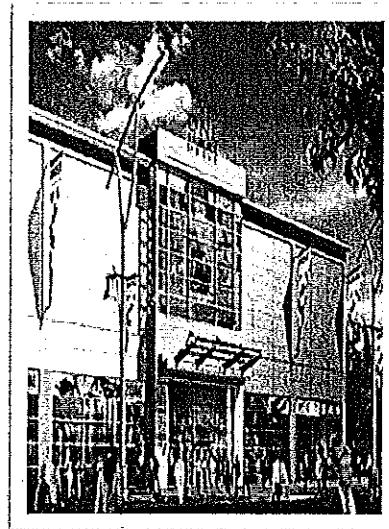
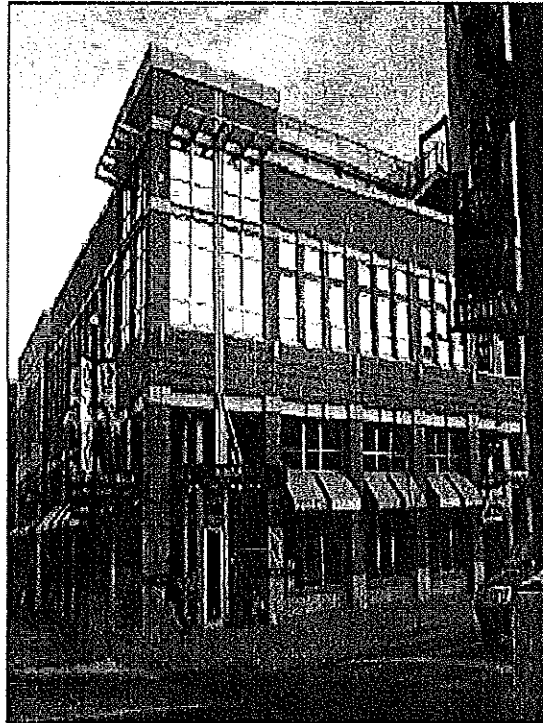
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9

Above Grade Parking

Wherever possible, parking for new developments should be provided at the rear or below-grade and accessed off the rear lane. However, where parking is provided above-grade within the base building, the following guidelines address the design and quality of such structures.

- ❖ Direct access for parking, loading, and service areas from the street should be discouraged.
- ❖ Where an above-grade parking facility fronts on a street, the ground-level frontage should incorporate retail, public or other active uses.
- ❖ Above-grade parking structures should be designed in such a way that they reinforce the intended built character and blend into the streetscape.



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10

Material & Architectural Quality

New developments should ensure excellence in architectural design and in the use of high-grade materials, particularly at street-level. A key objective of the Broadway 360° Development Plan is to achieve a balance between consistencies in design quality and street interface, while enabling individual expression in new developments. Key guidelines for architectural and material quality include:

- ❖ The Broadway area has a rich history of development that is reflected in the Prairie-style ‘main street’ buildings that are constructed in a variety of materials. New developments should seek to contribute to this mix and variety.
- ❖ Building materials should be chosen for their functional and aesthetic quality and exterior finishes should exhibit quality of workmanship, longevity, sustainability and ease of maintenance.
- ❖ Building materials recommended for new construction include brick, stone, wood, glass, in-situ concrete and pre-cast concrete.
- ❖ In general, the appearance of building materials should be true to their nature and should not mimic other materials.
- ❖ Vinyl siding, plastic, plywood, concrete block, darkly tinted and mirrored glass utilizing exposed fasteners should be discouraged.

Recommended Materials	Not Recommended Materials
Brick	Vinyl siding
Stone	Plastic
Wood	Plywood
Glass	Darkly tinted or mirrored glass
In-situ concrete	Concrete Block
Pre-cast concrete	Metal siding with exposed fasteners



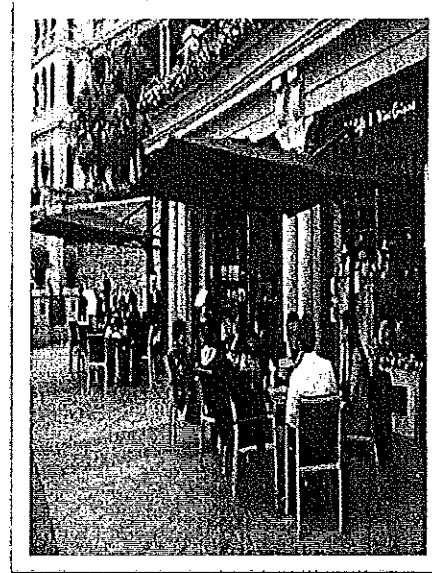
11

Sidewalk Cafes

Sidewalk cafés enhance the vibrancy of street life, further enable social interaction, and are major destinations in the warmer months.

Sidewalk cafés should be encouraged throughout the Broadway Area provided there are no conflicts with adjacent land uses and they are able to be accommodated within the existing sidewalk width dimensions without encumbering pedestrians.

- ❖ Where permitting, small sidewalk cafés should be encouraged along streets with narrower sidewalks as well.
- ❖ Sidewalk cafés should be designed to contribute and integrate into the streetscape.
- ❖ Curb bump-outs should be encouraged at all corners to provide for additional sidewalk café opportunities.
- ❖ Rear yard and roof top patios should be directed to properties that are not directly adjacent to residential neighbourhood.

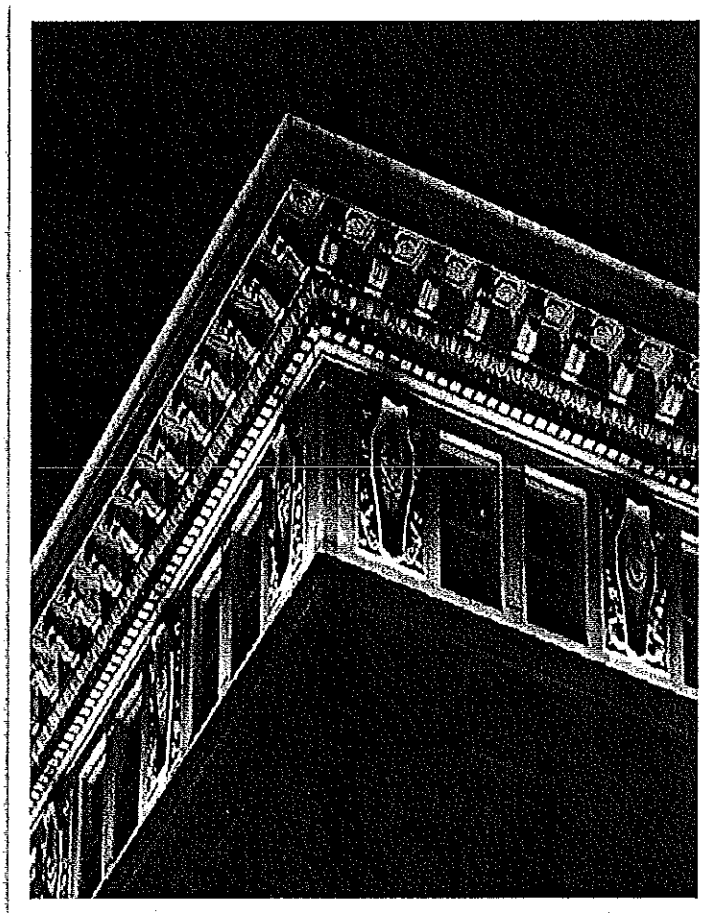


12

Building Lighting

The image and experience at night is an important aspect of any mixed-use area

- ❖ Attractive landscape and architectural features can be highlighted with spot-lighting or general lighting placement.
- ❖ Heritage and institutional buildings, as well as landmark elements such as public art, steeples or distinctive rooflines, should be illuminated.
- ❖ Subtle night-lighting of retail display windows should be encouraged.

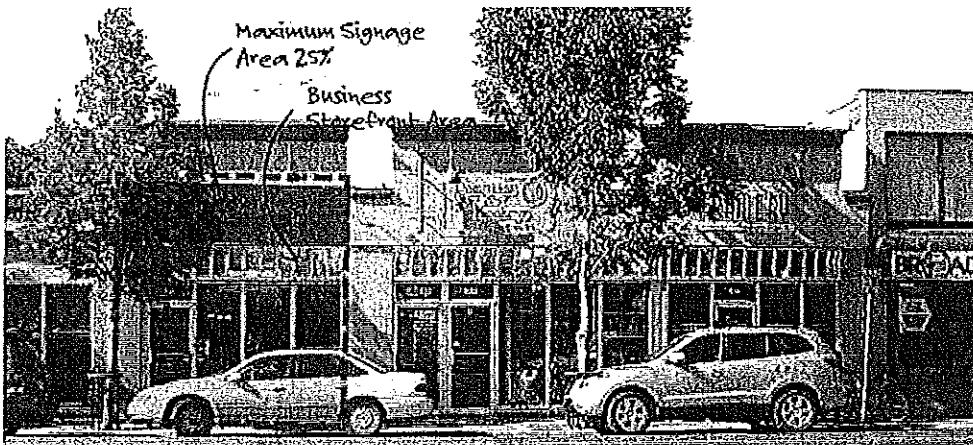
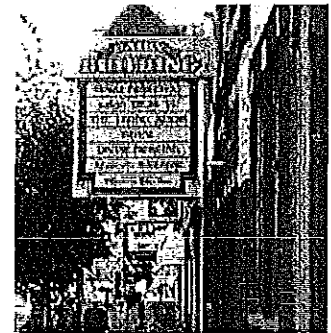


13

Signage

Signage plays an important role in the overall image of any area. Signs should contribute to the quality of individual buildings and the overall streetscape. This includes compatibility with heritage buildings, where appropriate. High quality, imaginative, and innovative signs are also encouraged.

- ❖ The maximum signage area for storefront signs should be no more than 25% of the business storefront.
- ❖ Back lit illuminated rectangular sign boxes are discouraged.
- ❖ Signage should not obscure windows, cornices or other architectural elements.
- ❖ Signage should aid pedestrians and drivers in navigating the area, especially at night.
- ❖ Billboards, super boards, and roof mounted signs are not permitted.



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14

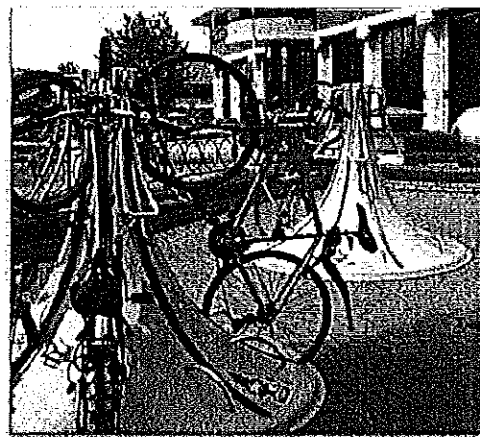
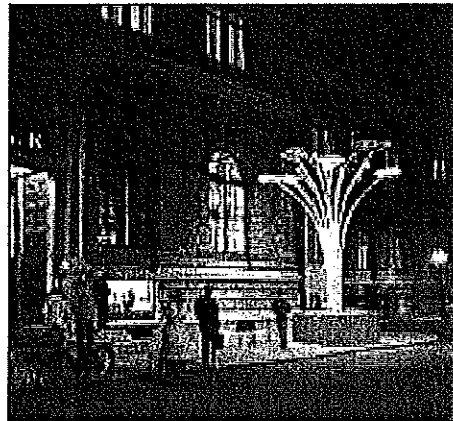
Sustainable Design

Conservation of natural resources and systems should be a primary consideration in the planning, design, and construction process. To achieve this, all proposed projects should strive for sustainable building practices. This includes public as well as private development, and encompasses streets, parks, and buildings.

New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the property. The new work should be differentiated from the old and should be compatible with the historic materials, features, size, scale, height, proportion and massing to protect the integrity of the property and its environment.



Surface runoff from the street is captured in a naturalized swale.



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List of Terms

- ❖ **Animation** concerns spaces that have an animated quality; liveliness; movement; activity.
- ❖ **Articulation** is the emphasis or accentuation of different parts of a building so that they are distinct and stand out clearly.
- ❖ **Building setback** is the distance at-grade (ground level) that the building is set back from the property line.
- ❖ **Building stepback** is the distance, above the base building, that the remaining portion of the building (building cap) is set back from the face of the base building.
- ❖ **Cornice** is a decorative molding that crowns a building.
- ❖ **Floor Area Ratio (FAR)** is the ratio of gross floor area of the building divided by the site area.
- ❖ **Glazing** is the part of a wall or window that is glass.
- ❖ **Mechanical Penthouse** is the covering or enclosure on the roof of a building that houses mechanical systems or equipment for the building.
- ❖ **Rhythm**, in architecture, is the repetitive or alternating use of visual elements to create a pattern.
- ❖ **Transparency** refers to the degree to which people can see or perceive what lies beyond the street edge, often through windows, doors, fences and landscaping.
- ❖ **Parapet** is a low wall projecting from the edge of a platform, terrace, or roof.
- ❖ **Storefront** refers to an area on the frontage of a building that is delineated by features to indicate a separate or distinctive “frontage”. Larger building frontages should be divided into narrower storefronts to create visual animation and visual interest at the sidewalk.

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Broadway 360 Technical Workshop
Cosmopolitan Senior Citizens Centre – 614 11th Street East
January 24, 2012
5:30 pm

On behalf of the Broadway 360 Steering Committee, Sarah Marchildon, Executive Director of the Broadway Business Improvement District, thanked everyone for attending this technical workshop on proposed land use changes. The purpose of tonight's meeting is to review the proposed B5B Zoning District and proposed Architectural Control District for the Broadway commercial area. Tim Steuart will give a presentation with question period following. After formal part of meeting, the Steering Committee will be around for more one on one discussion.

Broadway 360 Land Use Implementation
Tim Steuart, Senior Planner, Business License & Zoning Compliance Section

A bit of background. This came together from a unique cooperative effort between property owners, residents, and the BID to make Broadway a better place. A comprehensive study was done with the goal of recognizing that Broadway is a special area, a cool area created with pedestrian environment. Everyone involved didn't want to assume it will stay this way forever, but there was a desire try to ensure it does. The Steering Committee has come up with a very good plan. One issue was zoning and to ensure the zoning treatment is satisfactory to all.

All properties in the Broadway Commercial Area currently zoned B5 (Inner-City Commercial Corridor) are proposed to be rezoned to the new B5B (Commercial Zoning District), a zoning district designed exclusively for Broadway.

The new B5B includes changes to the permitted uses and development standards. Also, all B5B-zoned properties would be subject to an Architectural Control District.

Saskatoon is growing strongly and we need to grow up as well as out, creating the urban living room.

- The first three storeys matter most.
- Density done properly has many benefits.
- The stepback enhances the pedestrian experience.

What factors will affect the overall height of a building?

- Gross Floor Area Ratio (7:1) which means that the maximum building volume can be 7 times the site area
- Site size (bigger, taller buildings can be built on larger sites)
- Height of base building (must be a minimum 7.5 metres to a maximum of 12 metres)
- Setback and stepbacks (must meet minimum requirements, setbacks affect the overall building form and height)
- Parking
 - Amount of required parking

- Location of parking (at grade at rear of site, below grade in parking structure, or above grade in parking structure)

Do not want building setback from the street. Requirement that at least 70% of building face the street, setback for courtyard. Removed service stations and commercial parking lot from permitted uses. Parking provision is currently 1.25 parking spaces for residents and 1 visitor for every 8 dwellings. This has been reduced to 1 parking space for residents while visitor parking has remained the same. Nothing set for commercial buildings and not proposing changes as it is usually self-regulating since developers understand that providing parking helps to attract potential tenants, so a minimum parking provision does not seem necessary.

The proposed B5B Zoning District would be subject to an Architectural Control District (ACD) intended to preserve the physical character of the area.

The ACD would contain a set of design guidelines, known as the Broadway Commercial Area Design Plan that all new development in the B5B District must conform to. Establishing an Architectural Control District (ACD) allows for enforceable design controls in the Broadway Commercial Area.

Currently, the only ACD in Saskatoon is River Landing, which for the most part, is new buildings and the land was mostly owned by City. This would be a first in Saskatoon with infill or a character area, maybe even the first in Saskatchewan. This has long been standard in other provinces and the U.S.

Councillor Clark stated this process involved a collection of groups that came together with different views and have created something not only for Saskatoon, but the whole province. Everyone walked down the street and pointed out their issues and these issues helped develop the guidelines through this consultative process.

The goal now is to find out what the public thinks of this proposal, before taking it to City Council.

The process for ACD is an application for development permit which is then reviewed by a committee of design professionals from landscape, architectural, community planning backgrounds. The committee has approximately 15 members, with 3 selected to review each application. The entire process usually takes about 60 days. It is on a professional level and not just someone's pet peeves or personal preferences.

There are 14 design guidelines in the Broadway Commercial Area Design Plan

1. Building Expressions

- Buildings should reinforce a *base*, *middle*, and *top* in their design.
- Within the first three storeys of a building, a clearly defined *base* contributes to the quality of the pedestrian environment.
- The *middle* or body of a building should contribute to the overall quality of the streetscape.

- The *top* or roof should be distinguished from the rest of the building.

2. Orientation & Placement

- All buildings should orient to the street with clearly defined entry points that directly access the sidewalk.
- A minimum of 70% of the front building line shall be located within 1.0 metre of the front property line.
- Buildings can enhance the pedestrian environment by creating a sense of enclosure.

3. Street Wall

- A street wall of a new building should align with those of neighbouring buildings or have the same setback as the predominant buildings on the block.
- The height of the street wall should be consistent with historic heights of no greater than 3 storeys and no less than 2 storeys.
- Levels above the street wall should be set back to reinforce a low-rise interface with the sidewalk.

4. Heritage Context

- New buildings on Broadway Avenue should complement, rather than detract from, the character of older buildings.
- General Guidelines – New buildings should avoid historical misrepresentation by not replicating past architectural styles, and should respect the scale, material and massing of adjacent heritage buildings.
- Facade Articulation – New buildings should ensure the horizontal and vertical architectural orders including windows and entries, are aligned with neighboring heritage buildings or the established pattern on the block.

5. Corner Sites

- Corner buildings have a greater visual prominence given that they front onto two streets and frame intersections.
 - Designs and massing of corner buildings should accentuate the visual prominence of the site.
 - Corner buildings should orient to both street frontages and, wherever possible, have entrances that address both frontages.

6. Storefronts

- To provide animation and visual interest, storefronts should have:
 - A frontage in the range of 7.5 metres.
 - A minimum of 75% glazing to maximize visual animation.
 - Entrances that are highly visible and located at or near grade.
 - Signage that adds diversity and interest to the street.
- Dark tinted, reflective, or opaque glazing should be discouraged for storefront glazing

7. Residential Street Access Units

- In buildings where residential uses are located at-grade:
 - The individual units should be accessed from the street

- Appropriate front yard privacy measures should be taken
- Access to the units should be consistent with the residential street character in Nutana

8. Roof Treatment

- Roof design should consider the following guidelines:
 - The use of stepbacks, changes in materials, cornice lines and overhangs
 - Screen mechanical penthouses from view
 - Green roofs are encouraged

9. Above Grade Parking

- Where parking is provided at grade, the following guidelines address the design quality of the facility:
 - Direct access from the street is discouraged.
 - Ground level retail should be incorporated, where the parking structure fronts a street.
 - Parking structures should be designed to reinforce the built character and blend into the streetscape.
- Broadway 360° recommends that, wherever possible, parking should be provided in the rear yard or below grade, and should be accessed from the lane.

10. Material & Architectural Quality

- New developments should contribute to the Prairie-style Main Street building style that exists
- High quality materials should be chosen that are both functional and aesthetically pleasing
- Materials chosen should not mimic other materials
- A key objective of Broadway 360 is to achieve a balance between consistencies in design quality & street interface, while enabling individual expression.

11. Sidewalk Cafes

- Should be encouraged along all sidewalks
- Should contribute and integrate into the streetscape
- Corners with “curb bump outs” could provided additional opportunities
- Rear yard and roof-top patios should not abut residential areas
- Sidewalk cafes should be encouraged, provided they don’t cause land use conflicts or encumber pedestrian movements.

12. Building Lighting

- Both landscape and architectural features can be highlighted
- Landmarks & distinctive features of buildings should be illuminated
- Subtle night lighting of retail displays should be encouraged

13. Signage

- Storefront signs should be no more than 25% of the business storefront
- Should aid pedestrians & drivers, especially at night

- Backlit rectangular sign boxes should be discouraged
- Signage should not obscure building features.
- Signage Group 5, in the City of Saskatoon Zoning Bylaw is applied to Broadway Avenue

14. Sustainable Design

- Projects should strive for sustainable building practices
- When adaptive reuse projects are undertaken to rehabilitate historic buildings, the old and new should be compatible in terms of historic materials, features, size, scale, height, proportion and massing to protect the integrity of the property and its environment

Questions:

- Could you briefly describe gross floor space exemptions for parking?

Under the B5 Zoning District currently, certain things are exempt from, like indoor parking is not counted towards the total area of the building. E.g. you have a parking floor it does not count as gross floor space. Steering committee was concerned about very large and tall buildings also providing a significant amount of above grade commercial parking. Parking above grade will count towards the ration with the exception of the parking you need for the building itself. We will look at the parking area and the parking you have to provide for dwelling units and the parking for commercial area at rate of 24 square meters plus the drive lanes and the ramps. We will credit that back to you; it will not count toward parking structure.

- Parking with mixed used development, how do you treat the artist who works and lives in place?

The live/work unit would count as a residential dwelling, so one parking space would be required.

- Are there still no parking requirements for commercial property?

No, this remains the same.

Comments:

- It is a huge challenge task to bring this into place. Almost to mold into a campus area. Guidelines are good to control design, but if too wide open it's difficult to administer. However, you don't want it too stringent either. Couple concerns with the first two guidelines.
 - Base, middle and cap seems simple and perfect, but concern with wall aspect of a 2 or 3 storey building, not sure if good for street. Maybe need to have a restriction of number of stories as well. Need more to guide this.
 - 70% frontage and street wall... How will this affect the Extra Foods or Oskayak School if they change ownership?

- Signage and indirect architectural lighting sections are good.
- Storefront is critical for this process.

Tim noted many issues will be covered off by codes as they are more stringent than guidelines can be.

- Some concern with the height allowed for building, seems allowance is too high. Buds is 5 stories and that is fine, but going 12 stories seems high.

Tim noted the ratio of the historic building height will be followed.

- Good solid principle, it allows for a bit of variety, very sound, but is there any room allowed for odd variety that still maintains the character?
- It seems like the smaller lots may not be able to follow the 7:1 ratio.

Tim noted it is important to maintain the pedestrian feel.

- Last area is sustainable design, which is about providing general encouragement and not specific guidelines.

Tim stated the design and statement of intent. It is more becoming the norm, it is good business sense. Don't really need to regulate it as it is the way of good business, much the same as the parking provision.

- **Is there a goal regarding the ratio of residential to commercial property?**

There is no specific quota, but the goal is to have mixed uses. Fact of the matter is Broadway is a very healthy area of mixed use and hope it will continue.

Tim thanked everyone for their time and reminded the group that the Steering Committee members will be around for anyone who wishes to have a more one to one conversation.

For more information please visit: www.broadway360.ca

Public Open House
Broadway 360 Land Use Implementation
Proposed B5B and ACD
Thursday, January 19, 2012

Comments:

1.
 - In planning guideline has thought been given to right to sunlight. As a solar installer and local resident I can imagine objections to shading from new development.
 - Any encouragement or incentives for green buildings practices.
 - Would existing proposed development in old car was site on Main Street be subjected to new guidelines.

2.
 - I am very pleased with what the 360 committee has come up with.
 - Really like the setbacks for taller buildings.
 - Glad you kept heritage context
 - Above grade parking that was good to see well designed.
 - Kudos to all the people who have put time and energy into this project.
 - I totally support it
 - Final comment – I don't want buildings higher than 12 stories but understand the ratio and compromises that had to be made.

3.
 - Excellent consultative process and result!

4.
 - A slide during the presentation briefly mentioned "sustainable design" as an architectural control. I'm curious as to what these sustainable initiatives entail. Sustainability is a fashionable word; I hope it is more than just a buzz word. Are LEED standards being considered?

5.
 - I support the ACD but I believe that some people find the term (particularly "control") threatening and scary. I understand the term's ubiquity but perhaps a terminology change could ease acceptance.
 - Unrelated: I'd like to see more attention paid to streetscaping – the current crosswalks, for example, suck. I'd like to see Farmer's Market/River Landing – style bricked crosswalks on Broadway to enhance the pedestrian experience and calm traffic.

6.
 - I am new to Saskatoon so my questions might be silly/irrelevant:

- Is Broadway 360 expected to change the current zoning bylaws? If not, which rules/plans over-rides the other?
- Is every compatible and "in line"? For example, 7:1 ratio vs what height is currently allowed.
- Might be something to be careful about

7.

- An opportunity to "fix" the building height anomaly on Broadway. The wrong message is being set to the development community that this height and building mass is what the community supports for the immediate and future. This is ludicrous. The city has the right (legally) to change these anomalies and wake certain the design future desired by citizens – not just a few landowners. Height, the B5B height, belongs downtown. Graduate the height downward away from the core. Look at S.E. Falsecreek (Vancouver) Olympic village relative to downtown Vancouver.

8.

- I like this plan a lot, very good work.

9.

- Very good to see progress of any kind in keeping our distinct livable for our families.
- Concerns:
 - "Parking should be accessed from the lane" – What is the impact on residences in the area, will there be extra upkeep on those lanes?
 - Boundaries you have excluded, the area across 8th Street (south side 8th St & Broadway). Which have been 2 areas that have seen changes (Shell Station) and the "M" Zoned area on Broadway across from the
 - Catholic Church. This is important to!! Why excluded?
 - Concerned by the "should" language like "rooftop patios should not abut residential" – does that mean they still can? Can an existing building add a rooftop because it isn't a new building?
- I realize the zoning is different but couldn't it be included in the future.

10.

- I do not notice any standard recommendations (rules) for the usage of lanes that border residential areas.

11.

- Overall I think you've done a really good job with the new proposed Zoning District and the important move to create enforceable design guidelines for new development in the complementary Architectural Control District.
- I have one comment that is aimed at improving the Architectural Overlay District Design Guidelines.
 - Under the "Storefronts" guideline, please consult the recently approved Phase One of the City Centre Plan, which the Broadway Commercial area

is a part of, on p. 74, where it gives guidelines/indicators for Attractive Ground Floor Frontages. Also see p. 126-127 Opportunities, "From a few dispersed main streets... to a network of active streets." The current "Storefronts" guideline is not strong enough to give affect to the opportunities proffered in the Public Spaces Activity and Urban Form Strategic Framework (November 2011).

12.

- We have a unique neighbourhood on Broadway as it stands right now, why do you want to change it by wanting to put up highrisers? We like it the way it is right now. We wouldn't have moved to this area if we didn't like it. Besides, the more highrisers there are, the less seen a person gets, the more cranky the people become, then there is more traffic and more crime. You people in City Hall can only think of getting more money in your pockets, so it comes down to being greedy.

13.

- My thanks to all the people who worked on this project! A lot of thought and hard work has obviously gone into keeping our neighbourhood the great place it is to live. I, like many, am a bit disappointed with the height restriction issue, but I think they came up with some good compromises. I also didn't hear anything about the number of highrisers that could be built. I fear the area will become overly congested with overly expensive apartment buildings. I appreciate the diversity we now have in Nutana and would miss it if we only lived around luxury condos. Just a thought. Hopefully, this can be passed at City Council ASAP. Thanks again. The meeting was very informative.

Submitted via Broadway 360 website:

14.

- I think the type of successful community that Broadway has been since it was redeveloped almost 30 years ago, is one that is people driven rather than architecture driven. Though heritage buildings provide a basic element, with new construction a sort of stylized ambience can be built, but the hollow act of simply inserting nice looking buildings won't prove fruitful for the continued success of the district in the long term.

My belief is that architecture should follow use and that design is for people to work, live and play in, and this can be satisfied through community building that essentially relies on establishing mixed use and mixed levels of affordability.

The things that make Broadway special are the people who live and work there every day. The owner-operator businesses provide the attraction to people coming into the area for the unique shops and restaurants. The BBID support every aspect of day-to-day life and year round events that Saskatoon has

become known for – unfortunately these independent businesses are fading with the end of each lease period and may soon be gone. Housing is a prime issue in Saskatoon; increased density can be achieved gracefully through multi-level-use planning.

What I suggest is that we, in whatever way it can be arranged, strive to put in place in a rule book to guarantee we can grow and preserve at once, for example: the B5B outlines the perimeters, sets heights defines set backs etc. But it's the 'inner workings' of a building that will contain and define whether or not a building is successfully integrated to support the community.

To adhere to an integration and affordability platform will ensure that each building is designed in measured percentages that include mixed use lease and resale units – a variety of sizes of each type of unit (because size determines market value, lease rate, sale price, etc), and a variety of each unit per a percentage of each of type of use; be it retail, office or residential.

That this kind of coding of multiple use, multi-layered affordability could be what in fact defines a very healthy future for Broadway. And this may be the only way we can ensure that Broadway remains a people place, that there will be something for everyone by-design regulations for sizes and uses of interior spaces. In this way the 360 plan can fulfill its mandate, be a model, impress on developers that mixed use, community affordability is incredibly important to people now and future generations of the Broadway District and for that matter, anywhere in Saskatoon.

ZONING NOTICE

NUTANA NEIGHBOURHOOD – BROADWAY COMMERCIAL AREA PROPOSED B5B BROADWAY COMMERCIAL DISTRICT – BYLAW NO. 9053

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No. 8770). Through Bylaw No. 9053, the Zoning Amendment Bylaw 2012 (No. 16), it is proposed to amend the Zoning Bylaw by adding a new commercial zoning district, the B5B District.

The proposed B5B Zoning District is intended to recognize the historic Broadway Avenue Commercial Area and to facilitate mixed-use developments, including a range of commercial, institutional, and medium to high density residential. This will be accomplished by providing development standards to ensure that new development enhances the existing urban environment along the Broadway Avenue Commercial Corridor. Amendments will be made to the parking and signage sections of Bylaw No. 7800 that are required due to the addition of this district.

REASON FOR THE AMENDMENT – This proposed B5B Zoning District will provide development standards to ensure that new development enhances the existing urban environment along this important commercial corridor. The B5B Zoning District will ensure that buildings have an identifiable base and cap, which will create a street wall to enhance existing pedestrian environments.

PROPOSED AC2 – B5B Architectural Control Overlay District – BYLAW NO. 9055

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No. 8770). Through Bylaw No. 9055, the Zoning Amendment Bylaw 2012 (No. 18), it is proposed to amend the Zoning Bylaw by an architectural control overlay zoning district, the AC2 - B5B District.

The proposed AC2 – B5B Architectural Control Overlay District contains fourteen design guidelines that address the following: building expression, orientation and placement, street wall, heritage contexts, corner sites, storefronts, residential street access units, roof treatment, above grade parking, material and architectural quality, sidewalk cafes, building lighting, signage, and sustainable design. This bylaw will be applied in conjunction with the B5B Zoning District.

It is proposed that the design guidelines will be applied to the construction of all new buildings and where City funding is being requested under programs such as the Heritage Conservation Program, the Facade Renovation and Rehabilitation Program, and the Affordable Housing Program; and property owners and developers will be encouraged to follow the guidelines in any other cases.

REASON FOR THE AMENDMENT – The proposed AC2 – B5B Architectural Control Overlay District will provide direction to ensure high quality architectural design for new construction in the Broadway Commercial Area. It is intended to allow for flexibility and foster creativity in building design.

INFORMATION - Questions regarding the proposed amendments or requests to view the proposed amending Bylaws, the City of Saskatoon Zoning Bylaw and Zoning Map may be directed to the following without charge:
Community Services Department, Planning and Development Branch
Phone: 975-2993 (Paula Kotasek-Toth).

PUBLIC HEARING - City Council will hear all submissions on the proposed amendments, and all persons who are present at the City Council meeting and wish to speak on Tuesday, September 4th, 2012 at 6:00 p.m. in City Council Chamber, City Hall, Saskatoon, Saskatchewan.

All written submissions for City Council's consideration must be forwarded to:
His Worship the Mayor and Members of City Council
c/o City Clerk's Office, City Hall
222 Third Avenue North, Saskatoon SK S7K 0J5

All submissions received by the City Clerk by 10:00 a.m. on Tuesday, September 4, 2012 will be forwarded to City Council. City Council will also hear all persons who are present and wish to speak to the proposed Bylaws.

39)

BYLAW NO. 9055

The Zoning Amendment Bylaw, 2012 (No. 18)

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 18).

Purpose

2. The purpose of this Bylaw is to incorporate regulations into the Zoning Bylaw which provide flexibility and foster creativity in building design for new construction within a design theme for the Broadway Commercial Area.

Zoning Bylaw Amended

3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

New Section 14.5

4. Section 14.5 is added after Section 14.4:

“14.5 AC2 - B5B Architectural Control Overlay District

14.5.1 Purpose

The purpose of this section is to establish an Architectural Control District (“ACD”) overlay in the B5B – Broadway Commercial Zoning District (“B5B”). The Primary purpose of this ACD is to promote a selected design theme for the B5B zoning district.

14.5.2 ACD Overlay for B5B District

- (1) The B5B District is subject to an ACD overlay known as the B5B – Architectural Control Overlay District (AC2).

- (2) The architectural controls contained in the Broadway Commercial Corridor Design Guidelines apply in the B5B – Architectural Control Overlay District (AC2). The Broadway Commercial Corridor Design Guidelines are attached as Appendix “D” to this Bylaw and form part of the Bylaw.
- (3) All new development in the B5B – Architectural Control Overlay District (AC2), must conform to the guidelines contained in the Broadway Corridor Design Guidelines.”

Broadway Corridor Design Guidelines

- 5. The Broadway Corridor Design Guidelines attached as Appendix “A” to this Bylaw are added to the Zoning Bylaw as Appendix “D” to that Bylaw.

Coming into Force

- 6. This Bylaw shall come into force on the day of its final passing.

Read a first time this _____ day of _____, 2012.
Read a second time this _____ day of _____, 2012.
Read a third time and passed this _____ day of _____, 2012.

Mayor

City Clerk

ARCHITECTURAL CONTROL DISTRICT 2

*B5B Architectural
Control Overlay
Zone*

Introduction

The Broadway 360 Development Plan was prepared in 2009 and is a comprehensive development plan for Nutana's Broadway area that will help shape future public and private sector decisions and investments, including guidance on the uses and form of development that is appropriate for this area.

The Broadway 360 Development Plan was guided by the following five pillars:

1. Towards a Sustainable Nutana & Saskatoon
2. Healthy Neighbourhood = Healthy Broadway
3. Leveraging Distinct Character
4. Well Mannered & High Quality New Buildings
5. Pedestrians First

The Broadway 360 Development Plan recommended that an Architectural Control District (ACD) be implemented to complement the Development Framework (B5B Zoning District). The guidelines contained in the ACD will provide direction regarding the quality of design for built form elements. The guidelines will ensure that new buildings reinforce and enhance the best qualities of the Broadway area. The guidelines are intended to provide for flexibility and not be prescriptive and rigid in their interpretation.

These guidelines will be applied in the following:

1. New construction
2. In circumstances where the City of Saskatoon is providing funding for exterior and facade renovation through the Heritage Conservation Program or the Facade Renovation and Rehabilitation Program or any City of Saskatoon program that may be funding the project (i.e. vacant lot program, affordable housing)

Property owners and developers will be encouraged to follow the guidelines in other cases.

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Theme

“The Broadway area comprises the ‘heart’, ‘town centre’, and ‘main street’ of the Nutana community. Established as a temperance colony in the late 19th century, Nutana is one of Saskatoon’s most desirable neighbourhoods, due in large part to its historic ‘small town’ charm, the success of Broadway Avenue commercial area, and the proximity to the Downtown and the University of Saskatchewan.

Broadway

Heritage

Core

Neighbourhoods are constantly changing and evolving, and Broadway Avenue and the Nutana Neighbourhood is no exception. At the heart of Saskatoon’s original neighbourhood, the Broadway area has been the social and commercial core for over 125 years. In more recent years, the area’s central location, and its unique history can character, and the distinct mix of restaurants and stores has attracted new residents and visitors to the neighbourhood, contributing to the revitalization that has made Broadway Avenue a region-wide destination.”

Notwithstanding the intent of this document to control aspects of architectural development in the Broadway Commercial Area, the controls or guidelines provide direction for the quality of design for a variety of built form elements. As a means for ensuring that new buildings reinforce and enhance the best qualities of the Broadway area. Therefore the projects must support the theme of “**Broadway Heritage Core**”.

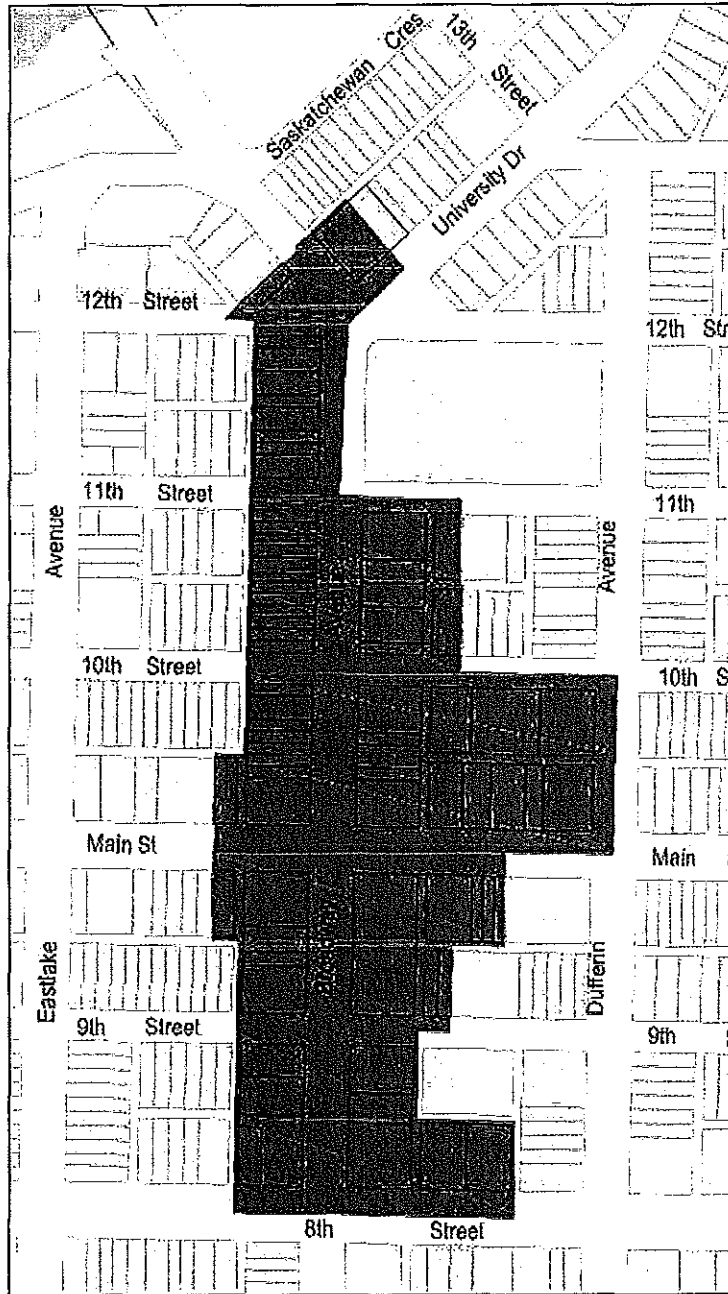
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Development Principles

A central objective is to ensure that new buildings reinforce a coherent, harmonious and appealing urban environment, as well as contribute to the enhancement of the public realm. Informed by the consultation process and rooted in good planning and urban design practice, the key principles include:

- ❖ Protecting heritage resources and retaining their visual prominence.
- ❖ Protecting and strengthening established low-rise residential areas and ensuring compatible infill development and sympathetic developments in adjacent higher density areas.
- ❖ Ensuring base building conditions that form an appropriately scaled and designed street wall that reinforces the desired character at the street level.
- ❖ Ensuring appropriate building massing and height taking into consideration existing and permitted heights; proportional relationships to streets; and, visual and physical impacts on pedestrians and adjacent areas.
- ❖ Ensuring that new developments provide for appropriate transitions between areas of differing intensities and scales.
- ❖ Reinforcing important intersections and corners through massing and design.
- ❖ Well designed and articulated buildings that positively contribute to the quality and animation of the streetscape and the overall defining character and image of the area.

Map of B5B Area



360 BOARDWAY
creating our neighbourhood plan

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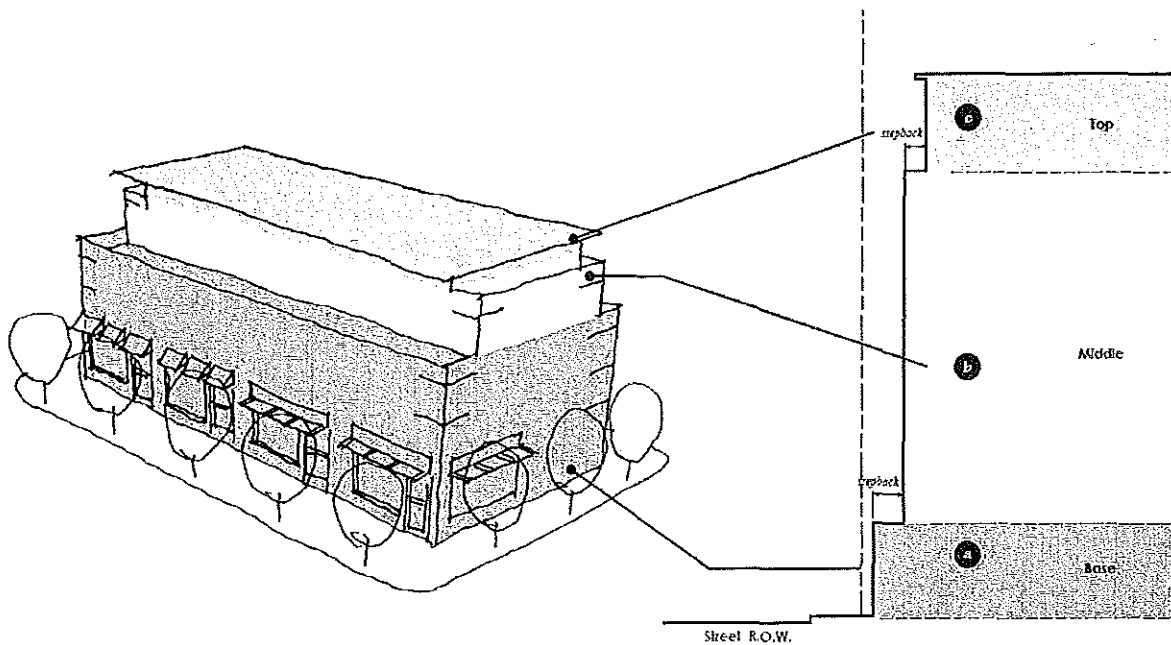
Building Expression

Buildings should reinforce a **base**, **middle**, and **top** in their design.

Base – Within the first three storeys of a building, a clearly defined base will contribute to the quality of the pedestrian environment by providing animation, transparency, and articulation.

Middle – The body of the building should contribute to the physical and visual quality of the overall streetscape.

Top – The roof should be distinguished from the rest of the building and designed to contribute to the visual quality of the streetscape.



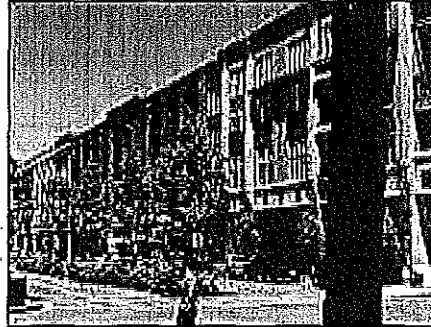
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2

Orientation and Placement

Buildings can enhance the pedestrian environment by creating a sense of enclosure. This is achieved by framing the street with parallel aligned buildings and providing the appropriate levels of animation and use.

- ❖ All buildings should orient to the street with clearly defined entry points that directly access the sidewalk.
- ❖ A **minimum of 70%** of the front building line shall be located within 1.0 metre of the front property line.



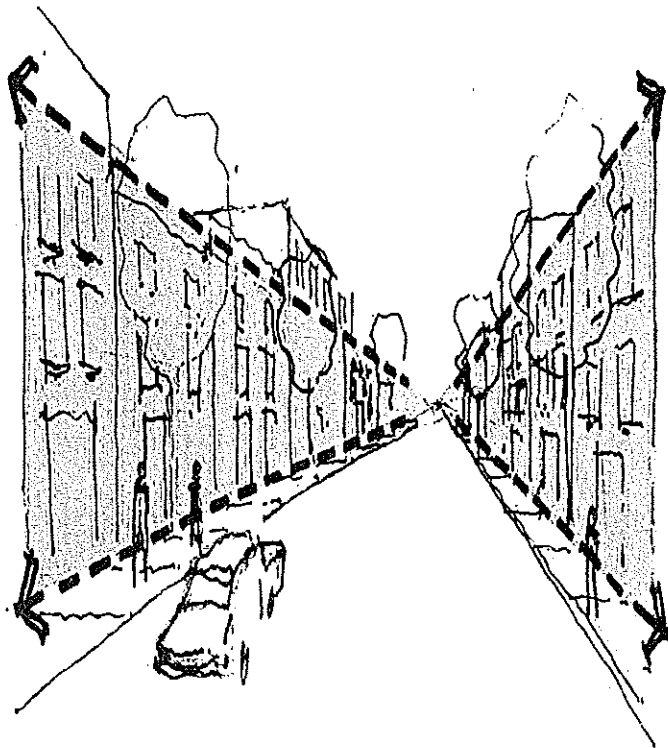
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3

Street Wall

The street wall has the greatest impact on the character of the street experience. The key design objectives for street walls in the Broadway Area ensure visual continuity, pedestrian scale, animation and design quality.

- ❖ A street wall of a new building should align with those of neighbouring buildings or have the same setback as the predominant buildings on the block.
- ❖ The height of the street wall should be consistent with historic heights of no greater than 3 storeys and no less than 2 storeys. Levels above the street wall should be set back to reinforce a low-rise interface with the sidewalk.
- ❖ The height of ground-level floors should be visually prominent and no less than 4.5 metres for commercial and 4.0 metres for residential uses.



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4

Heritage Contexts

New buildings on Broadway Avenue should complement, rather than detract from, the character of older buildings.

General Guidelines

New buildings should avoid historical misrepresentation by not replicating past architectural styles.

New buildings should consider and respect the scale, material and massing of adjacent heritage significant buildings.

Façade Articulation

New buildings should respect the pattern of façade division by ensuring the horizontal and vertical architectural orders, including windows and entries, are aligned with neighbouring heritage buildings or the established pattern on the block.

Façade Materials

New buildings should consider materials and colours evident in existing heritage significant properties.

Building materials should be chosen for their functional and aesthetic quality. Exterior finishes should exhibit quality of workmanship, sustainability, permanence, and ease of maintenance.

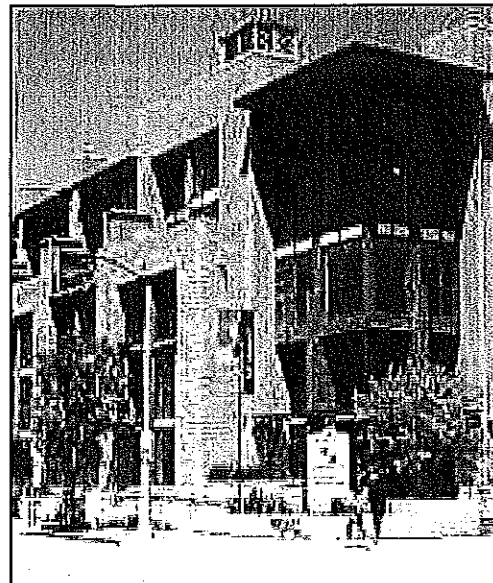
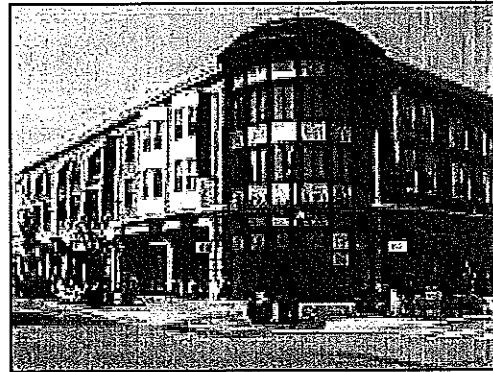


5

Corner Sites

Corner buildings have a greater visual prominence given that they front onto two streets and frame intersections. To enhance the distinction of new buildings at Key Corner Sites, modest exceptions to stepbacks and height restrictions should be permitted to encourage massing and designs that accentuate the visual prominence of the site.

- ❖ New developments on all corner sites should orient to both street frontages.
- ❖ Corner entrances should be encouraged wherever possible to address the two street frontages.



6

Storefronts

Well proportioned and designed storefronts can provide animation and visual interest at the sidewalk.

- ❖ To reflect the existing character and context, storefronts should generally have a frontage in the range of 7.5 metres but not greater than 15 metres.
- ❖ Where frontages are greater than 7.5 metres, they should articulate narrow storefronts in the design of the facade.
- ❖ Storefronts should have a minimum of 75% glazing to maximize visual animation.
 - Clear glass should be used for windows and doors along the street-level façade. Dark tinted, reflective or opaque glazing should be discouraged for storefronts.
- ❖ Storefront entrances should be highly visible and clearly articulated. Entrances should be located at or near grade.
- ❖ Storefront signage should be consistent with the signage guidelines, but add diversity and interest to the street.
- ❖ Weather protection for pedestrians is encouraged through the use of awnings and canopies.

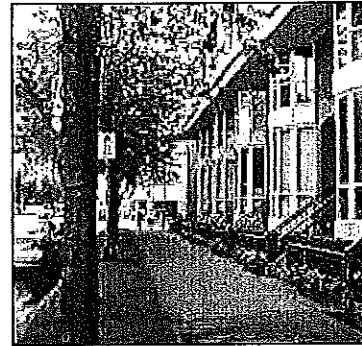


7

Residential Street Access Units

Where retail is not required, and residential uses are proposed at-grade, the following guidelines apply:

- ❖ Residential uses at-grade should include individual units accessed from the street.
- ❖ Appropriate front yard privacy measures should be considered such as setbacks, landscaping, and porches.
- ❖ Access to the individual units should be clearly visible, and the scale, rhythm and articulation of the street wall should be consistent with the residential character of adjacent neighbourhoods. Grade-level units should be designed to accommodate live-work opportunities and potential conversion into commercial or retail uses.

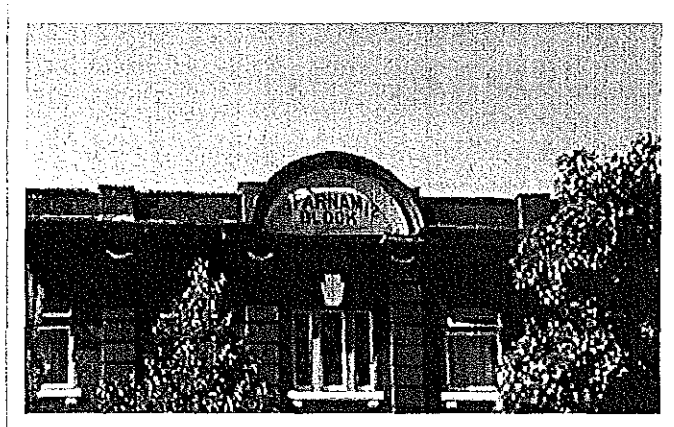
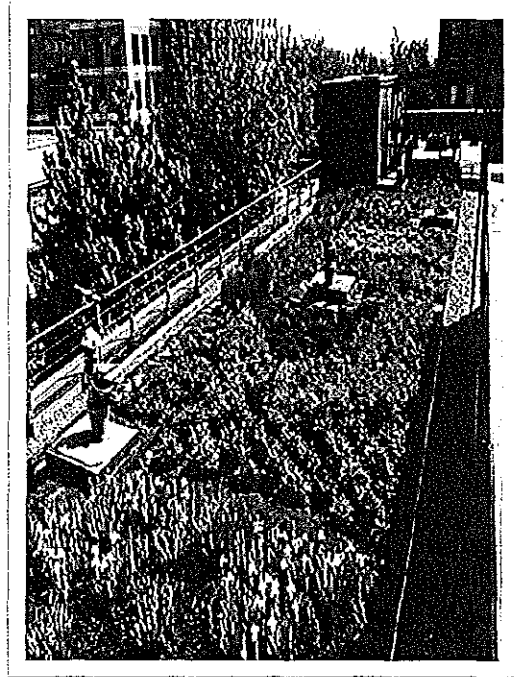


8

Roof Treatment

The design of the roof can make an impact on the character of the streetscape, especially from great distances. Roofs are also seen from other buildings of equal or greater height.

- ❖ The expression of the building top and roof should be clearly distinguished from the rest of the building through treatments such as stepbacks, change in materials, cornices lines, and overhangs.
- ❖ Mechanical penthouses should be integrated with the architectural treatment of roofs and/or screened from view.
- ❖ Green roofs should be encouraged.



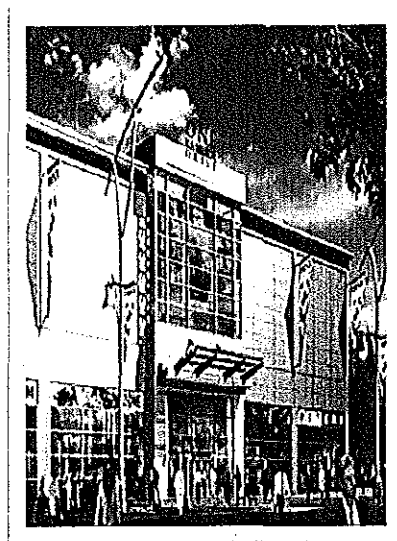
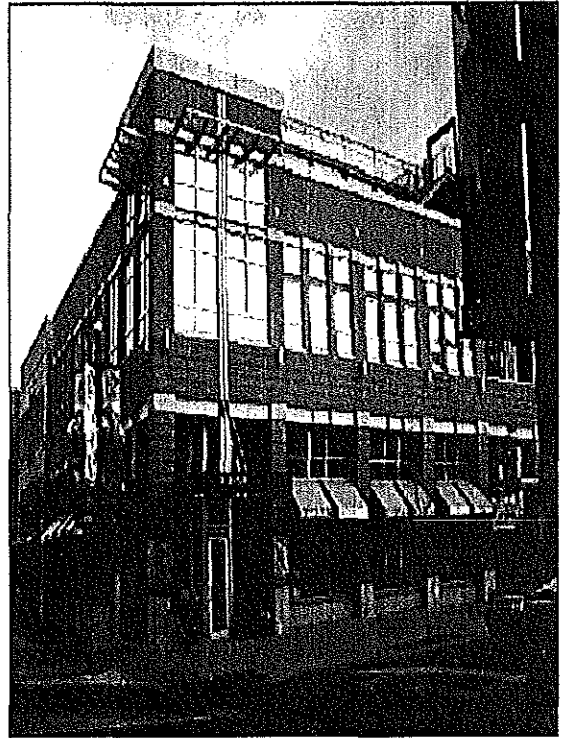
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9

Above Grade Parking

Wherever possible, parking for new developments should be provided at the rear or below-grade and accessed off the rear lane. However, where parking is provided above-grade within the base building, the following guidelines address the design and quality of such structures.

- ❖ Direct access for parking, loading, and service areas from the street should be discouraged.
- ❖ Where an above-grade parking facility fronts on a street, the ground-level frontage should incorporate retail, public or other active uses.
- ❖ Above-grade parking structures should be designed in such a way that they reinforce the intended built character and blend into the streetscape.



10

Material & Architectural Quality

New developments should ensure excellence in architectural design and in the use of high-grade materials, particularly at street-level. A key objective of the Broadway 360° Development Plan is to achieve a balance between consistencies in design quality and street interface, while enabling individual expression in new developments. Key guidelines for architectural and material quality include:

- ❖ The Broadway area has a rich history of development that is reflected in the Prairie-style ‘main street’ buildings that are constructed in a variety of materials. New developments should seek to contribute to this mix and variety.
- ❖ Building materials should be chosen for their functional and aesthetic quality and exterior finishes should exhibit quality of workmanship, longevity, sustainability and ease of maintenance.
- ❖ Building materials recommended for new construction include brick, stone, wood, glass, in-situ concrete and pre-cast concrete.
- ❖ In general, the appearance of building materials should be true to their nature and should not mimic other materials.
- ❖ Vinyl siding, plastic, plywood, concrete block, darkly tinted and mirrored glass and metal siding utilizing exposed fasteners should be discouraged.

Recommended Materials	Not Recommended Materials
Brick	Vinyl siding
Stone	Plastic
Wood	Plywood
Glass	Darkly tinted or mirrored glass
In-situ concrete	Concrete Block
Pre-cast concrete	Metal siding with exposed fasteners



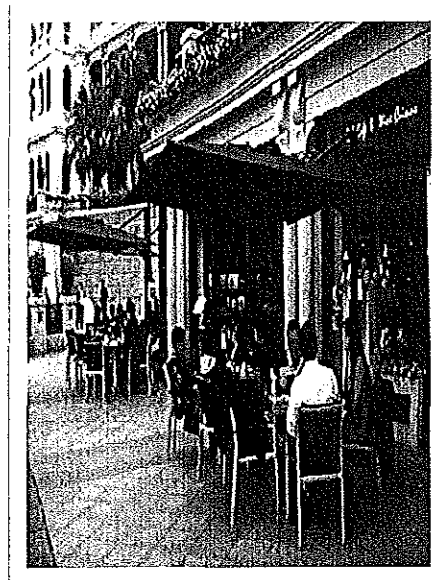
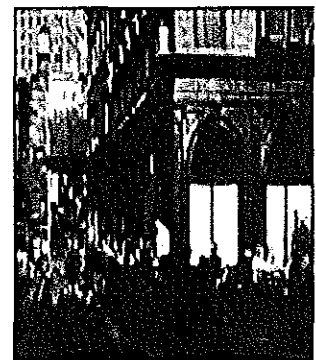
11

Sidewalk Cafes

Sidewalk cafés enhance the vibrancy of street life, further enable social interaction, and are major destinations in the warmer months.

Sidewalk cafés should be encouraged throughout the Broadway Area provided there are no conflicts with adjacent land uses and they are able to be accommodated within the existing sidewalk width dimensions without encumbering pedestrians.

- ❖ Where permitting, small sidewalk cafés should be encouraged along streets with narrower sidewalks as well.
- ❖ Sidewalk cafés should be designed to contribute and integrate into the streetscape.
- ❖ Curb bump-outs should be encouraged at all corners to provide for additional sidewalk café opportunities.
- ❖ Rear yard and roof top patios should be directed to properties that are not directly adjacent to residential neighbourhood.

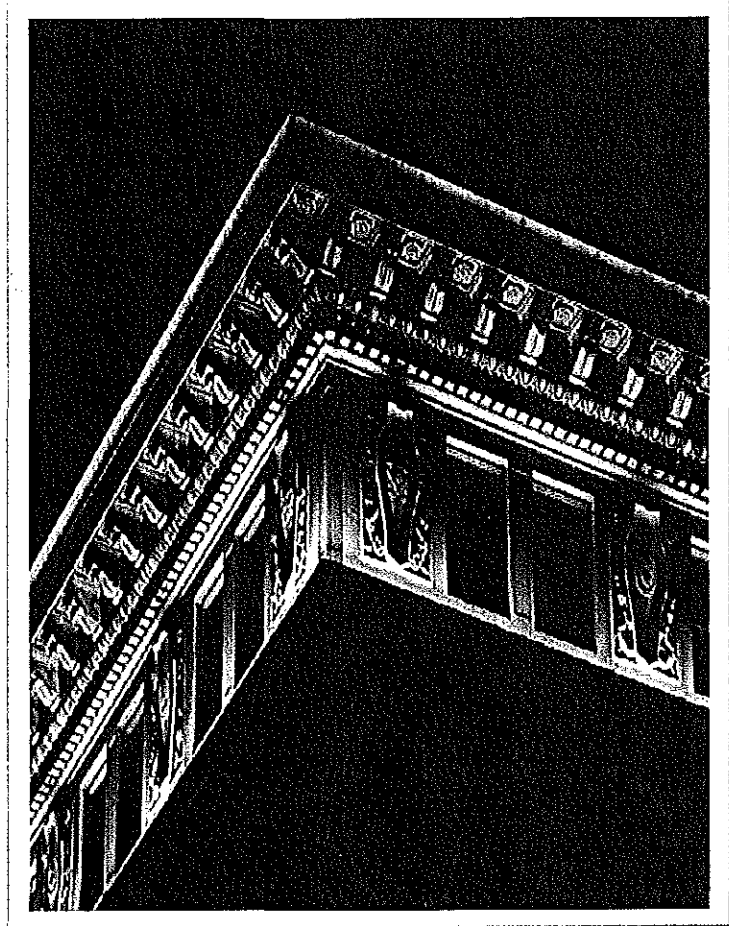


12

Building Lighting

The image and experience at night is an important aspect of any mixed-use area

- ❖ Attractive landscape and architectural features can be highlighted with spot-lighting or general lighting placement.
- ❖ Heritage and institutional buildings, as well as landmark elements such as public art, steeples or distinctive rooflines, should be illuminated.
- ❖ Subtle night-lighting of retail display windows should be encouraged.

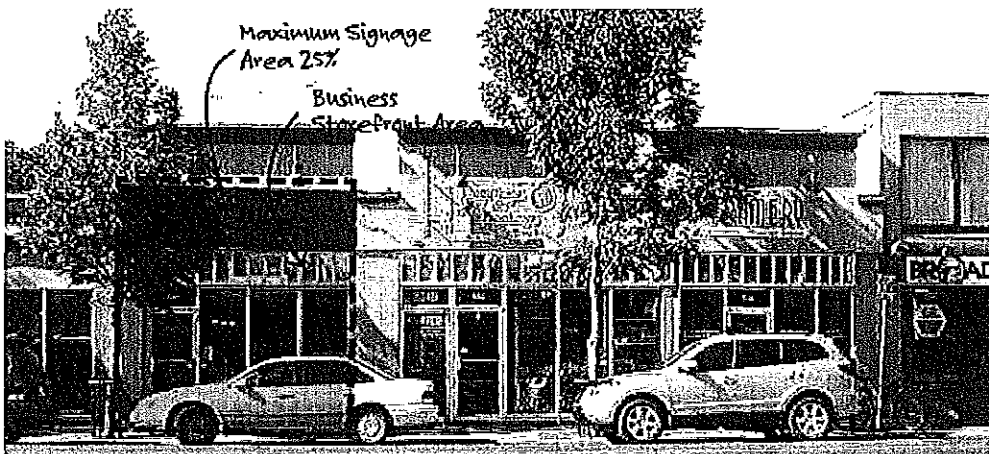
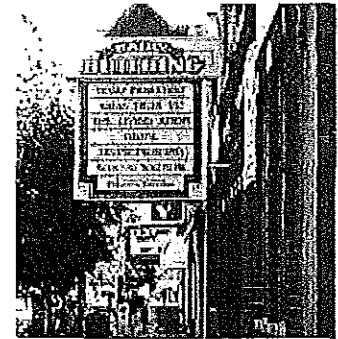


13

Signage

Signage plays an important role in the overall image of any area. Signs should contribute to the quality of individual buildings and the overall streetscape. This includes compatibility with heritage buildings, where appropriate. High quality, imaginative, and innovative signs are also encouraged.

- ❖ The maximum signage area for storefront signs should be no more than 25% of the business storefront.
- ❖ Back lit illuminated rectangular sign boxes are discouraged.
- ❖ Signage should not obscure windows, cornices or other architectural elements.
- ❖ Signage should aid pedestrians and drivers in navigating the area, especially at night.
- ❖ Billboards, super boards, and roof mounted signs are not permitted.



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14

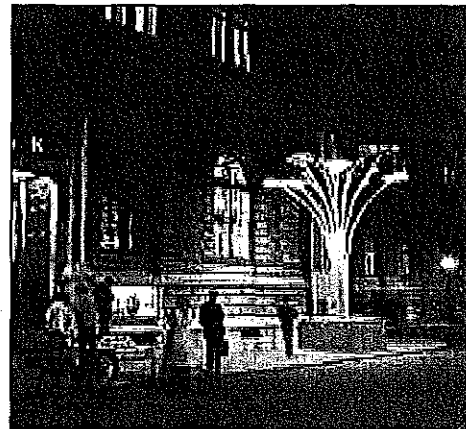
Sustainable Design

Conservation of natural resources and systems should be a primary consideration in the planning, design, and construction process. To achieve this, all proposed projects should strive for sustainable building practices. This includes public as well as private development, and encompasses streets, parks, and buildings.

New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the property. The new work should be differentiated from the old and should be compatible with the historic materials, features, size, scale, height, proportion and massing to protect the integrity of the property and its environment.



Conservation of natural resources and systems should be a primary consideration in the planning, design, and construction process.



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List of Terms

- ❖ **Animation** concerns spaces that have an animated quality; liveliness; movement; activity.
- ❖ **Articulation** is the emphasis or accentuation of different parts of a building so that they are distinct and stand out clearly.
- ❖ **Building setback** is the distance at-grade (ground level) that the building is set back from the property line.
- ❖ **Building stepback** is the distance, above the base building, that the remaining portion of the building (building cap) is set back from the face of the base building.
- ❖ **Cornice** is a decorative molding that crowns a building.
- ❖ **Floor Area Ratio (FAR)** is the ratio of gross floor area of the building divided by the site area.
- ❖ **Glazing** is the part of a wall or window that is glass.
- ❖ **Mechanical Penthouse** is the covering or enclosure on the roof of a building that houses mechanical systems or equipment for the building.
- ❖ **Rhythm**, in architecture, is the repetitive or alternating use of visual elements to create a pattern.
- ❖ **Transparency** refers to the degree to which people can see or perceive what lies beyond the street edge, often through windows, doors, fences and landscaping.
- ❖ **Parapet** is a low wall projecting from the edge of a platform, terrace, or roof.
- ❖ **Storefront** refers to an area on the frontage of a building that is delineated by features to indicate a separate or distinctive “frontage”. Larger building frontages should be divided into narrower storefronts to create visual animation and visual interest at the sidewalk.

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3h)

BYLAW NO. 9054

The Zoning Amendment Bylaw, 2012 (No. 17)

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 17).

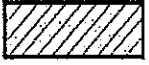
Purpose

2. The purpose of this Bylaw is to amend the Zoning Bylaw to rezone the lands described in the Bylaw from a B5 District to a B5B District.

Zoning Bylaw Amended

3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

Zoning Map Amended

4. The Zoning Map, which forms part of Bylaw No. 8770, is amended by rezoning the lands described in this Section and shown as  on Appendix "A" to this Bylaw from a B5 District to a B5B District:
 - (a) Civic Address: 615 10th Street East
Surface Parcel Nos. 120139871 & 120140064
 - (b) Civic Address: 616 10th Street East
Surface Parcel Nos. 120158513, 120157343 & 120157332
 - (c) Civic Address: 634 10th Street East
Surface Parcel Nos. 120157275, 120157264, 120157253 & 120158546
 - (d) Civic Address: 612 11th Street East
Surface Parcel Nos. 120140053 & 136239598
 - (e) Civic Address: 535 8th Street East
Surface Parcel Nos. 136252829, 136252830, 136252841, 136252852 & 136252863

- (f) Civic Address: 601 8th Street East
Surface Parcel Nos. 120284489, 120129937, 120129926, 120129915, 120129904
& 135685794
- (g) Civic Address: 617 8th Street East
Surface Parcel Nos. 136252920, 136252942, 120284445, 136252931 &
120284478
- (h) Civic Address: 619 8th Street East
Surface Parcel Nos. 120284467, 120284456 & 136252919
- (i) Civic Address: 611 9th Street East
Surface Parcel No. 120134629
- (j) Civic Address: 613 9th Street East
Surface Parcel No. 120319668
- (k) Civic Address: 1002 Broadway Avenue
Surface Parcel Nos. 136252795, 120099405 & 120129757
- (l) Civic Address: 1005 Broadway Avenue
Surface Parcel Nos. 120129869, 120129858, 120099393 & 120129870
- (m) Civic Address: 1006 Broadway Avenue
Surface Parcel Nos. 136252807, 120129779, 120129780 & 120129791
- (n) Civic Address: 1010 Broadway Avenue
Surface Parcel Nos. 120129803, 136252818, 136252874, 136252885, 136252896
& 136252908
- (o) Civic Address: 1011 Broadway Avenue
Surface Parcel Nos. 135685806, 120129881 & 120319332
- (p) Civic Address: 616 Broadway Avenue
Surface Parcel Nos. 144854141 & 120139141
- (q) Civic Address: 626 Broadway Avenue
Surface Parcel No. 120319905
- (r) Civic Address: 630 Broadway Avenue
Surface Parcel Nos. 120138948 & 120138937
- (s) Civic Address: 632 Broadway Avenue
Surface Parcel Nos. 120138960 & 120138959

- (t) Civic Address: 638 Broadway Avenue
Surface Parcel No. 120138971
- (u) Civic Address: 640 Broadway Avenue
Surface Parcel Nos. 120138993 & 120138982
- (v) Civic Address: 642 Broadway Avenue
Surface Parcel No. 120139006
- (w) Civic Address: 644 Broadway Avenue
Surface Parcel No. 120139017
- (x) Civic Address: 650 Broadway Avenue
Surface Parcel Nos. 120139118 & 120139028
- (y) Civic Address: 702 Broadway Avenue
Surface Parcel No. 120139859
- (z) Civic Address: 704 Broadway Avenue
Surface Parcel No. 120155824
- (aa) Civic Address: 706 Broadway Avenue
Surface Parcel Nos. 136252559 & 120155835
- (bb) Civic Address: 707 Broadway Avenue
Surface Parcel Nos. 120155914, 120155903, 120140086 & 120155925
- (cc) Civic Address: 708 Broadway Avenue
Surface Parcel No. 136252560
- (dd) Civic Address: 712 Broadway Avenue
Surface Parcel No. 136252571, 136252582 & 136252593
- (ee) Civic Address: 714 Broadway Avenue
Surface Parcel No. 136252605
- (ff) Civic Address: 715 Broadway Avenue
Surface Parcel Nos. 120155947 & 120155936
- (gg) Civic Address: 718 Broadway Avenue
Surface Parcel No. 120155868
- (hh) Civic Address: 720 Broadway Avenue
Surface Parcel No. 120155879

- (mmm) Civic Address: 620 Main Street
Surface Parcel No. 120135798
- (nnn) Civic Address: 621 Main Street
Surface Parcel Nos. 131592494, 131592506, 120158085 & 120158096
- (ooo) Civic Address: 622 Main Street
Surface Parcel No. 120159075
- (ppp) Civic Address: 626 Main Street
Surface Parcel No. 120159064
- (qqq) Civic Address: 629 Main Street
Surface Parcel Nos. 131592517 & 120320918
- (rrr) Civic Address: 639 Main Street
Surface Parcel Nos. 120158535, 120158041, 120158052 & 120158063
- (sss) Civic Address: 611 University Drive
Surface Parcel No. 120600874

Coming into Force

5. This Bylaw shall come into force on the day of its final passing.

Read a first time this _____ day of _____, 2012.

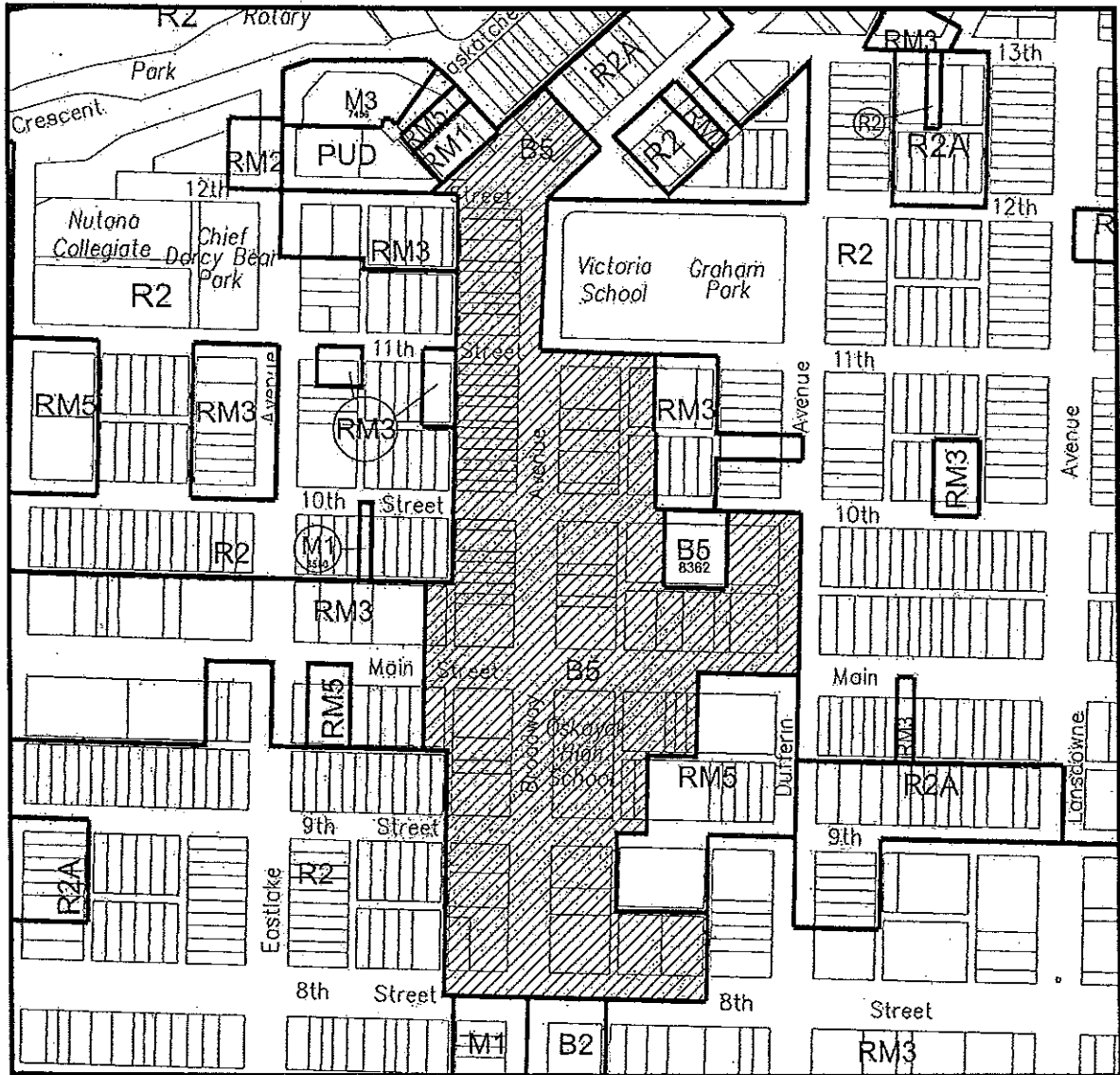
Read a second time this _____ day of _____, 2012.

Read a third time and passed this _____ day of _____, 2012.

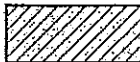
Mayor

City Clerk

Appendix "A"



REZONING

From B5 to B5B — 



The following is a copy of **Clause 3, Report No. 6-2012 of the Municipal Planning Commission**, which was **ADOPTED** by City Council at its meeting held on **August 15, 2012**:

- 3. Proposed Rezoning from B5 to B5B and AC2 – B5B
Nutana Neighbourhood
Applicant: City of Saskatoon, Planning and Development Branch
(File No. CK. 4351-012-10)**
-

- RECOMMENDATION:**
- 1) that City Council approve the advertising respecting the proposal to amend Zoning Bylaw No. 8770 as outlined in the report of the General Manager, Community Services Department dated July 30, 2012;
 - 2) that the General Manager, Community Services Department, be requested to prepare the required notice for advertising the proposed amendment;
 - 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770;
 - 4) that at the time of the public hearing, City Council consider the Commission's recommendation that the proposal to rezone the properties indicated on Attachments 2 and 3 of the report of the General Manager, Community Services Department dated July 30, 2012, from a B5 Zoning District to a B5B Zoning District, be approved; and
 - 5) that at the time of the public hearing, City Council consider the Commission's recommendation that the proposal to apply the AC2 – B5B Architectural Control Overlay District to the properties indicated on Attachments 2 and 3 of the report of the General Manager, Community Services Department dated July 30, 2012, be approved.

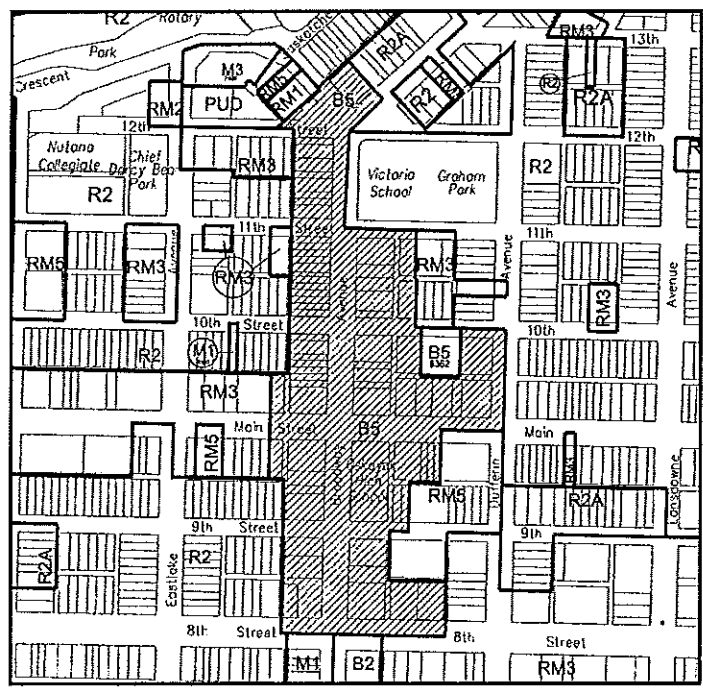
Attached is a report of the General Manager, Community Services Department dated July 30, 2012, with respect to the above matter.

Your Commission has reviewed the above matter with the Administration and Broadway 360 Steering Committee Chair and supports the above recommendations.

COMMUNITY SERVICES DEPARTMENT

APPLICATION NO. Z19/12	PROPOSAL Proposed Rezoning from B5 to B5B and AC2 - B5B	EXISTING ZONING B5 Inner City Commercial Corridor District
LEGAL DESCRIPTION Various		CIVIC ADDRESS Various
		NEIGHBOURHOOD Nutana
DATE July 30, 2012	APPLICANT City of Saskatoon Planning and Development Branch 222 3 rd Avenue North Saskatoon SK S7K 0J5	OWNER Various

LOCATION PLAN



REZONING

From B5 to B5B and AC2-B5B —

City of
Saskatoon
Planning & Development Branch

N:\Planning\MAPS\NO\Rezoning\2012\Z19_12.dwg

A. COMMUNITY SERVICES DEPARTMENT RECOMMENDATIONS:

that a report be forwarded to City Council recommending:

- 1) that City Council approve the advertising respecting the proposal to amend Zoning Bylaw No. 8770 as outlined in this report;
- 2) that the General Manager, Community Services Department, be requested to prepare the required notice for advertising the proposed amendment;
- 3) that the City Solicitor be requested to prepare the required bylaw to amend Zoning Bylaw No. 8770;
- 4) that at the time of the public hearing, City Council consider the Administration's recommendation that the proposal to rezone the properties indicated on Attachments 2 and 3 from a B5 Zoning District to a B5B Zoning District be approved; and
- 5) that at the time of the public hearing, City Council consider the Administration's recommendation that the proposal to apply the AC2 – B5B Architectural Control Overlay District to the properties indicated on Attachments 2 and 3 be approved.

B. PROPOSAL

The Planning and Development Branch is requesting that the properties in the Broadway commercial area, as indicated on Attachments 2 and 3, be rezoned from a B5 to a B5B Zoning District and that the AC2 – B5B Architectural Control Overlay Zoning District be applied to the properties.

A companion report has been submitted to amend Zoning Bylaw No. 8770 to create the B5B Broadway Commercial Zoning District and the AC2 – B5B Architectural Control Overlay Zoning District.

The Planning and Development Branch is requesting 72 properties, located in the Nutana neighbourhood (see Attachment 3), be rezoned from a B5 Zoning District to a B5B Zoning District. The B5B Zoning District contains development standards that will ensure that new development in the area enhances the existing urban environment in the Broadway Avenue commercial area.

The Planning and Development Branch is also requesting that the AC2 – B5B Architectural Control Overlay Zoning District be applied to these properties in the Broadway Avenue

commercial area. This district is an architectural overlay district containing 14 design guidelines that will ensure the quality of design for new construction.

C. REASON FOR PROPOSAL (By Applicant)

The proposed B5B Zoning District is intended to be applied in the Broadway Avenue commercial area. This district will provide development standards to ensure that new development enhances the existing urban environment along this important commercial corridor.

The proposed AC2 – B5B Architectural Control Overlay Zoning District is also intended to be applied in the Broadway Avenue commercial area; and it will impose design guidelines on all new developments in this area. The design guidelines will ensure that new buildings preserve character and enhance the best qualities of the Broadway Commercial Area. The proposed B5B Zoning District is a component of the implementation of the Broadway 360 Development Plan.

D. BACKGROUND INFORMATION

In 2007, the Broadway Business Improvement District (BID) and the Nutana Community Association proposed that a study of the Broadway Commercial Area be undertaken. It was noted by both groups that some of the recommendations contained in the 2001 Nutana Local Area Plan (LAP) had become outdated, or difficult to implement due to community or property owner resistance, and there were concerns about the future character of Broadway Avenue. The City of Saskatoon (City) was invited to participate as a partner with the Broadway BID and Nutana Community Association in the development of a “Broadway Area Plan” to address outstanding recommendations in the Nutana LAP.

The Planning Partnership, a Toronto-based urban planning consultant firm, was hired to prepare what would become the Broadway 360 Development Plan (Plan). The Plan involved a thorough public consultation process that engaged residents, business and commercial property owners, area schools, churches, and those representing Saskatoon’s heritage community.

The Plan explored practical urban development solutions to address land use, street character, safety, parking, and traffic issues in the Broadway area.

The Steering Committee that was struck during the creation of the Plan was comprised of developers, commercial property owners, Nutana residents, the Nutana Community Association, the BID, and the Ward Councillor. The Administration worked very closely with the Steering Committee over several months to prepare detailed zoning requirements that would be acceptable to the various stakeholders. A report creating the B5B Zoning District and the AC2 – B5B Architectural Control Overlay District has been submitted separately (see Application No. Z14/12).

E. JUSTIFICATION

1. Community Services Department Comments

a) Official Community Plan Bylaw No. 8769

This area is designated as “Special Area Commercial” on the Nutana Land Use map contained in Official Community Plan Bylaw No. 8769. The proposal to apply a new zoning treatment and architectural control district in the Broadway Avenue Commercial Area is consistent with the objectives and policies related to Special Area Commercial Areas, as stated in the Official Community Plan:

“Historic Commercial Areas

The Special Area Commercial designation has been applied to certain commercial lands along 20th Street, 33rd Street, Central Avenue and Broadway Avenue, primarily due to their long and unique development history. In general, these areas contain a built form that is oriented to pedestrians, with limited front or side yard setbacks, and with a relatively high density of development. As a consequence, the Zoning Bylaw shall prescribe development standards for these areas which reflect their unique character, while also promoting compatibility with surrounding residential land use.

Specific local area plans or design studies may also be undertaken in these areas to further define future land use patterns and design and development standards.”

b) Planning and Development Branch Comments

The purpose of the B5B Zoning District is to recognize the historic Broadway Avenue commercial area and facilitate mixed-use development, including a range of commercial, institutional, and residential uses in a medium to high density form. The current B5 zoning in this area similarly provides for a range of uses; however, this district does not contain standards that appropriately address the massing and form of buildings. The B5B Zoning District will require that buildings have a base building, which will create a street wall to enhance the existing pedestrian environments. The upper portion of the building or building cap will be required to include a setback, which will allow for light penetration to the pedestrian environment below.

The purpose of the AC2 – B5B Architectural Control Overlay Zoning District is to ensure that new buildings built in the Broadway Avenue commercial area

reinforce and enhance the best qualities of the area. There are 14 design guidelines contained in this district, which address the following design elements:

1. Building Expression;
2. Orientation and Placement;
3. Street Wall;
4. Heritage Contexts;
5. Corner Sites;
6. Storefronts;
7. Residential Street Access Units;
8. Roof Treatment;
9. Above Grade Parking;
10. Material and Architectural Quality;
11. Sidewalk Cafes;
12. Building Lighting;
13. Signage; and
14. Sustainable Design.

These 14 design elements will help to preserve the unique character of the Broadway Avenue commercial area.

c) Compatibility with Adjacent Land Uses

Nutana has always been a mixed-use neighbourhood. The Broadway Avenue commercial area is surrounded by residential uses ranging from one-unit dwellings to large multiple-unit dwellings. The rezoning of this area is intended to ensure that commercial development is of high quality and does not detract from the historic character of Broadway Avenue.

2. Comments by Others

a) Infrastructure Services Department

1. The allowed land uses within the proposed zoning district vary widely in capacity use from a water and sewer perspective. High density/high capacity uses, such as hotels and multi-story residential, may significantly affect water and sewer concerns with respect to fire flows and sanitary sewer capacity. The wide variation makes it very difficult to determine if any water and sewer capacity conditions exist. Storm sewer capacity is not a concern.

2. With varied land uses, it is possible for the first high density new land development (i.e. a multi-story residential or hotel) to effectively consume all the available sanitary sewer capacity in the district, thereby “sterilizing” the area for other high density uses. Since zoning is the only control for regulating land use, it would be prudent to either determine a method of regulating high density uses for the zoning district or determine a levy payment method, so that the first user does not benefit from “free”, existing capacity and future users must pay for all additional upgrades to water and sewer infrastructure.

Note: The proposed B5B Zoning District will be applied in the area currently zoned B5 in the Broadway commercial area. The B5B District limits the maximum development potential in this area compared to what is currently permitted in the B5 District.

The Integrated Growth Plan will be addressing issues related to the financing of infrastructure upgrades necessary to accommodate infill development.

b) Transit Services Branch, Utilities Services Department

Saskatoon Transit has no easement requirements in this area. At present, Saskatoon Transit has bus stops throughout the district. Service is at 15 minute intervals Monday to Saturday; and at 30 minute intervals evenings, early Saturday mornings, Sundays, and statutory holidays.

F. ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications.

G. COMMUNICATION PLAN

This Plan has been undertaken as a joint initiative of the Broadway BID, the Nutana Community Association, and the City of Saskatoon. Extensive public consultation was undertaken throughout the Broadway 360 study process.

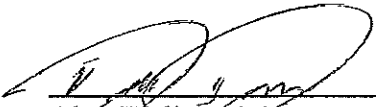
A public open house was held on January 19, 2012, at the Cosmopolitan Senior Citizens Centre on 10th Street in Nutana. A presentation by the Administration was followed by a question and answer period. A technical workshop was also held on January 24, 2012. Notices were distributed throughout the area by flyer drop in the Nutana Community Association newsletter and by direct mail to Broadway commercial property owners and business owners. The technical workshop was targeted towards developers, commercial property owners, architects, and others in the development industry. A summary of both consultations is included as Attachment 4.

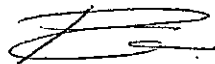
If this application is approved for advertising, a notice will be placed in The StarPhoenix two weeks prior to the date of the public hearing. Notice boards will also be placed throughout the area. The Steering Committee members, Ward Councillor, Nutana Community Association, Community Consultant, and the Broadway BID will be notified of the hearing date once set. The property owners affected by this rezoning will also be notified, in writing, by mail.


H. ATTACHMENTS

1. Fact Summary Sheet
2. Map of Affected Area
3. List of Properties
4. Feedback from January 2012 Consultation

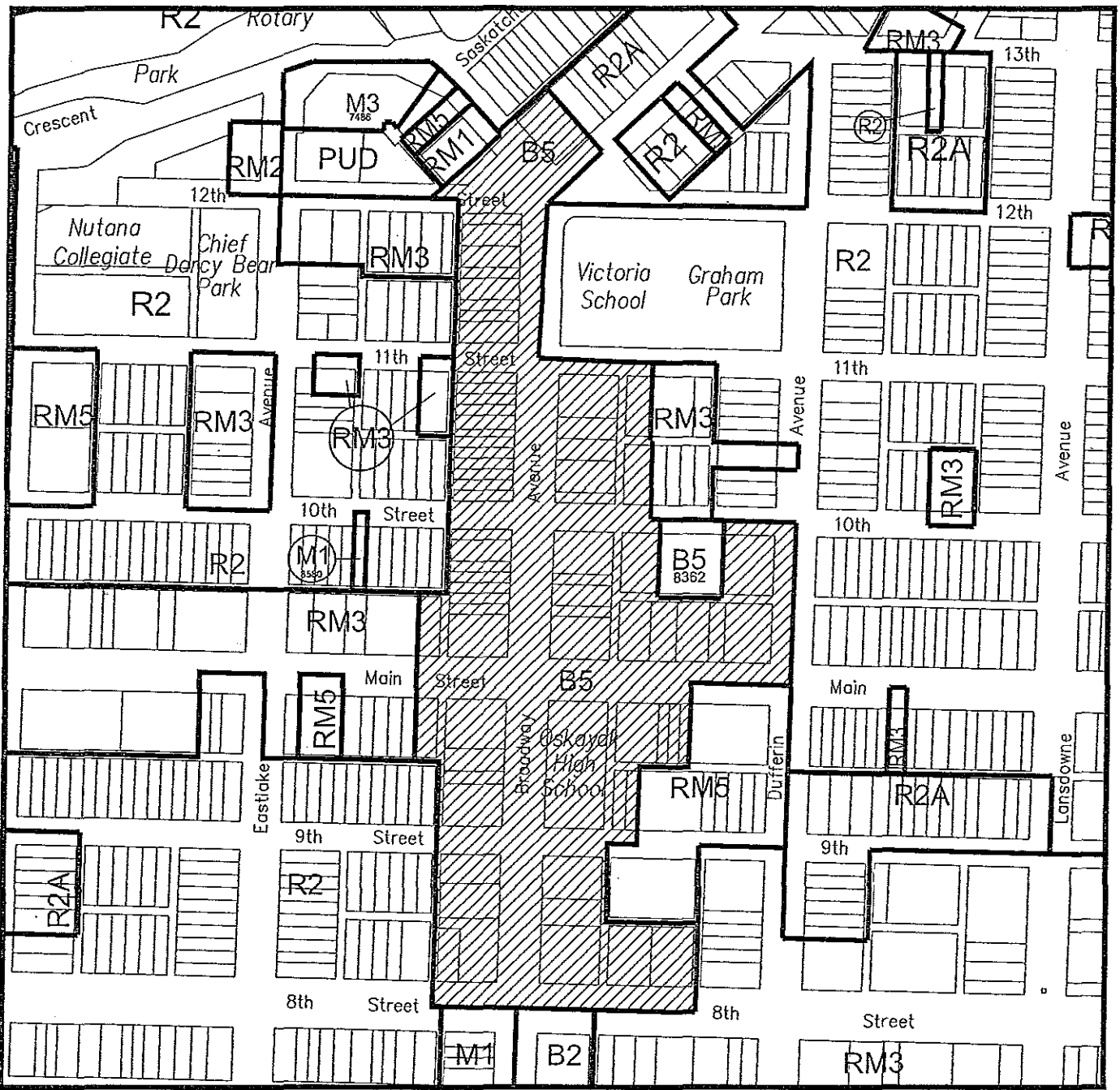
Written by: Paula Kotasek-Toth, Heritage and Design Coordinator

Reviewed by:  For
 Alan Wallace, Manager
 Planning and Development Branch

Approved by: 
 Randy Grauer, General Manager
 Community Services Department
 Dated: July 30, 2012

Approved by: 
 Murray Totland, City Manager
 Dated: July 30/12

FACT SUMMARY SHEET	
A. Location Facts	
1. Municipal Address	See Attachment 2
2. Legal Description	Various
3. Neighbourhood	Nutana
4. Ward	6
B. Site Characteristics	
1. Existing Use of Property	Various
2. Proposed Use of Property	Various
3. Adjacent Land Uses and Zoning	
North	Residential – RM1, R2A, and R2
South	Institutional – M1, Commercial – B2, and Residential – RM3
East	Residential – RM5 and RM3
West	Residential – RM3 and R2
4. No. of Existing Off-Street Parking Spaces	Not applicable
5. No. of Off-Street Parking Spaces Required	Not applicable
6. No. of Off-Street Parking Spaces Provided	Not applicable
7. Site Frontage	Various
8. Site Area	Various
9. Street Classification	Arterial and Local
10. No. of Sites	72
C. Development Plan Policy	
1. Existing Development Plan Designation	Commercial – Special Area
2. Proposed Development Plan Designation	Commercial – Special Area
3. Existing Zoning District	B5 – Inner-City Commercial Corridor District
4. Proposed Zoning District	B5B – Broadway Commercial District AC2 – B5B Architectural Control Overlay Zoning District



REZONING

From B5 to B5B and B5B(ACD2)



**City of
Saskatoon**

Planning & Development Branch

List of Properties Proposed to be Rezoned from B5 to B5B and AC2 – B5B

615	10th	St	E	806	Broadway	Ave	
616	10th	St	E	810	Broadway	Ave	
634	10th	St	E	813	Broadway	Ave	
612	11th	St	E	814	Broadway	Ave	
535	8th	St	E	817	Broadway	Ave	
601	8th	St	E	818	Broadway	Ave	
617	8th	St	E	820	Broadway	Ave	
619	8th	St	E	821	Broadway	Ave	
611	9th	St	E	824	Broadway	Ave	
613	9th	St	E	834	Broadway	Ave	
1002	Broadway	Ave		835	Broadway	Ave	
1005	Broadway	Ave		906	Broadway	Ave	
1006	Broadway	Ave		912	Broadway	Ave	
1010	Broadway	Ave		916	Broadway	Ave	
1011	Broadway	Ave		919	Broadway	Ave	
616	Broadway	Ave		922	Broadway	Ave	
626	Broadway	Ave		526	Main	St	
630	Broadway	Ave		527	Main	St	
632	Broadway	Ave		616	Main	St	
638	Broadway	Ave		617	Main	St	
640	Broadway	Ave		619	Main	St	
642	Broadway	Ave		620	Main	St	
644	Broadway	Ave		621	Main	St	
650	Broadway	Ave		622	Main	St	
702	Broadway	Ave		626	Main	St	
704	Broadway	Ave		629	Main	St	
706	Broadway	Ave		639	Main	St	
707	Broadway	Ave		611	University	Dr	
708	Broadway	Ave		*628	10 th	St	E
712	Broadway	Ave			*AC2-B5B only		
714	Broadway	Ave					
715	Broadway	Ave					
718	Broadway	Ave					
720	Broadway	Ave					
723	Broadway	Ave					
724	Broadway	Ave					
726	Broadway	Ave					
730	Broadway	Ave					
732	Broadway	Ave					
733	Broadway	Ave					
735	Broadway	Ave					
801	Broadway	Ave					
802	Broadway	Ave					

**Public Open House
Broadway 360 Land Use Implementation
Proposed B5B and ACD
Thursday, January 19, 2012**

Comments:

1.
 - In planning guideline has thought been given to right to sunlight. As a solar installer and local resident I can imagine objections to shading from new development.
 - Any encouragement or incentives for green buildings practices.
 - Would existing proposed development in old car was site on Main Street be subjected to new guidelines.
2.
 - I am very pleased with what the 360 committee has come up with.
 - Really like the setbacks for taller buildings.
 - Glad you kept heritage context
 - Above grade parking that was good to see well designed.
 - Kudos to all the people who have put time and energy into this project.
 - I totally support it
 - Final comment – I don't want buildings higher than 12 stories but understand the ratio and compromises that had to be made.
3.
 - Excellent consultative process and result!
4.
 - A slide during the presentation briefly mentioned "sustainable design" as an architectural control. I'm curious as to what these sustainable initiatives entail. Sustainability is a fashionable word; I hope it is more than just a buzz word. Are LEED standards being considered?
5.
 - I support the ACD but I believe that some people find the term (particularly "control") threatening and scary. I understand the term's ubiquity but perhaps a terminology change could ease acceptance.
 - Unrelated: I'd like to see more attention paid to streetscaping – the current crosswalks, for example, suck. I'd like to see Farmer's Market/River Landing – style bricked crosswalks on Broadway to enhance the pedestrian experience and calm traffic.
6.
 - I am new to Saskatoon so my questions might be silly/irrelevant:

- o Is Broadway 360 expected to change the current zoning bylaws? If not, which rules/plans over-rides the other?
- o Is every compatible and "in line"? For example, 7:1 ratio vs what height is currently allowed.
- o Might be something to be careful about

7.

- An opportunity to "fix" the building height anomaly on Broadway. The wrong message is being set to the development community that this height and building mass is what the community supports for the immediate and future. This is ludicrous. The city has the right (legally) to change these anomalies and wake certain the design future desired by citizens – not just a few landowners. Height, the B5B height, belongs downtown. Graduate the height downward away from the core. Look at S.E. Falsecreek (Vancouver) Olympic village relative to downtown Vancouver.

8.

- I like this plan a lot, very good work.

9.

- Very good to see progress of any kind in keeping our distinct livable for our families.
- Concerns:
 - o "Parking should be accessed from the lane" – What is the impact on residences in the area, will there be extra upkeep on those lanes?
 - o Boundaries you have excluded, the area across 8th Street (south side 8th St & Broadway). Which have been 2 areas that have seen changes (Shell Station) and the "M" Zoned area on Broadway across from the
 - o Catholic Church. This is important to!! Why excluded?
 - o Concerned by the "should" language like "rooftop patios should not abut residential" – does that mean they still can? Can an existing building add a rooftop because it isn't a new building?
- I realize the zoning is different but couldn't it be included in the future.

10.

- I do not notice any standard recommendations (rules) for the usage of lanes that border residential areas.

11.

- Overall I think you've done a really good job with the new proposed Zoning District and the important move to create enforceable design guidelines for new development in the complementary Architectural Control District.
- I have one comment that is aimed at improving the Architectural Overlay District Design Guidelines.
 - o Under the "Storefronts" guideline, please consult the recently approved Phase One of the City Centre Plan, which the Broadway Commercial area

is a part of, on p. 74, where it gives guidelines/indicators for Attractive Ground Floor Frontages. Also see p. 126-127 Opportunities, "From a few dispersed main streets... to a network of active streets." The current "Storefronts" guideline is not strong enough to give affect to the opportunities proffered in the Public Spaces Activity and Urban Form Strategic Framework (November 2011).

12.

- We have a unique neighbourhood on Broadway as it stands right now, why do you want to change it by wanting to put up highrisers? We like it the way it is right now. We wouldn't have moved to this area if we didn't like it. Besides, the more highrisers there are, the less seen a person gets, the more cranky the people become, then there is more traffic and more crime. You people in City Hall can only think of getting more money in your pockets, so it comes down to being greedy.

13.

- My thanks to all the people who worked on this project! A lot of thought and hard work has obviously gone into keeping our neighbourhood the great place it is to live. I, like many, am a bit disappointed with the height restriction issue, but I think they came up with some good compromises. I also didn't hear anything about the number of highrisers that could be built. I fear the area will become overly congested with overly expensive apartment buildings. I appreciate the diversity we now have in Nutana and would miss it if we only lived around luxury condos. Just a thought. Hopefully, this can be passed at City Council ASAP. Thanks again. The meeting was very informative.

Submitted via Broadway 360 website:

14.

- I think the type of successful community that Broadway has been since it was redeveloped almost 30 years ago, is one that is people driven rather than architecture driven. Though heritage buildings provide a basic element, with new construction a sort of stylized ambience can be built, but the hollow act of simply inserting nice looking buildings won't prove fruitful for the continued success of the district in the long term.

My belief is that architecture should follow use and that design is for people to work, live and play in, and this can be satisfied through community building that essentially relies on establishing mixed use and mixed levels of affordability.

The things that make Broadway special are the people who live and work there every day. The owner-operator businesses provide the attraction to people coming into the area for the unique shops and restaurants. The BBID support every aspect of day-to-day life and year round events that Saskatoon has

become known for – unfortunately these independent businesses are fading with the end of each lease period and may soon be gone. Housing is a prime issue in Saskatoon; increased density can be achieved gracefully through multi-level-use planning.

What I suggest is that we, in whatever way it can be arranged, strive to put in place in a rule book to guarantee we can grow and preserve at once, for example: the B5B outlines the perimeters, sets heights defines set backs etc. But it's the 'inner workings' of a building that will contain and define whether or not a building is successfully integrated to support the community.

To adhere to an integration and affordability platform will ensure that each building is designed in measured percentages that include mixed use lease and resale units – a variety of sizes of each type of unit (because size determines market value, lease rate, sale price, etc), and a variety of each unit per a percentage of each of type of use; be it retail, office or residential.

That this kind of coding of multiple use, multi-layered affordability could be what in fact defines a very healthy future for Broadway. And this may be the only way we can ensure that Broadway remains a people place, that there will be something for everyone by-design regulations for sizes and uses of interior spaces. In this way the 360 plan can fulfill its mandate, be a model, impress on developers that mixed use, community affordability is incredibly important to people now and future generations of the Broadway District and for that matter, anywhere in Saskatoon.

Broadway 360 Technical Workshop
Cosmopolitan Senior Citizens Centre – 614 11th Street East
January 24, 2012
5:30 pm

On behalf of the Broadway 360 Steering Committee, Sarah Marchildon, Executive Director of the Broadway Business Improvement District, thanked everyone for attending this technical workshop on proposed land use changes. The purpose of tonight's meeting is to review the proposed B5B Zoning District and proposed Architectural Control District for the Broadway commercial area. Tim Steuart will give a presentation with question period following. After formal part of meeting, the Steering Committee will be around for more one on one discussion.

Broadway 360 Land Use Implementation
Tim Steuart, Senior Planner, Business License & Zoning Compliance Section

A bit of background. This came together from a unique cooperative effort between property owners, residents, and the BID to make Broadway a better place. A comprehensive study was done with the goal of recognizing that Broadway is a special area, a cool area created with pedestrian environment. Everyone involved didn't want to assume it will stay this way forever, but there was a desire try to ensure it does. The Steering Committee has come up with a very good plan. One issue was zoning and to ensure the zoning treatment is satisfactory to all.

All properties in the Broadway Commercial Area currently zoned B5 (Inner-City Commercial Corridor) are proposed to be rezoned to the new B5B (Commercial Zoning District), a zoning district designed exclusively for Broadway.

The new B5B includes changes to the permitted uses and development standards. Also, all B5B-zoned properties would be subject to an Architectural Control District.

Saskatoon is growing strongly and we need to grow up as well as out, creating the urban living room.

- The first three storeys matter most.
- Density done properly has many benefits.
- The stepback enhances the pedestrian experience.

What factors will affect the overall height of a building?

- Gross Floor Area Ratio (7:1) which means that the maximum building volume can be 7 times the site area
- Site size (bigger, taller buildings can be built on larger sites)
- Height of base building (must be a minimum 7.5 metres to a maximum of 12 metres)
- Setback and stepbacks (must meet minimum requirements, setbacks affect the overall building form and height)
- Parking
 - Amount of required parking

- Location of parking (at grade at rear of site, below grade in parking structure, or above grade in parking structure)

Do not want building setback from the street. Requirement that at least 70% of building face the street, setback for courtyard. Removed service stations and commercial parking lot from permitted uses. Parking provision is currently 1.25 parking spaces for residents and 1 visitor for every 8 dwellings. This has been reduced to 1 parking space for residents while visitor parking has remained the same. Nothing set for commercial buildings and not proposing changes as it is usually self-regulating since developers understand that providing parking helps to attract potential tenants, so a minimum parking provision does not seem necessary.

The proposed B5B Zoning District would be subject to an Architectural Control District (ACD) intended to preserve the physical character of the area.

The ACD would contain a set of design guidelines, known as the Broadway Commercial Area Design Plan that all new development in the B5B District must conform to. Establishing an Architectural Control District (ACD) allows for enforceable design controls in the Broadway Commercial Area.

Currently, the only ACD in Saskatoon is River Landing, which for the most part, is new buildings and the land was mostly owned by City. This would be a first in Saskatoon with infill or a character area, maybe even the first in Saskatchewan. This has long been standard in other provinces and the U.S.

Councillor Clark stated this process involved a collection of groups that came together with different views and have created something not only for Saskatoon, but the whole province. Everyone walked down the street and pointed out their issues and these issues helped develop the guidelines through this consultative process.

The goal now is to find out what the public thinks of this proposal, before taking it to City Council.

The process for ACD is an application for development permit which is then reviewed by a committee of design professionals from landscape, architectural, community planning backgrounds. The committee has approximately 15 members, with 3 selected to review each application. The entire process usually takes about 60 days. It is on a professional level and not just someone's pet peeves or personal preferences.

There are 14 design guidelines in the Broadway Commercial Area Design Plan

1. Building Expressions

- Buildings should reinforce a *base*, *middle*, and *top* in their design.
- Within the first three storeys of a building, a clearly defined *base* contributes to the quality of the pedestrian environment.
- The *middle* or body of a building should contribute to the overall quality of the streetscape.

- The *top* or roof should be distinguished from the rest of the building.

2. Orientation & Placement

- All buildings should orient to the street with clearly defined entry points that directly access the sidewalk.
- A minimum of 70% of the front building line shall be located within 1.0 metre of the front property line.
- Buildings can enhance the pedestrian environment by creating a sense of enclosure.

3. Street Wall

- A street wall of a new building should align with those of neighbouring buildings or have the same setback as the predominant buildings on the block.
- The height of the street wall should be consistent with historic heights of no greater than 3 storeys and no less than 2 storeys.
- Levels above the street wall should be set back to reinforce a low-rise interface with the sidewalk.

4. Heritage Context

- New buildings on Broadway Avenue should complement, rather than detract from, the character of older buildings.
- General Guidelines – New buildings should avoid historical misrepresentation by not replicating past architectural styles, and should respect the scale, material and massing of adjacent heritage buildings.
- Facade Articulation – New buildings should ensure the horizontal and vertical architectural orders including windows and entries, are aligned with neighboring heritage buildings or the established pattern on the block.

5. Corner Sites

- Corner buildings have a greater visual prominence given that they front onto two streets and frame intersections.
 - Designs and massing of corner buildings should accentuate the visual prominence of the site.
 - Corner buildings should orient to both street frontages and, wherever possible, have entrances that address both frontages.

6. Storefronts

- To provide animation and visual interest, storefronts should have:
 - A frontage in the range of 7.5 metres.
 - A minimum of 75% glazing to maximize visual animation.
 - Entrances that are highly visible and located at or near grade.
 - Signage that adds diversity and interest to the street.
- Dark tinted, reflective, or opaque glazing should be discouraged for storefront glazing

7. Residential Street Access Units

- In buildings where residential uses are located at-grade:
 - The individual units should be accessed from the street

- Appropriate front yard privacy measures should be taken
- Access to the units should be consistent with the residential street character in Nutana

8. Roof Treatment

- Roof design should consider the following guidelines:
 - The use of stepbacks, changes in materials, cornice lines and overhangs
 - Screen mechanical penthouses from view
 - Green roofs are encouraged

9. Above Grade Parking

- Where parking is provided at grade, the following guidelines address the design quality of the facility:
 - Direct access from the street is discouraged.
 - Ground level retail should be incorporated, where the parking structure fronts a street.
 - Parking structures should be designed to reinforce the built character and blend into the streetscape.
- Broadway 360° recommends that, wherever possible, parking should be provided in the rear yard or below grade, and should be accessed from the lane.

10. Material & Architectural Quality

- New developments should contribute to the Prairie-style Main Street building style that exists
- High quality materials should be chosen that are both functional and aesthetically pleasing
- Materials chosen should not mimic other materials
- A key objective of Broadway 360 is to achieve a balance between consistencies in design quality & street interface, while enabling individual expression.

11. Sidewalk Cafes

- Should be encouraged along all sidewalks
- Should contribute and integrate into the streetscape
- Corners with "curb bump outs" could provided additional opportunities
- Rear yard and roof-top patios should not abut residential areas
- Sidewalk cafes should be encouraged, provided they don't cause land use conflicts or encumber pedestrian movements.

12. Building Lighting

- Both landscape and architectural features can be highlighted
- Landmarks & distinctive features of buildings should be illuminated
- Subtle night lighting of retail displays should be encouraged

13. Signage

- Storefront signs should be no more than 25% of the business storefront
- Should aid pedestrians & drivers, especially at night

- Backlit rectangular sign boxes should be discouraged
- Signage should not obscure building features.
- Signage Group 5, in the City of Saskatoon Zoning Bylaw is applied to Broadway Avenue

14. Sustainable Design

- Projects should strive for sustainable building practices
- When adaptive reuse projects are undertaken to rehabilitate historic buildings, the old and new should be compatible in terms of historic materials, features, size, scale, height, proportion and massing to protect the integrity of the property and its environment

Questions:

- **Could you briefly describe gross floor space exemptions for parking?**

Under the B5 Zoning District currently, certain things are exempt from, like indoor parking is not counted towards the total area of the building. E.g. you have a parking floor it does not count as gross floor space. Steering committee was concerned about very large and tall buildings also providing a significant amount of above grade commercial parking. Parking above grade will count towards the ration with the exception of the parking you need for the building itself. We will look at the parking area and the parking you have to provide for dwelling units and the parking for commercial area at rate of 24 square meters plus the drive lanes and the ramps. We will credit that back to you; it will not count toward parking structure.

- **Parking with mixed used development, how do you treat the artist who works and lives in place?**

The live/work unit would count as a residential dwelling, so one parking space would be required.

- **Are there still no parking requirements for commercial property?**

No, this remains the same.

Comments:

- It is a huge challenge task to bring this into place. Almost to mold into a campus area. Guidelines are good to control design, but if too wide open it's difficult to administer. However, you don't want it too stringent either. Couple concerns with the first two guidelines.

- Base, middle and cap seems simple and perfect, but concern with wall aspect of a 2 or 3 storey building, not sure if good for street. Maybe need to have a restriction of number of stories as well. Need more to guide this.
- 70% frontage and street wall... How will this affect the Extra Foods or Oskayak School if they change ownership?

- Signage and indirect architectural lighting sections are good.
- Storefront is critical for this process.

Tim noted many issues will be covered off by codes as they are more stringent than guidelines can be.

- Some concern with the height allowed for building, seems allowance is too high. Buds is 5 stories and that is fine, but going 12 stories seems high.

Tim noted the ratio of the historic building height will be followed.

- Good solid principle, it allows for a bit of variety, very sound, but is there any room allowed for odd variety that still maintains the character?
- It seems like the smaller lots may not be able to follow the 7:1 ratio.

Tim noted it is important to maintain the pedestrian feel.

- Last area is sustainable design, which is about providing general encouragement and not specific guidelines.

Tim stated the design and statement of intent. It is more becoming the norm, it is good business sense. Don't really need to regulate it as it is the way of good business, much the same as the parking provision.

- **Is there a goal regarding the ratio of residential to commercial property?**

There is no specific quota, but the goal is to have mixed uses. Fact of the matter is Broadway is a very healthy area of mixed use and hope it will continue.

Tim thanked everyone for their time and reminded the group that the Steering Committee members will be around for anyone who wishes to have a more one to one conversation.

For more information please visit: www.broadway360.ca

ZONING NOTICE

**NUTANA NEIGHBOURHOOD – BROADWAY COMMERCIAL AREA
APPLICATION OF THE B5B BROADWAY COMMERCIAL ZONING
DISTRICT AND AC2 – B5B ZONING ARCHITECTURAL CONTROL
OVERLAY DISTRICT IN THE BROADWAY COMMERCIAL AREA**

BYLAW NO. 9054

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No.8770). Through Bylaw No. 9054, the Zoning Amendment Bylaw 2012 (No. 17), the properties in the Nutana Neighbourhood as shown in the map below will be rezoned from B5 District to a B5B Broadway Commercial District.

REASON FOR THE AMENDMENT – The proposed rezoning will apply the B5B Zoning District to properties in the Broadway Commercial Area. This district will provide development standards to ensure that new development enhances the existing urban environment along this important commercial corridor.

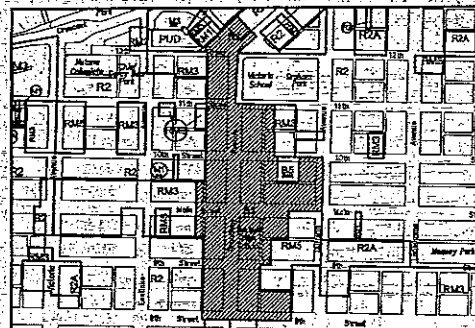
BYLAW NO. 9056

Saskatoon City Council will consider an amendment to the City's Zoning Bylaw (No.8770). Through Bylaw No. 9056, the Zoning Amendment Bylaw 2012 (No. 19), the AC2 – B5B Architectural Control Overlay District will be applied properties in the Nutana Neighbourhood as shown in the map below.


REASON FOR THE AMENDMENT – The proposed rezoning will apply the AC2 – B5B Architectural Control Overlay District to properties in the Broadway Commercial Area. The AC2 – B5B District will impose design guidelines on all new developments in this area. This Architectural Control Overlay District will ensure that new buildings reinforce and enhance the best qualities of the Broadway Commercial Area.

List of Properties Proposed to be Rezoned from B5 to B5B and AC2 – B5B, as indicated on the map below.

615	10th St E	702	Broadway Ave	818	Broadway Ave
616	10th St E	704	Broadway Ave	820	Broadway Ave
634	10th St E	706	Broadway Ave	821	Broadway Ave
612	11th St E	707	Broadway Ave	824	Broadway Ave
535	8th St E	708	Broadway Ave	834	Broadway Ave
601	8th St E	712	Broadway Ave	835	Broadway Ave
617	8th St E	714	Broadway Ave	906	Broadway Ave
619	8th St E	715	Broadway Ave	912	Broadway Ave
611	9th St E	718	Broadway Ave	916	Broadway Ave
613	9th St E	720	Broadway Ave	919	Broadway Ave
1002	Broadway Ave	723	Broadway Ave	922	Broadway Ave
1005	Broadway Ave	724	Broadway Ave	1002	Broadway Ave
1006	Broadway Ave	726	Broadway Ave	1005	Broadway Ave
1010	Broadway Ave	730	Broadway Ave	1006	Broadway Ave
1011	Broadway Ave	732	Broadway Ave	1010	Broadway Ave
616	Broadway Ave	733	Broadway Ave	1011	Broadway Ave
626	Broadway Ave	735	Broadway Ave	620	Main St
630	Broadway Ave	801	Broadway Ave	621	Main St
632	Broadway Ave	802	Broadway Ave	622	Main St
638	Broadway Ave	806	Broadway Ave	626	Main St
640	Broadway Ave	810	Broadway Ave	629	Main St
642	Broadway Ave	813	Broadway Ave	639	Main St
644	Broadway Ave	814	Broadway Ave	611	University Dr
650	Broadway Ave	817	Broadway Ave		



PROPOSED REZONING
From B5 to B5B and AC2-B5B



File No. R14-2012

INFORMATION - Questions regarding the proposed amendment or requests to view the proposed amending Bylaws, the City of Saskatoon Zoning Bylaw and Zoning Map may be directed to the following without charge:
Community Services Department, Planning and Development Branch
Phone: 975-2993 (Paula Kotasek-Toth)

PUBLIC HEARING - City Council will hear all submissions on the proposed amendments, and all persons who are present at the City Council meeting and wish to speak on Tuesday, September 4, 2012 at 6:00 p.m. in City Council Chamber, City Hall, Saskatoon, Saskatchewan.

All written submissions for City Council's consideration must be forwarded to:
His Worship the Mayor and Members of City Council
c/o City Clerk's Office, City Hall
222 Third Avenue North, Saskatoon SK S7K 0J5
All submissions received by the City Clerk by 10:00 a.m. on Tuesday, September 4, 2012 will be forwarded to City Council. City Council will also hear all persons who are present and wish to speak to the proposed Bylaws.

3i)

BYLAW NO. 9056

The Zoning Amendment Bylaw, 2012 (No. 19)

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as The Zoning Amendment Bylaw, 2012 (No. 19).

Purpose

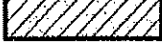
2. The purpose of this Bylaw is to amend the Zoning Bylaw No. 8770 to include architectural controls within the Broadway Commercial District ("B5B") as further and better described in Bylaw No. 9055.

Zoning Bylaw Amended

3. Zoning Bylaw No. 8770 is amended in the manner set forth in this Bylaw.

Zoning Map Amended

4. The Zoning Map, which forms part of Bylaw No. 8770, is amended as follows:

(1) the lands shown as  on the map as attached as Appendix "A" to this Bylaw and described below are subject to architectural controls overlay as further and better described in Bylaw No. 9055:

- (a) Civic Address: 615 10th Street East
Surface Parcel Nos. 120139871 & 120140064
- (b) Civic Address: 616 10th Street East
Surface Parcel Nos. 120158513, 120157343 & 120157332
- (c) Civic Address: 634 10th Street East
Surface Parcel Nos. 120157275, 120157264, 120157253 & 120158546
- (d) Civic Address: 612 11th Street East
Surface Parcel Nos. 120140053 & 136239598

- (e) Civic Address: 535 8th Street East
Surface Parcel Nos. 136252829, 136252830, 136252841,
136252852 & 136252863
- (f) Civic Address: 601 8th Street East
Surface Parcel Nos. 120284489, 120129937, 120129926,
120129915, 120129904 & 135685794
- (g) Civic Address: 617 8th Street East
Surface Parcel Nos. 136252920, 136252942, 120284445,
136252931 & 120284478
- (h) Civic Address: 619 8th Street East
Surface Parcel Nos. 120284467, 120284456 & 136252919
- (i) Civic Address: 611 9th Street East
Surface Parcel No. 120134629
- (j) Civic Address: 613 9th Street East
Surface Parcel No. 120319668
- (k) Civic Address: 1002 Broadway Avenue
Surface Parcel Nos. 136252795, 120099405 & 120129757
- (l) Civic Address: 1005 Broadway Avenue
Surface Parcel Nos. 120129869, 120129858, 120099393 &
120129870
- (m) Civic Address: 1006 Broadway Avenue
Surface Parcel Nos. 136252807, 120129779, 120129780 &
120129791
- (n) Civic Address: 1010 Broadway Avenue
Surface Parcel Nos. 120129803, 136252818, 136252874,
136252885, 136252896 & 136252908
- (o) Civic Address: 1011 Broadway Avenue
Surface Parcel Nos. 135685806, 120129881 & 120319332
- (p) Civic Address: 616 Broadway Avenue
Surface Parcel Nos. 144854141 & 120139141
- (q) Civic Address: 626 Broadway Avenue
Surface Parcel No. 120319905

- (vv) Civic Address: 817 Broadway Avenue
Surface Parcel No. 120156814 & 120156825
- (ww) Civic Address: 818 Broadway Avenue
Surface Parcel No. 120289169
- (xx) Civic Address: 820 Broadway Avenue
Surface Parcel No. 120289158
- (yy) Civic Address: 821 Broadway Avenue
Surface Parcel No. 120156803
- (zz) Civic Address: 824 Broadway Avenue
Surface Parcel No. 120289147
- (aaa) Civic Address: 834 Broadway Avenue
Surface Parcel Nos. 120289350, 120289136, 120156869 &
120156870
- (bbb) Civic Address: 835 Broadway Avenue
Surface Parcel Nos. 120158670, 120320817, 120156780 &
120156791
- (ccc) Civic Address: 906 Broadway Avenue
Surface Parcel Nos. 120158838, 120158849, 120158850 &
120136946
- (ddd) Civic Address: 912 Broadway Avenue
Surface Parcel Nos. 136252683, 120158816 & 136252694
- (eee) Civic Address: 916 Broadway Avenue
Surface Parcel Nos. 136252672 & 120158793
- (fff) Civic Address: 919 Broadway Avenue
Surface Parcel Nos. 120097986, 120158759, 120158760,
120136935, 120319725, 120158681, 120158692, 120158704,
120158715, 120158726, 120158737 & 120158748
- (ggg) Civic Address: 922 Broadway Avenue
Surface Parcel No. 164972672
- (hhh) Civic Address: 526 Main Street
Surface Parcel Nos. 136252706, 120136889 & 120135822
- (iii) Civic Address: 527 Main Street
Surface Parcel Nos. 120289271 & 120289338

- (jjj) Civic Address: 616 Main Street
Surface Parcel Nos. 120136890, 120135811, 120319736 &
120135800
- (kkk) Civic Address: 617 Main Street
Surface Parcel Nos. 120158131, 120158142 & 120158524
- (lll) Civic Address: 619 Main Street
Surface Parcel No. 164757011
- (mmm) Civic Address: 620 Main Street
Surface Parcel No. 120135798
- (nnn) Civic Address: 621 Main Street
Surface Parcel Nos. 131592494, 131592506, 120158085 &
120158096
- (ooo) Civic Address: 622 Main Street
Surface Parcel No. 120159075
- (ppp) Civic Address: 626 Main Street
Surface Parcel No. 120159064
- (qqq) Civic Address: 629 Main Street
Surface Parcel Nos. 131592517 & 120320918
- (rrr) Civic Address: 639 Main Street
Surface Parcel Nos. 120158535, 120158041, 120158052 &
120158063

(sss) Civic Address: 611 University Drive
Surface Parcel No. 120600874

Coming into Force

5. This Bylaw shall come into force on the day of its final passing.

Read a first time this _____ day of _____, 2012.

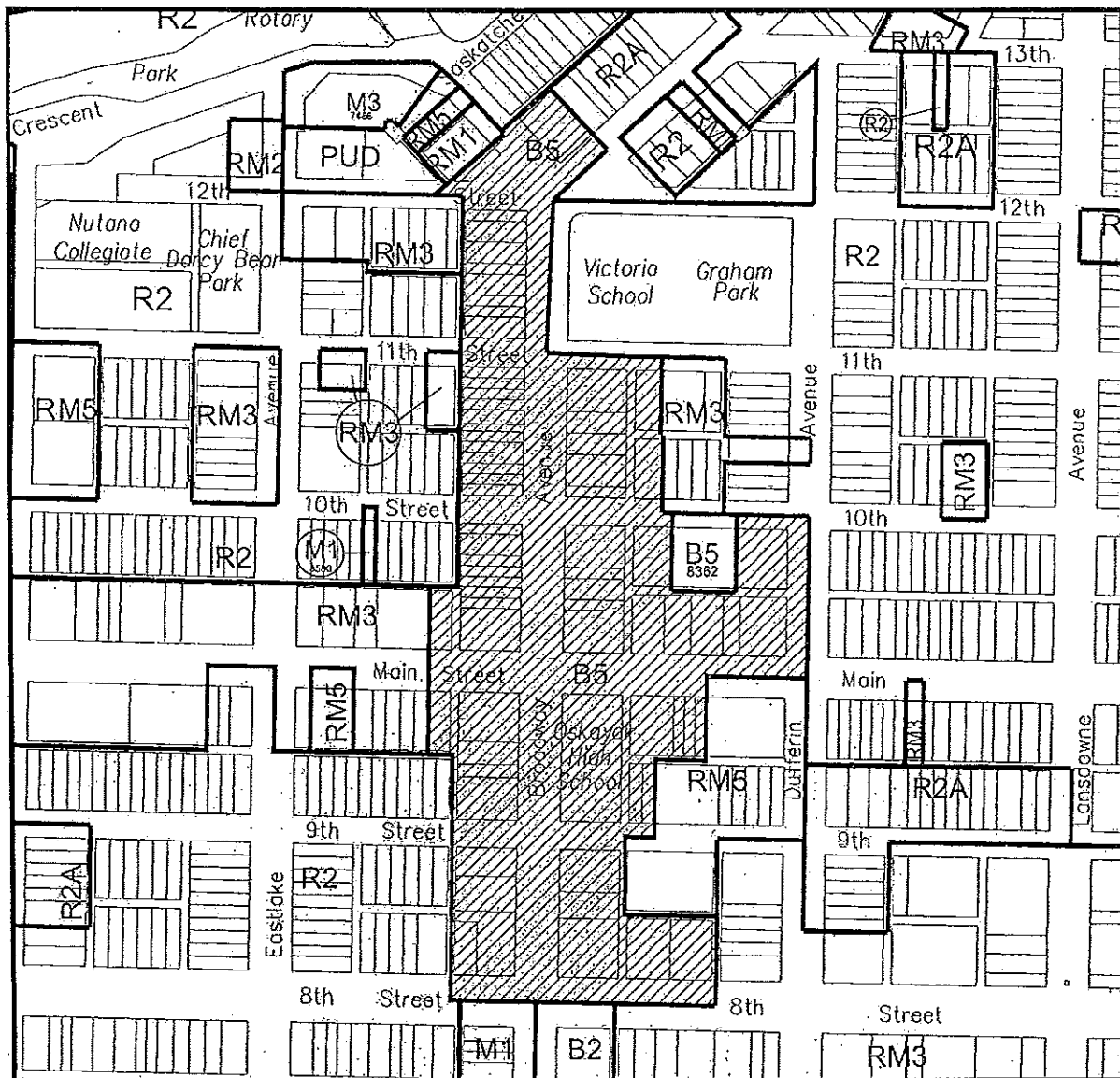
Read a second time this _____ day of _____, 2012.

Read a third time and passed this _____ day of _____, 2012.

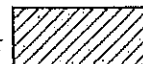
Mayor

City Clerk

Appendix "A"



Architectural Control Overlay
District AC2-B5B



City of
Saskatoon
Planning & Development Branch

3j)

BYLAW NO. 9057

The Rosewood Municipal Reserve Redesignation and Exchange Bylaw, 2012

The Council of The City of Saskatoon enacts:

Short Title

1. This Bylaw may be cited as *The Rosewood Municipal Reserve Redesignation and Exchange Bylaw, 2012*.

Purpose

2. The purpose of this Bylaw is to redesignate and exchange Municipal Reserve MR3, Plan 94S17318 in the manner set forth in this Bylaw.

Redesignation and Exchange of Municipal Reserve

3. (1) All of Municipal Reserve MR3, Plan 94-S-17318, having an area of 5.75 ha, is redesignated as portions of Parcels H and Z as shown on a Plan of Subdivision of part of Parcel F, Reg'd Plan No. 94-S-17318 and part of Parcel AA, Plan No. 101875394 in S.W. ¼ Sec. 18 part of Parcel BB, Plan No. 101875394 and part of Parcel DD, Plan No. 102028586 in S.E. ¼ Sec. 18 and parts of N.E. ¼ Sec. 18 and E ½ Sec. 19 and Surface Consolidation of Municipal Reserve MR3, Reg'd Plan No. 94-S-17318 and parts of Parcel CC, Plan No. 89-S-02055; and N.E. ¼ Sec. 18 everything in Twp. 36 – Rge. 4 – W. 3rd Mer. Saskatoon, Saskatchewan by R.A. Webster, S.L.S. dated May, 2012, a copy of which Plan is attached as Appendix "A".

(2) In exchange for the redesignation of Municipal Reserve MR3, Plan 94S17318 as described in Subsection (1), the land area of Municipal Reserve MR3, Plan 94S17318, totalling 5.75 ha, is exchanged and re-allocated as follows:

(a) 61 per cent of MR3 is re-allocated to proposed MR11 (0.41 has) and proposed MR12 (3.1 ha); and

(b) 39 per cent of MR3 is re-allocated to proposed MR15 (2.24 ha),

all of which is shown on Appendix "B" to this Bylaw.

Coming into Force

4. This Bylaw shall come into force on the day of its final passing.

Read a first time this _____ day of _____, 2012.

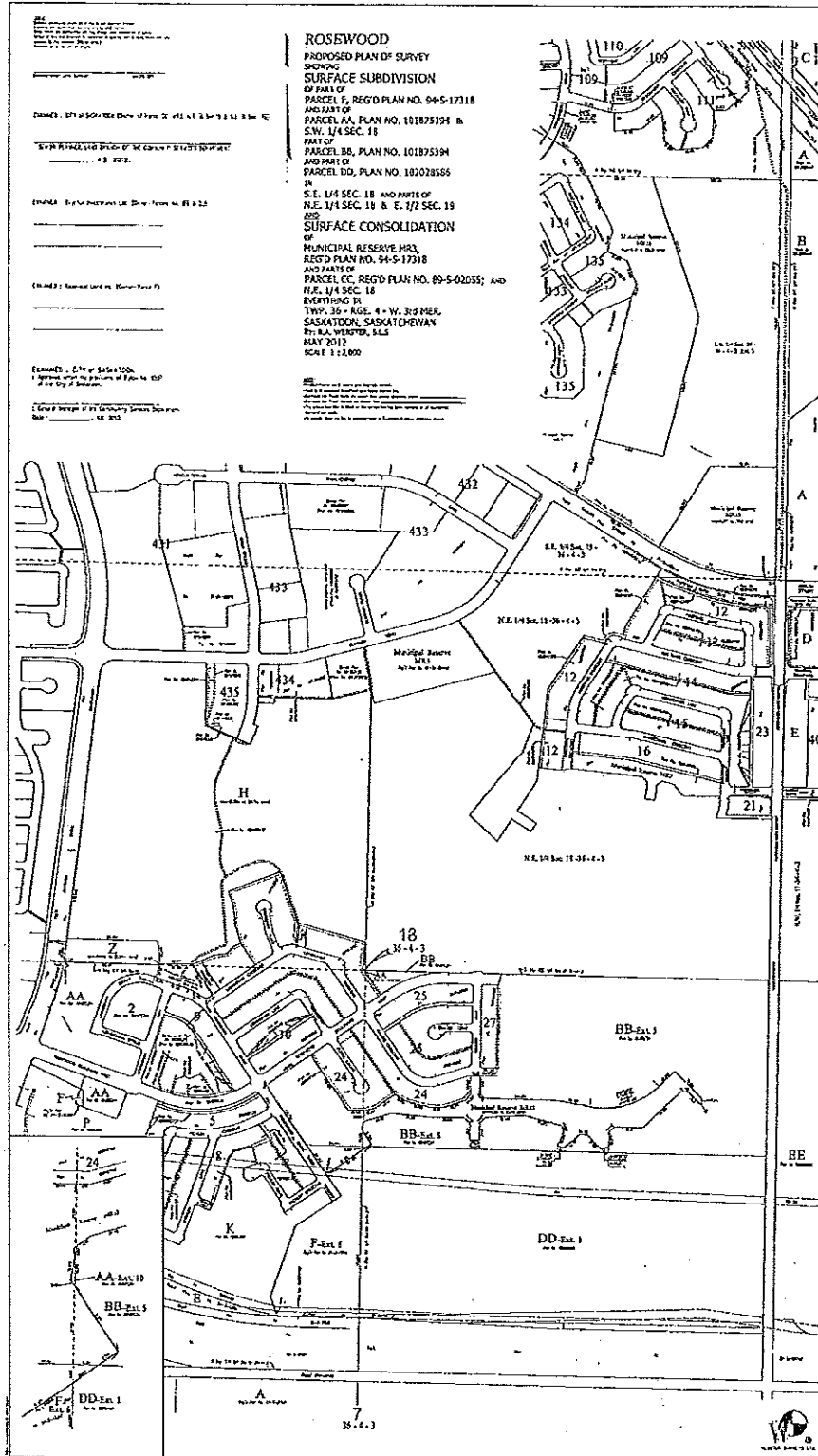
Read a second time this _____ day of _____, 2012.

Read a third time and passed this _____ day of _____, 2012.

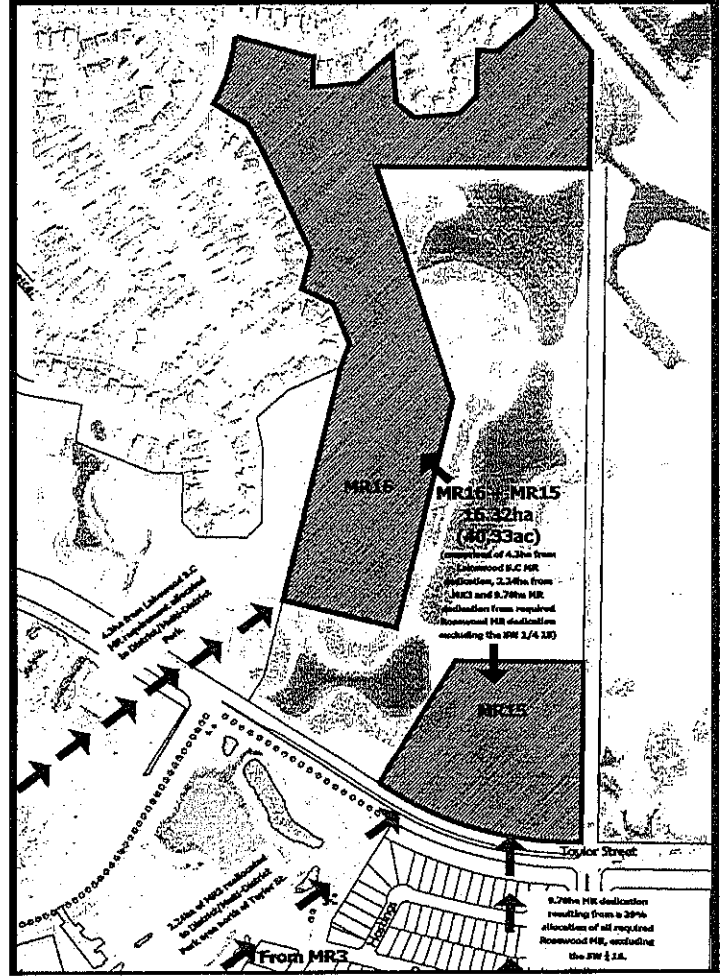
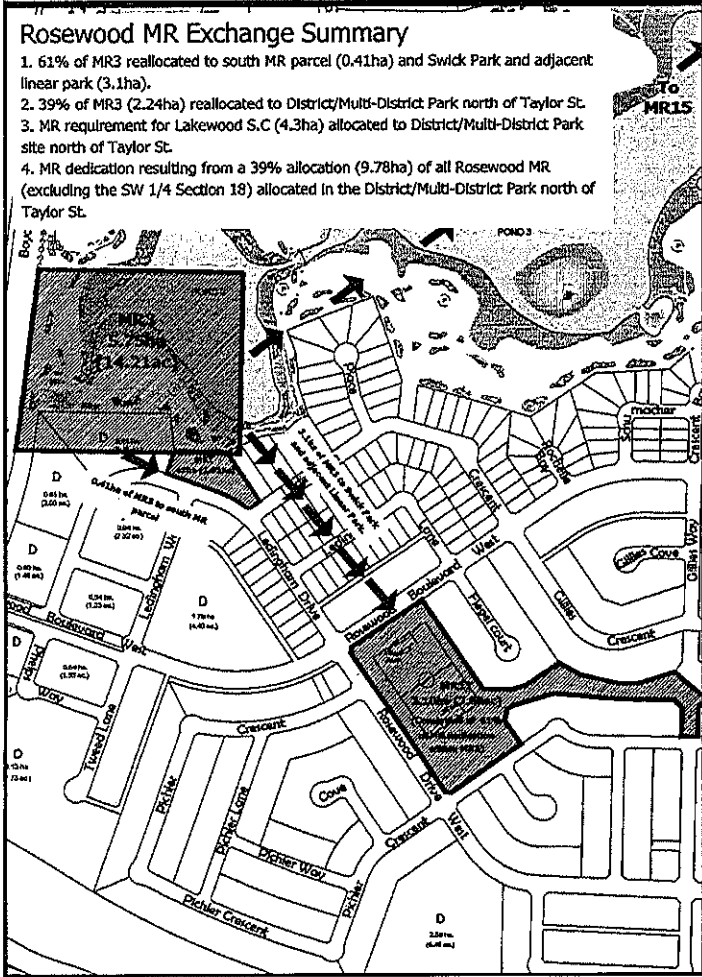
Mayor

City Clerk

Appendix "A"



Appendix "B"



The following is a copy of **Clause 4, Report No. 13-2012 of the Planning and Operations Committee**, which was **ADOPTED** by City Council at its meeting held on **August 15, 2012**:

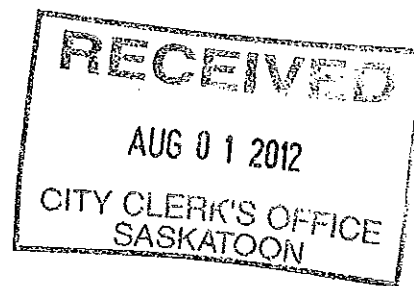
4. Rosewood – Municipal Reserve Exchange
(Files CK. 4110-40; LS. 4000-3 and LA. 4131-27-5)

- RECOMMENDATION:**
- 1) that the City Solicitor be instructed to prepare the necessary bylaw, in accordance with Section 199 of *The Planning and Development Act 2007*, and, with regard to the attached Proposed Plan of Survey, to exchange the Municipal Reserve Lands in the Rosewood neighbourhood as follows:
 - a) 61 percent of MR3 reallocated to MR11 (0.41 ha) and MR12 parcel (3.1 ha); and
 - b) 39 percent of MR3 reallocated to MR15 (2.24 ha).
 - 2) that the Community Services Department be instructed to undertake the necessary advertising; and
 - 3) that the Community Services Department, through the Dedicated Lands Account, be responsible for costs associated with this Municipal Reserve Land exchange and a portion of the Plan of Survey and that the remaining costs associated with the subdivision be shared by the City of Saskatoon and Boychuk Developments Ltd.

Attached is a report of the General Manager, Community Services Department dated July 17, 2012, with respect to the above matter.

Your Committee has reviewed the matter with the Administration and supports the above recommendations.

TO: Secretary, Planning and Operations Committee
FROM: General Manager, Community Services Department
DATE: July 17, 2012
SUBJECT: Rosewood – Municipal Reserve Exchange
FILE NO.: LS 4000-3 and LA 4131-27-5



RECOMMENDATION: that a report be submitted to City Council recommending:

- 1) that the City Solicitor be instructed to prepare the necessary bylaw, in accordance with Section 199 of *The Planning and Development Act 2007*, and, with regard to the attached Proposed Plan of Survey, to exchange the Municipal Reserve Lands in the Rosewood neighbourhood as follows:
 - a) 61 percent of MR3 reallocated to MR11 (0.41 ha) and MR12 parcel (3.1 ha); and
 - b) 39 percent of MR3 reallocated to MR15 (2.24 ha).
- 2) that the Community Services Department be instructed to undertake the necessary advertising; and
- 3) that the Community Services Department, through the Dedicated Lands Account, be responsible for costs associated with this Municipal Reserve Land exchange and a portion of the Plan of Survey. Remaining costs associated with the subdivision will be shared by the City of Saskatoon and Boychuk Developments Ltd.

BACKGROUND

During its May 20, 2008 meeting, City Council approved the Rosewood Neighbourhood Concept Plan. The Concept Plan outlines the land uses within the neighbourhood, including the various forms of housing, commercial sites, roadways, and Municipal Reserve (MR) space.

During its May 14, 2012 meeting, City Council approved the Rosewood Land Exchange Agreement. The Rosewood Land Exchange Agreement reallocated the net developable land among the various Rosewood owners including: City of Saskatoon (City), Boychuk Developments Ltd., Rosewood Land Inc., Casablanca Holdings Inc., and Lakewood Estates Inc.

The purpose of this report is to formalize the entire MR (MR3 Plan No. 94S17318) dedication of the Lakewood Suburban area, including the Rosewood and Briarwood neighbourhoods.

REPORT

A drawing (see Attachment 1) and a Proposed Plan of Survey (see Attachment 2) have been provided showing the proposed MR Land exchange. Attachment 1 illustrates the exchange of the existing MR3 (5.75 ha) to areas designated as MR Land in the Rosewood Neighbourhood Concept Plan.

In passing a bylaw to exchange MR Land, a public hearing is required, as stated in Section 199 of *The Planning and Development Act, 2007*. This hearing will consider the attached Plan of Survey, described as follows:

- 1) 61 percent of MR3 reallocated to MR11 (0.41 ha) and MR12 (3.1 ha); and
- 2) 39 percent of MR3 reallocated to MR15 (2.24 ha).

Section 199(3) of *The Planning and Development Act, 2007* states:

“if a council proposes to exchange all or any part of any municipal reserve, the other parcel of land must be of equal or greater area or value, and the land obtained must be designated by the council as municipal reserve.”

The proposed MR exchange complies with Section 199(3), as the existing MR3 (5.75 ha) has been reallocated to MR11 (0.41 ha); MR12 (3.1 ha); and MR15 (2.24 ha).

Ministerial approval from the Province of Saskatchewan is not required. Section 200(4) of *The Planning and Development Act, 2007* states that provincial consent is not needed in cases where the municipal council has been declared an approving authority by the Province of Saskatchewan.

Attachment 1 also illustrates the MR Land dedication from the Lakewood Suburban Centre (4.3 ha) and the district/multi-district MR Land dedication for Rosewood (9.78 ha), excluding the SW ¼ Section 18, to be allocated to MR15 and MR16 parcels. A bylaw exchange is not required as the Plan of Survey formally recognizes the MR dedication as construction on the district/multi-district sports fields was completed in 2010.

OPTIONS

The only option is to not proceed with the exchange of designated lands, as outlined in Attachment 1 and 2 of this report. Choosing this option would require significant changes to the Rosewood Neighbourhood Concept Plan.

POLICY IMPLICATIONS

There are no policy implications.

FINANCIAL IMPLICATIONS

Costs associated with this MR Land exchange and a portion of the Plan of Survey will be funded through the Dedicated Lands Account. Remaining costs associated with the subdivision will be shared by the City and Boychuk Developments Ltd.

PUBLIC COMMUNICATION PLAN

Advertising is a requirement of *The Planning and Development Act, 2007* for the exchange of land and is part of the communication plan.

ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications.

PUBLIC NOTICE

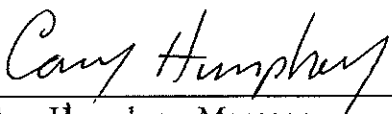
Public Notice, pursuant to Section 3 of Public Notice Policy No. C01-021, is required.

ATTACHMENTS

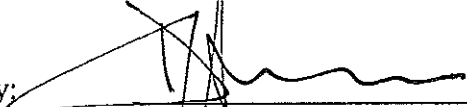
1. Rosewood MR Exchange Summary – June 2012
2. Rosewood Proposed Plan of Survey – July 2012

Written by: Brad Babyak, Integrated Facility Supervisor; and
Kellie Grant, Planner

Reviewed by:

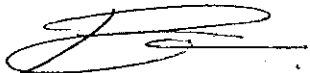

Cary Humphrey, Manager
Leisure Services Branch

Reviewed by:


Frank Long, Manager
Land Bank Manager


DEREK THOMPSON
A / LAND BANK MANAGER.

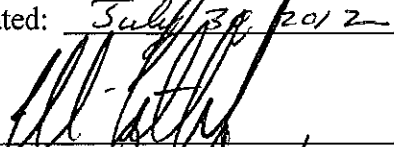
Approved by:



Randy Grauer, General Manager
Community Services Department

Dated: July 30, 2012

Approved by:

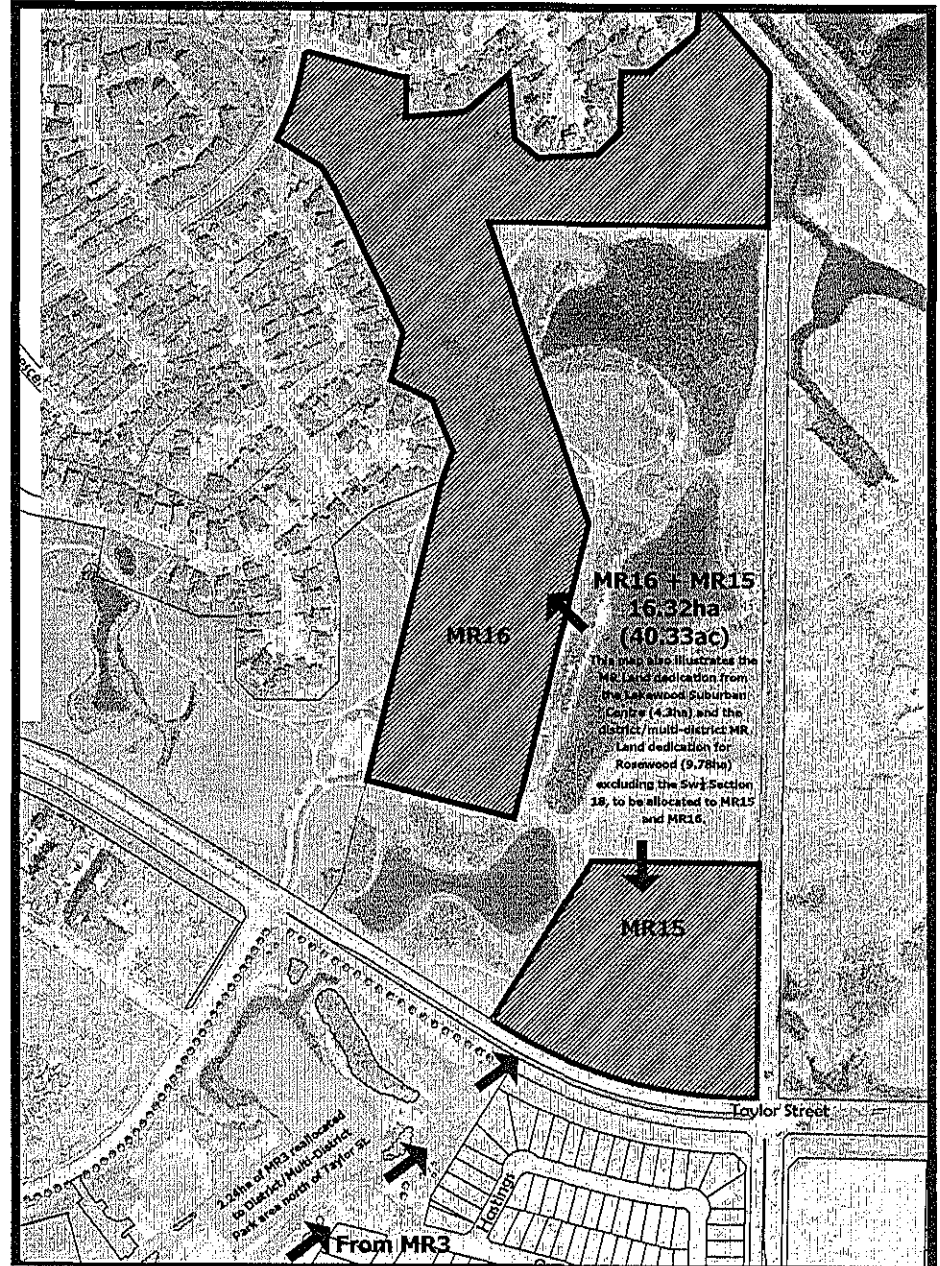
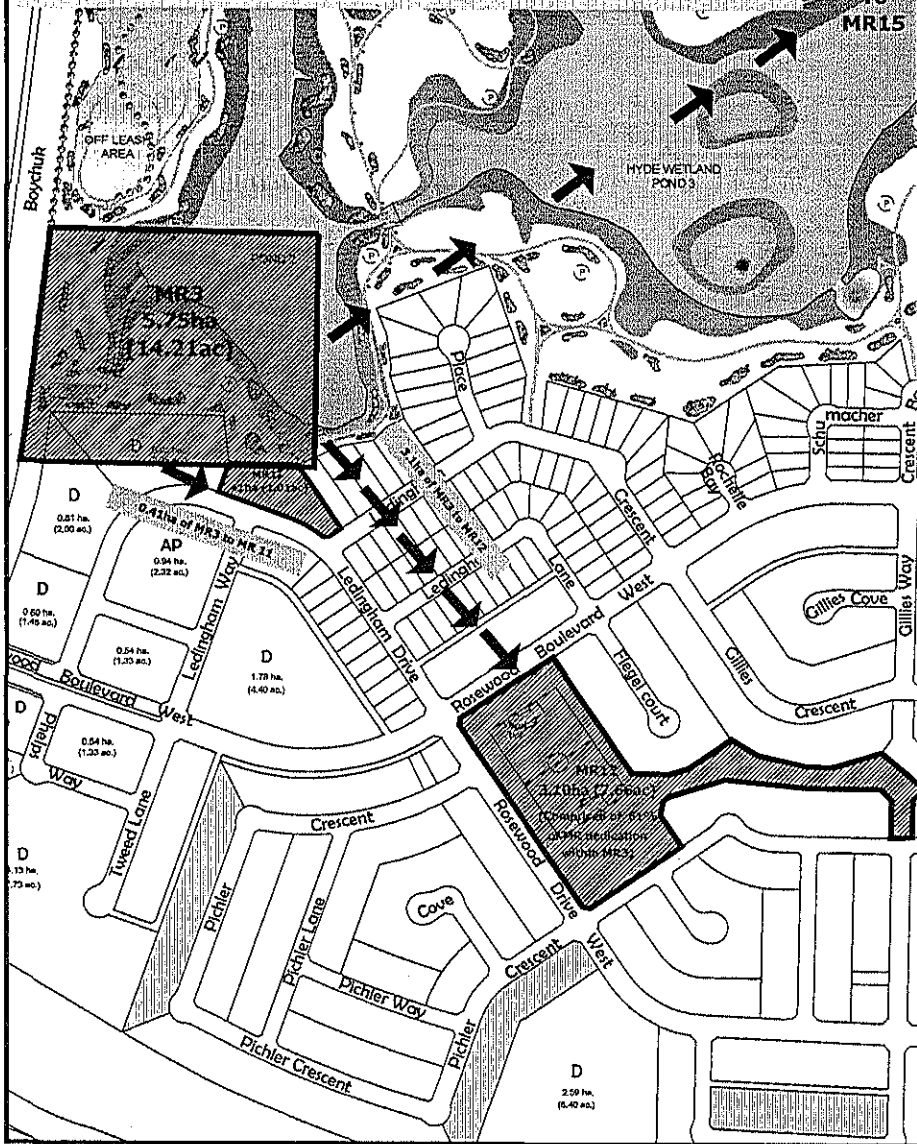


Murray Tofland, City Manager

Dated: July 31/12

Rosewood MR Exchange Summary

- 61% of MR3 reallocated to MR11 (0.41ha) and MR12 (3.1ha)
- 39% of MR3 (2.24ha) reallocated to MR15.



NOTE: Dimensions shown are to nearest millimetre. Measurements are given in feet and inches. All bearings are given in degrees, minutes and seconds. The area of the proposed subdivision is 10.00 hectares (24.71 acres). The area of the proposed subdivision is 10.00 hectares (24.71 acres). The area of the proposed subdivision is 10.00 hectares (24.71 acres).

Examined: _____, A.S. 2012

Examined: CITY OF SASKATOON (Owner of Parcel CC, M23, N.E. 1/4 Sec. 18 & S.E. 1/4 Sec. 18)

Examined: BISHOP, LAND BRANDS OF THE COMMUNITY SERVICES DEPARTMENT, A.S. 2012

Examined: Bishop, Investments Ltd. (Owner-Parcels AA, BB & DD)

Examined: _____, A.S. 2012

Examined: Rosewood Land Inc. (Owner-Parcel F)

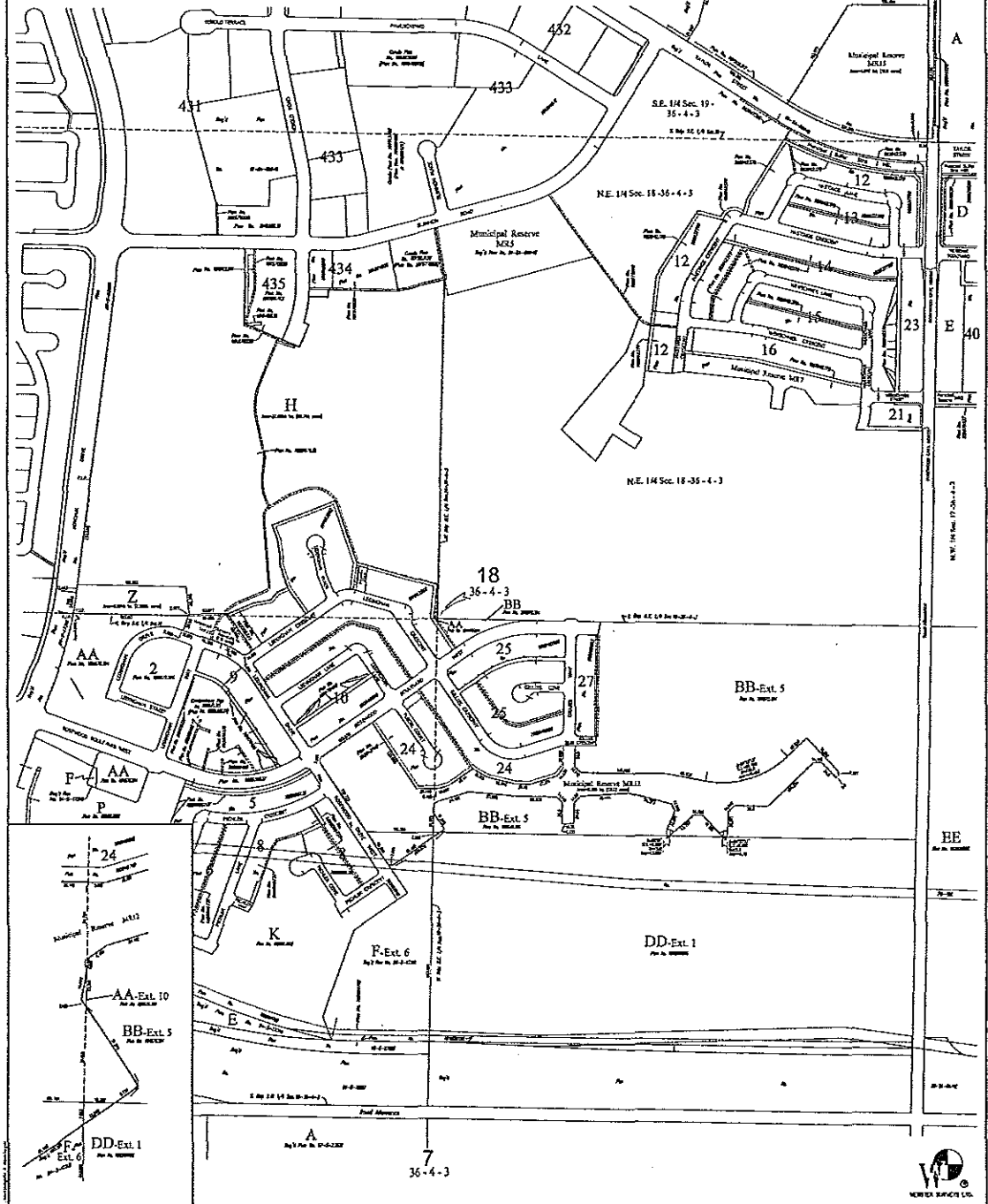
Examined: _____, A.S. 2012

Examined: CITY OF SASKATOON
Approved under the provisions of Bylaw No. 1537 of the City of Saskatoon.

Examined: _____, A.S. 2012

ROSEWOOD
PROPOSED PLAN OF SURVEY
SHOWING
SURFACE SUBDIVISION
OF PART OF
PARCEL F, REG'D PLAN NO. 94-S-17318
AND PART OF
PARCEL AA, PLAN NO. 101875394 IN
S.W. 1/4 SEC. 18
PART OF
PARCEL BB, PLAN NO. 101875394
AND PART OF
PARCEL DD, PLAN NO. 102028586
IN
S.E. 1/4 SEC. 18 AND PARTS OF
N.E. 1/4 SEC. 18 & E. 1/2 SEC. 19
AND
SURFACE CONSOLIDATION
OF
MUNICIPAL RESERVE MR3,
REG'D PLAN NO. 94-S-17318
AND PARTS OF
PARCEL CC, REG'D PLAN NO. 89-S-02055; AND
N.E. 1/4 SEC. 18
EVERYTHING IN
TWP. 36 - RGE. 4 - W. 3rd MER,
SASKATOON, SASKATCHEWAN
BY: R.A. WEBSTER, S.L.S.
MAY 2012
SCALE 1 : 2,000

NOTE: Measurements are to nearest millimetre. Measurements are given in feet and inches. All bearings are given in degrees, minutes and seconds. The area of the proposed subdivision is 10.00 hectares (24.71 acres). The area of the proposed subdivision is 10.00 hectares (24.71 acres). The area of the proposed subdivision is 10.00 hectares (24.71 acres).



His Worship the Mayor and City Council
The City of Saskatoon

ADMINISTRATIVE REPORTS

Section A – COMMUNITY SERVICES

**A1) Land-Use Applications Received by the Community Services Department
For the Period Between August 2, 2012 and August 22, 2012
(For Information Only)
(Files CK. 4000-5, PL. 4355-D, PL. 4350 and PL. 4300)**

RECOMMENDATION: that the information be received.

The following applications have been received and are being processed:

Discretionary Use

- Application No. D4/12: 311 Ludlow Street
Applicant: Siemens Koopman Architects
Legal Description: Lot 9, Block 438, Plan No. 102011645
Current Zoning: M3
Proposed Use: Medical Offices
Neighbourhood: University Heights Suburban Centre
Date Received: August 15, 2012

Rezoning

- Application No. Z21/12 : 2310 Melville Street and 3203 Preston Avenue
Applicant: Meridian Developments
Legal Description: Block C and D, Plan No. 64S04601 and
Parcel A, Plan No. F05567, Extension 1
Current Zoning: R1A and RMTN
Proposed Zoning: B1B and M3
Neighbourhood: Stonebridge
Date Received: August 3, 2012

Subdivision

- Application No. 64/12: Creation of Municipal Reserve in Rosewood
Applicant: Webster Surveys for City of Saskatoon Land Branch
Legal Description: Part of Parcel F, Plan No. 94S17318 and
Parcels AA and BB, Plan No. 101875934

- | | |
|-----------------|----------------|
| Current Zoning: | RMTN |
| Neighbourhood: | Rosewood |
| Date Received: | August 1, 2012 |
- Application No. 65/12: 11th Street and Avenue P South
Applicant: Digital Mapping Systems for L.A.R. Holdings Ltd.
Legal Description: Part of Lot 15, Block 1, Plan No. G670 and
Part of Lot 1, Block 5, Plan No. G3820

Current Zoning: IL1 and B2
Neighbourhood: West Industrial and King George
Date Received: August 8, 2012
 - Application No. 66/12: 2926/2928 Preston Avenue South
Applicant: Webb Surveys for Ganna and Mykola Tseona
Legal Description: Lot 9, Block 376, Plan No. 67S10220
Current Zoning: R2
Neighbourhood: Nutana Park
Date Received: August 10, 2012
 - Application No. 67/12: 3403 Fairlight Drive and 422 Stone Court
Applicant: Webb Surveys for James and Norma Brinkman and
Terrence and D. Faye Denys
Legal Description: Walkway W1, Plan No. 76S07219 and Consolidated
with Lots 25 and 92, Block 846, Plan No. 76S14680
Current Zoning: R2
Neighbourhood: Fairhaven
Date Received: August 10, 2012
 - Application No. 68/12: 809 – 821 Avenue N South
Applicant: Webb Surveys for Pembroke Farm Management Ltd.
Legal Description: Lots 5, 6, 7, 9, 10, and 11, Block 13, Plan No. G3280;
Lot 52, Block 13, Plan No. 101283487;
Lot 53, Block 13, Plan No. 101283500;
Lot 54, Block 13, Plan 101283498; and
Lot 55, Block 13, Plan No. 101283511

Current Zoning: R2
Neighbourhood: King George
Date Received: August 16, 2012

- Application No. 69/12: 118 109th Street West
Applicant: Webb Surveys for Pembroke Farm Management Ltd.
Legal Description: Lot 12, Block 2, Plan No, I5611
Current Zoning: R2
Neighbourhood: Sutherland
Date Received: August 17, 2012

ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

ATTACHMENTS

1. Plan of Proposed Discretionary Use No. D4/12
2. Plan of Proposed Rezoning No. Z21/12
3. Plan of Proposed Subdivision No. 64/12
4. Plan of Proposed Subdivision No. 65/12
5. Plan of Proposed Subdivision No. 66/12
6. Plan of Proposed Subdivision No. 67/12
7. Plan of Proposed Subdivision No. 68/12
8. Plan of Proposed Subdivision No. 69/12

A2) Gordon Howe Sports Foundation Inc. (Files CK. 4205-7-2 and LS. 4206-G01-2)

- RECOMMENDATION:**
- 1) that the Memorandum of Understanding between the City of Saskatoon and the user organizations (Saskatoon Amateur Softball Association, Saskatoon Hilltops Football Club, and Saskatoon Secondary Schools Athletic Directorate) on the Gordon Howe Sports Foundation Inc. be approved, as the basis for collaborative fundraising at the Gordon Howe Bowl and Park, as outlined in Attachment 1, of this report;

- 2) that the City of Saskatoon approve the appointment of Mr. Allan Gibb, Mr. Bryan Kosteroski, Mr. Brad Smith, Mr. Johnny Marciniuk, and Mr. Cary Humphrey to the Gordon Howe Sports Foundation Inc. Board of Directors for a one-year term which will expire at the 2013 Annual General Meeting;
- 3) that City Council declare the Gordon Howe Bowl Upgrades as a municipal project in order to provide for the issuance of charitable donation receipts for various donations received from within the community; and
- 4) that the Corporate Services Department, Revenue Branch, be authorized and directed to accept donations for this project and to issue appropriate receipts to donors who contribute to the project.

BACKGROUND

During its May 28, 2012 meeting, City Council approved, in part, that the Administration proceed to establish the Gordon Howe Bowl Foundation for the purpose of fundraising for the Gordon Howe Bowl upgrades. During its October 11, 2011 meeting, City Council approved, in principle, the revised design for the Gordon Howe Bowl upgrading at a cost of \$9.8 million (2011 dollars), subject to funding.

In order of priority, the Gordon Howe Bowl Upgrades Capital Project No. 2349 consists of the replacement and installation of the artificial turf football field, lights, score clock, sound system, and multi-purpose standalone support building (public washrooms, referee room, player change rooms, concession, and storage).

This report provides an update on the progress in the establishment of a non-profit charitable corporation, named as the Gordon Howe Sports Foundation Inc. Your Administration is recommending approval of the Memorandum of Understanding (MOU) that establishes the role of each user organization in the non-profit charitable corporation, appointments to the first Board of Directors, and declaration of the Gordon Howe Bowl upgrades as a municipal project.

REPORT

Attachment 1 is a copy of the MOU that the City of Saskatoon (City) has established in collaboration with the user organizations. The MOU forms the understanding of the role of the

user organizations in the non-profit charitable corporation. Your Administration is recommending City Council approval of the MOU. A summary of the significant terms of the MOU are as follows:

- 1) The City wishes to establish the charitable corporation that will seek corporate and individual donations that will be used to improve the Gordon Howe Bowl and Park.
- 2) The Gordon Howe Park includes the Gordon Howe Bowl, Bob Van Impe Field, J.F. Cairns Field, Leakos Field, Clarence Downey Speed Skating Oval, and other ball fields and recreational areas.
- 3) The goals for the fundraising projects for the park are set forth in the Gordon Howe Bowl Master Plan. In particular, the parties agree that the order of the projects shall be:
 - a) artificial turf football field;
 - b) lights;
 - c) score clock;
 - d) sound system; and
 - e) multi-purpose building.
- 4) The term of the Agreement between the City and signatory user groups is three years, commencing on September 1, 2012, and ending on August 31, 2015.
- 5) The charitable corporation shall put forward to the City the names of a maximum of 12 individuals that agree to serve as Directors on the charitable corporation, and in turn, the City shall present these names as Directors to City Council for approval.
- 6) The parties agree to work cooperatively with each other, and with other parties that have agreed to serve on the charitable corporation, so that the capital and fundraising goals are established and met, so far as this is practical.
- 7) Corporate control and oversight speaks to the charitable corporation remaining in good standing with the Saskatchewan regulatory authorities.

- 8) The parties agree that the City shall organize and arrange for any construction at the park as a result of the fundraising efforts of the charitable corporation, and this shall include managing any Requests for Proposals or tenders, administering any contracts, and supervising any construction, unless the parties agree otherwise.
- 9) Each party may terminate the Agreement with six months prior written notice.
- 10) The charitable corporation is indemnified and saved harmless from liability.

Non-Profit Corporation Status

Your Administration, in collaboration with the parties selected, has reserved the “Gordon Howe Sports Foundation Inc.” as the charitable corporate name prior to completing the incorporation documents. The parties selected this name as it allowed for expansion of its fundraising scope beyond the Gordon Howe Bowl should user groups or donors come forward over time with additional upgrading projects within the Gordon Howe Park.

The Articles of Incorporation and Bylaw No. 1 have been developed in collaboration with the user organizations. The Articles of Incorporation identify the charitable corporation will have one member, “the City,” who will create the charitable corporation and appoint directors who will be representative of the user groups and individuals with professional skills (e.g. legal and financial) that are deemed important. The parties have agreed that a minimum of 4 to a maximum of 12 Directors of the charitable corporation shall be appointed. The Articles of Incorporation restrict the activities of the charitable corporation to fundraising activities. The bylaw developed provides the clarity on how the charitable corporation will function. These documents have been submitted to the Department of Justice, and it is anticipated the Certificate of Incorporation will be received by the end of September 2012.

Appointment of Directors to the Gordon Howe Sports Foundation Inc.

Your Administration has confirmed that the following organizations, including the City, have agreed to become founding participants of the Gordon Howe Sports Foundation Inc. (Foundation): Saskatoon Amateur Softball Association (SASA); Saskatoon Hilltops Football Club (Hilltops); and Saskatoon Secondary Schools Athletic Directorate (SSSAD).

In addition to representation from user organizations, the Foundation will seek individuals to fill independent director positions from the following professional skill areas: legal, financial, construction, communication, and fundraising. The founding participants are currently recruiting people to fill independent director positions in the skill areas identified above. The list of independent directors will be circulated to City Council in due course for member approval.

Your Administration is recommending that commencing September 1, 2012, the following individuals be appointed to the Foundation's Board of Directors:

- a) Mr. Cary Humphrey, Manager, Leisure Services Branch, Community Services Department;
- b) Mr. Bryan Kosteroski, President, SASA;
- c) Mr. Allan Gibb, President, Hilltops;
- d) Mr. Brad Smith, Educational Consultant, SSSAD, Saskatoon Public School Division; and
- e) Mr. Johnny Marciniuk, Coordinator Learning Services, SSSAD, Greater Saskatoon Catholic Schools.

Declaration of the Gordon Howe Bowl Upgrades as a Municipal Project

The capital project fundraising goal is \$10 million that is identified as Phase 1A (\$4.0 million) for the artificial turf football field, lights, score clock, and sound system; and Phase 1B (\$6.0 million) as the multi-purpose stand alone building. It is the intent of the Foundation to begin to assess community capacity (individuals, corporations, and businesses) to fund the upgrading project through private donations and sponsorship. The Foundation will begin the development of its fundraising plan immediately following the community assessment with the intent of beginning fundraising in 2013.

Since the Foundation has a desire to raise funds through private donations and sponsorships, your Administration is recommending that the Revenue Branch, Corporate Services Department, be authorized and directed to accept donations and to issue receipts to donors who contribute funds to this project. Sections 110 and 118 of the *Income Tax Act* provide for the same tax receipts to be issued for gifts to a municipality as for gifts to registered charities. In accepting donations where a receipt is to be issued for tax purposes, it is most important to keep in mind the following Canada Revenue Agency definition:

“A gift for which an official donation receipt may be issued can be defined as a voluntary transfer of property without consideration. There must be a donor who freely disposes of the property and there must be a donee who receives the property given. In other words, the transfer must be freely made and no right, privilege, material benefit, or advantage may be conferred on the donor or on the person designated as the donee as a consequence of the gift.”

In order that donors may claim their contribution under the *Income Tax Act*, the Foundation is requesting that City Council declare the Gordon Howe Bowl Upgrades a municipal project and

authorize the Corporate Services Department, Revenue Branch to accept donations and issue appropriate receipts to donors.

This project is similar to other projects approved by City Council over the past several years. Such projects include the Saskatoon Soccer Centre, Everybody's Playground in Ernest Linder Park in the Erindale neighbourhood, and the pathway lighting project in Sid Buckwold Park in the East College Park neighbourhood.

It is the intent of the Foundation to make an application for charitable status with Canada Revenue Agency at the appropriate time. This process can take at a minimum six months to complete. The Foundation can expedite its fundraising activities by having the City declare the Gordon Howe Bowl Upgrades a municipal project.

OPTIONS

City Council may choose not to approve the recommendations contained within this report. However, this would be contrary to the direction previously provided by City Council, and alternative funding sources would have to be found if the Gordon How Bowl Upgrades are to move forward.

POLICY IMPLICATIONS

There are no policy implications.

FINANCIAL IMPLICATIONS

Given the natural turf field is at or near the end of its useful life (approximately 2-3 years), and if the City continues to operate Gordon Howe Bowl, there will be a need for reinvestment of approximately \$600,000 to replace the existing turf field with new natural turf. To continue to operate the Gordon Howe Bowl as a natural turf facility is not a sustainable financial model because the ongoing maintenance costs will continue to increase over time and above the revenue generated from current rental volumes.

Your Administration will be identifying \$600,000 in Capital Project No. 2349 – Gordon Howe Upgrades, as part of the 2013 Capital Budget process to replace the natural turf with artificial turf. It is estimated that \$600,000 is required to begin the artificial field design process which should begin in 2013.

STAKEHOLDER INVOLVEMENT

Your Administration has held meetings with representatives from the Hilltops, SSSAD, and SASA to prepare for incorporation as a non-profit organization and the development of the MOU.

Your Administration will be holding an information meeting this fall with other potential stakeholders, which include organizations such as track and field, football, soccer, disc sports, skiing, field lacrosse, University of Saskatchewan, and the Holiday Park Community Association to provide a progress report on the development of the Foundation.

ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

ATTACHMENT

1. Memorandum of Understanding Agreement Template

Section B – CORPORATE SERVICES

B1) 2011 Municipal Operations Benchmark Project (Files CK, 430-79, CS, 430-1 and CS, 1600-1)

RECOMMENDATION: that the information be received.

BACKGROUND

In the past, the 2008, 2009, and 2010 Municipal Benchmarking Project reports have been received and adopted, on an annual basis, by City Council. The 2011 Municipal Operations Benchmark Project is now complete and is the subject of this report and presentation.

REPORT

The Municipal Operations Benchmark Project report identifies and quantifies, in detail, the factors contributing to different property tax rates between Saskatoon and the cities of Regina, Winnipeg, Edmonton, and Calgary. The research in this report shows that the City's financial resources are well managed and that Saskatoon is a good place for businesses to set up operations and make investments.

While the report identifies strengths with all the participating cities, in particular it shows that the City of Saskatoon:

- relied the least on taxation to fund its 2011 operating budget;
- budgeted for breakeven operations;
- budgeted for the second lowest property tax revenue per capita;
- had the second lowest average assessed property value;
- had the highest budgeted contributions to reserves;
- had the second lowest budgeted withdrawals from reserves; and
- had the lowest utility-supported debt levels per capita and the lowest total debt levels per capita.

A copy of the report is available on the City's web site at www.saskatoon.ca, click on "C" for City Council and go to Reports and Publications.

POLICY IMPLICATIONS

There are no policy implications.

FINANCIAL IMPLICATIONS

There is no financial implication.

PUBLIC COMMUNICATION PLAN

A PowerPoint presentation will be made at the September 4, 2012, City Council meeting, highlighting the key information contained in the report.

The goals of the communication strategy for the Municipal Operations Benchmark Project report are to:

- inform residents, the business community, and the media about the key information contained in this report; and,
- educate the various audiences on how the information will be used in planning and decision-making throughout the year.

In order to achieve these goals, the following communication tools will be used:

- Issue a News Release.
- Media Exposure – introduce the Municipal Operations Benchmark Project to the media through a presentation to City Council so that the information is disseminated widely through articles and television and radio stories.
- Website and Social Media Tools – posting to the website and various social media tools such as Twitter, Facebook, and creating a Blog.
- Businesses – send a letter to businesses such as the Chamber of Commerce, SREDA, and the BIDS with the report highlights and a copy of the report.
- Future Communication Plans and News Conferences – highlights from the report will be used throughout the year as background information for appropriate project communication plans and various news conferences (i.e.: launching the strategic goal for Asset and Financial Sustainability).

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

B2) Accessible Taxicab Licenses
(Files CK. 307-4 and CS. 307-1)

RECOMMENDATION: that the Administration proceed with the data analysis and report to City Council before year end with recommendations regarding the number of accessible taxicab licenses supported with community consultation, industry consultation, and indicative data.

BACKGROUND

At its meeting of August 15, 2012, City Council considered a letter from Comfort Cabs requesting additional accessible taxi licenses (Attachment 1). Council passed a motion that the matter be referred to the Administration for a report back to the September 4, 2012, meeting and that the report include information on the number of accessible trips, ratio of taxicabs to accessible licenses, and provisions for school children requiring accessible taxis.

REPORT

Permanent regular taxicab licenses: The number of regular permanent taxicab licenses has been 160 for the past several decades. Further, 5 permanent accessible taxicabs licenses were approved by City Council prior to 1990. Taxi License Statistics (Attachment 2) indicates that the numbers of permanent regular and accessible taxis operated through each company fluctuates as a result of the competitive nature of the industry. Franchise holders may choose at any point to sell their franchise or to move from one company to another.

Temporary accessible taxicab licenses: City Council has established a cap of 11 temporary accessible licenses. The City of Saskatoon retains ownership of the temporary licenses, has approved them for the primary purpose of providing accessible service to the community, and currently has a condition that at least 50 percent of all trips provide accessible service. Bylaw No. 6066, The License Bylaw, does not restrict franchise owners from operating an accessible vehicle on a regular taxi plate. Comfort Cabs has stated that it has an accessible vehicle currently operating on a regular plate, and that the company is paying a monthly lease fee to the plate owner.

Ratio of Accessible Taxicab Licenses to Regular Licenses

	<u>Radio</u>	<u>United</u>	<u>Comfort</u>
Temporary Accessible Taxi Licenses	4	5	2
Permanent Taxi Licenses (Aug. 2012)	22	80	63
Total	26	85	65
Ratio of Accessible to Total	15.4%	5.9%	3.1%

Requests for Additional Accessible Taxicab Licenses

In May 2011, the taxi company managers put forward a joint proposal that included a request that each company be allocated three additional temporary accessible licenses.

In August 2012, Comfort Cabs requested two additional taxicab licenses for its company to build to a number of temporary accessible licenses equal to the other companies.

All companies, including Comfort Cabs, agree that additional accessible taxicab licenses are required. They also agree that the data should support this request and they are ready to continue working through the identified issues.

Comfort Cabs considers its recent request to be outside this process and a matter of equity among the three companies that should first be resolved. Comfort Cabs was formed by franchise holders moving from the existing United Cabs and Radio Cabs in August of 2009. In December 2009, City Council approved a recommendation that the cap on accessible taxicab licenses increase from five to eleven, and that two of these new licenses be allocated for the use of each company. Comfort Cabs is requesting that City Council approve two licenses for its use which would make the number of accessible licenses distributed per company equal. It is their belief that their franchise owners contributed to the growth of the taxi industry in Saskatoon and should be treated equally. Furthermore, their sense of urgency for an increase in plates is due to the following two events:

- 1) permanent accessible plates that had been operated by an individual under Comfort Cabs were sold to a competitor; and
- 2) one of their accessible vehicles has required repair and has been off the road.

The perspective of the other two companies is that those franchise owners made a decision to leave their companies and therefore left any benefits of affiliation. They believe it would not be fair for City Council to allocate additional licenses simply to ensure the newest company has an equal number. The question has also been raised that if existing franchise holders made a choice to form a fourth company, would City Council be asked to ensure it has the same number of accessible licenses as do the current companies. All companies state additional accessible taxi licenses will improve the service they are able to provide.

Stakeholder Input

In addition to the discussion with taxi company management, an open meeting was held for taxicab drivers on August 21, 2012. The majority of the 23 drivers in attendance were from Comfort Cabs and provided anecdotal evidence of the need for an increase in accessible vehicles. The opinions regarding allocation ranged from each company having equal numbers to an allocation based on

share of overall plates. Most stated any new plates should go to drivers, but several suggested that the licenses be awarded to the companies and that the drivers and companies work together on allocating within the company. One suggested that because of the cost of accessible vehicles, companies would more likely have the funds required to ensure a vehicle is on the road.

With regard to provisions for school children, your Administration spoke with representatives of the school boards. The Saskatoon Public School Board has entered into contracts for the accessible and regular taxicab needs of its students. The Greater Saskatoon Catholic School Board does not have contracts, but rather works with all three companies with the large majority of all trips being prearranged. Students using accessible and regular taxi service have been as much as 20 minutes late for school, but it is recognized that the 8:00 a.m. to 9:00 a.m. time period is a very high demand period for all taxis. They observe that winter weather is also often a factor, and believe more available taxis would be of benefit.

To summarize feedback from other stakeholders, representatives of some specialized care facilities stated that taxi service as one component of their transportation options is relatively good, as most excursions are preplanned and individuals have learned to call well in advance. Individuals who use the service believe an increase in accessible licenses will improve the responsiveness to their calls and reduce their wait times. One individual stated that he has become accustomed to waiting often in excess of an hour for a taxi at a non-peak demand time of day.

Data

At its meeting of May 30, 2011, City Council adopted the recommendation that the request for additional wheelchair accessible taxi licenses be reviewed in context of current taxi trip data. Although delayed, your Administration and the taxi company managers have made much headway on establishing a credible process.

Data extracted directly from the dispatch systems of these companies has been forthcoming. Current work includes further discussion in refining the data, identifying gaps, and working together to have a shared understanding of what the data tells us. The process has been delayed by factors including turnover in the management of two companies; however, your Administration and the companies support the concept of providing the data that will ultimately assist in proactive decision-making.

The bylaw requires that data from manual logs kept by accessible taxi drivers be submitted quarterly. The following table provides a comparative table of aggregate reported results.

	Accessible	Regular	Total	Percent Accessible
2009	32,505	14,746	47,251	68.8%
2010	35,756	18,958	54,714	65.4%
2011	33,664	35,269	68,933	48.8%

In 2011, the decrease of accessible trips and increase in regular trips provided is likely the result of a change to the taxi fare structure eliminating a different rate for accessible taxis. With a limited number of accessible taxis available, the drive from where the vehicle happens to be to where the pickup is required is often much longer than for a regular fare. Accessible taxi drivers may have been opting for a higher ratio of regular fares in order to earn the same amount of money as they had in the past. An increase in the numbers of accessible taxis should result in a reduction of drive time to pick up the customer.

Your Administration will continue working with the companies in eliminating the gaps in data and ensuring meaningful results are available for analysis and will report in November 2012. The report will include recommendations regarding all outstanding items from the report of May 2011.

OPTIONS

There are two options available to City Council:

1. Allocate a relatively equal number of temporary accessible taxi licenses to all companies and allocate Comfort Cabs two additional accessible taxi licenses. This allocation will require a change to the bylaw, increasing the cap on temporary accessible taxi licenses from 11 to 13. This option is a change from Council's prior direction that any new license approvals be brought forward in the context of data. Further, it may be viewed as influencing the competitive abilities of the companies in the favour of the newest company.
2. Base the allocation on community consultation, industry consultation, and indicative data. Your Administration will continue with the data analysis and report to City Council before year end with recommendations regarding the number of accessible licenses. One of the fundamental changes brought about by City Council's move to light regulation of the taxi industry has been for the provision of data. Data will provide a further level of information for decision-making with regard to the optimal number of licenses to be approved. Choosing this option may be seen as inequitable by those who believe all taxi companies should be allocated the number of temporary accessible taxicab licenses that other companies have.

POLICY IMPLICATIONS

Option 1 is chosen, an amendment to Bylaw No. 6066, The License Bylaw.

FINANCIAL IMPLICATIONS

The only financial impact will be with regard to the license fees collected from any new temporary licenses issued by the City of Saskatoon.

STAKEHOLDER INVOLVEMENT

Your Administration has received input from a number of accessible taxi users, accessible taxi drivers, and taxi company representatives.

PUBLIC COMMUNICATION PLAN

Your Administration will work on a communication plan to ensure all parties are advised of City Council's decisions.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

ATTACHMENTS

1. Letter from Comfort Cabs dated August 7, 2012
2. Taxi License Statistics as at August 24, 2012

Section D – HUMAN RESOURCES

D1) Employment Equity Program Annual Monitoring Report (Files CK. 4500-1 and HR. 4500-2)

RECOMMENDATION: that the information be received.

BACKGROUND

The City of Saskatoon's Employment Equity Program was approved by the Saskatchewan Human Rights Commission (SHRC) in 1986 and is monitored on an annual basis. Under the SHRC, *Employment Equity Act*, the City of Saskatoon submits an annual report detailing the progress made towards achieving a representative workforce.

REPORT

This report includes a narrative description of significant actions taken to implement the organization's employment equity plan and workforce data (statistical report). This report will also be submitted to the Saskatchewan Human Rights Commission, City Council and the Cultural Diversity and Race Relations Committee.

ENVIRONMENTAL IMPLICATIONS

No environmental and/or greenhouse gas implications.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

ATTACHMENT

1. 2011 Employment Equity Program Monitoring Report

(A copy of the report is available on the City's website at www.saskatoon.ca, click on "C" for City Council and go to Reports and Publications.)

Section E – INFRASTRUCTURE SERVICES

E1) Communication to Council

From: Carrie Catherine

Two Twenty

Date: August 2, 2012

Subject: Proposed Park(ing) Day Event – September 21, 2012

(File No. CK. 205-1)

RECOMMENDATION: that the requests in conjunction with the Park(ing) Day Event scheduled for September 20 and 21, 2012, as outlined in the following report, be approved subject to administrative conditions.

BACKGROUND

City Council, at its meeting held on August 15, 2012, considered a communication dated August 2, 2012, from Carrie Catherine of the Two Twenty group, requesting temporary lane closures in conjunction with an event scheduled for September 21, 2012 (Attachment 1). Council resolved that the request be referred to the Administration for a report.

REPORT

The Administration met with Ms. Catherine on Friday, August 17, to discuss logistics surrounding planned Park(ing) Day events scheduled to take place in the City of Saskatoon on September 20 and 21, 2012. It was determined that the event falls under Policy C03-026 – Provision of Civic Services, the purpose of which is “to facilitate those activities of outside organizations which are of general benefit and serve to enhance the quality of life for Saskatoon residents through the provision of civic services at no charge or at a reduced charge to the recipient.”

Under the policy, payment for the hooding of parking meters would not be required, as per Section 2.1, which states:

“Civic Services - include non-cash civic assistance such as provision of garbage collection, street sweeping, security, facility rental, and equipment (e.g. signs, barricades, chairs, tables, showmobile)”.

Thursday, September 20, 2012

On Thursday, September 20, 2012, a single parking stall located on Broadway Avenue directly adjacent to the Broadway Theatre, which is currently designated as a “Loading Zone”, will be utilized between the hours of 6:00 p.m. and 10:00 p.m. The stall will be used to advertise/demonstrate the Park(ing) Day concept, and will feature live entertainment as well as a potential book signing by a featured speaker who will be giving a presentation at the Broadway Theatre to kick off the event.

Rope lighting will be used around the perimeter of the stall, and traffic marshals will be present with stop/slow paddles to manage traffic. Power will be provided by the Broadway Theatre, with the power cords being securely taped to the sidewalk.

Friday, September 21, 2012

On Friday, September 21, 2012, the Park(ing) Day event will encompass the parking and curb lanes on both the north and south sides of 20th Street West, between Avenue B and Avenue D, during the hours of 9:00 a.m. to 9:00 p.m.

The parking lanes will feature a mixture of parked vehicles, which will not move until the event is over, and stalls containing things such as furniture, food vendors, clothing retailers and outdoor decorations, which will be accessible to pedestrians from the sidewalk.

The curb lanes will be used as dedicated bike paths, and will serve as a buffer between the parking lanes and vehicular traffic in the median lanes. Traffic cones will be installed to separate the vehicular traffic in the median lane from the cyclists in the curb lane.

This will result in traffic being “squeezed” into a single lane, both eastbound and westbound. Westbound traffic will be “squeezed” mid-block, between Idylwyld Drive and Avenue B, and then will return to normal flow mid-block, between Avenue D and Avenue E. Eastbound traffic will be “squeezed” mid-block, between Avenue E and Avenue D, and will return to normal flow mid-block, between Avenue B and Idylwyld Drive. Traffic marshals, utilizing stop/slow paddles, will also be on hand to manage vehicular traffic in the event area.

There are two Saskatoon Transit bus stops within the event area which the Two Twenty group would like to incorporate into their event in order to demonstrate alternate forms of transportation. The bus stops will be moved to the median lane, and will be located mid-block to avoid the possibility of traffic backing up into an intersection. A representative from Transit was involved in the meeting with the group from Two Twenty on August 17, and approved the relocation of the bus stops.

Two parking stalls, located on Avenue C, south of 20th Street, adjacent to The Hollows restaurant; and one stall located immediately south of 20th Street, on Avenue B, will also be utilized for the event. These stalls will include safety precautions similar to those prescribed for the single stall on Broadway Avenue on the evening of September 20.

The Two Twenty group has been working with the Riversdale Business Improvement District (BID), the Broadway BID, who support the Park(ing) Day events.

The Administration and the Two Twenty group will finalize plans, including all necessary logistical details, ensuring public safety and compliance to City bylaws and policies.

To date, the Administration has received two requests to hood meters in the Broadway area. The Administration will process these requests and will continue to process requests as they are received.

COMMUNICATIONS PLAN

A communications plan is not required.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy C01-021, Public Notice Policy, is not required.

ATTACHMENT

1. Copy of correspondence from Carrie Catherine dated August 2, 2012

E2) Request for Change Order
Capital Project 2249 – IS – Street Reconstruction
Contract 12-0007 - 2012 Patching
(Files CK. 292-012-36 and IS. 6000-4-2)

RECOMMENDATION: that a Change Order, in the amount of \$170,338.57, for Contract 12-0007 - 2012 Patching, be approved.

REPORT

Contract 12-0007 - 2012 Patching was awarded to ASL Paving Ltd. in the amount of \$588,483.15. This contract covers 5,300 square metres of street reconstruction ranging from deep patching (complete reconstruction) to shallow patching (asphalt removal only).

Additional costs were incurred on two locations due to soil and moisture conditions: the northbound lanes of Fairlight Drive, from 11th Street to Pendygrasse Road; and the Highway 16 off ramp to Circle Drive northbound.

These two locations were originally scheduled for shallow patching; however, high water levels within the surrounding areas forced the need for the more extensive deep patching treatment, at an additional cost of \$170,338.57.

The increase of \$170,338.57 brings the total of Contract 12-0007 to \$758,821.72. Since this increase is greater than 25% of the original contract amount, Council approval is required for the Change Order.

FINANCIAL IMPACT

There is sufficient funding within Capital Project 2249 – IS – Street Reconstruction.

POLICY IMPLICATIONS

The requested approval of the Change Order is in accordance with Policy A02-027 – Corporate Purchasing Policy.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

COMMUNICATIONS PLAN

A communications plan is not required.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy C01-021, Public Notice Policy, is not required.

E3) Request for Change Order
Capital Project 0836 – IS - Arterial Road Preservation and
Capital Project 1890 – IS - Expressway Road Preservation
Contract 12-0003 - 2012 East Side Resurfacing and Ultra Thin Overlay
(Files CK. 292-012-6 and IS. 6000-4-3)

RECOMMENDATION: that a Change Order, in the amount of \$236,344.20, for Contract 12-0003 - 2012 East Side Resurfacing and Ultra Thin Overlay, be approved.

REPORT

Contract 12-0003 - 2012 East Side Resurfacing and Ultra Thin Overlay (UTO) was awarded to ASL Paving Ltd. in the amount of \$1,242,986.30. This contract covers 39,000 square metres of arterial roadways which qualify for restoration by removing and replacing the existing surface with asphalt; or overlaying the existing surface with a thin layer of asphalt.

A Change Order in the amount of \$271,320 was approved in April 2012, to allow for ultra thin overlay on Circle Drive, from 8th Street to 14th Street. This Change Order increased the value of the contract to a total of \$1,514,306.

An additional 10,000 square metres of work has been added to this contract for the resurfacing and UTO of the northbound lanes of Circle Drive, from Taylor Street to 8th Street; and UTO work on Taylor Street, from Arlington Avenue to Circle Drive, at a total cost of \$236,344.20. These locations and several others were originally scheduled to be completed in 2012, in partnership with the Ministry of Highways through the Urban Highway Connector Program. However, the City of Saskatoon did not receive funding under this program for these projects in 2012.

Due to the condition of these roadways, any further delays would have resulted in more costly resurfacing repairs, estimated to be approximately three times that of ultra thin overlay. They were, therefore, added to the 2012 East Side Resurfacing project, as there was sufficient funding within Capital Project 0836 – IS - Arterial Road Preservation and Capital Project 1890 – IS - Expressway Road Preservation.

The increase of \$236,344.20 brings the total of Contract 12-0003 to \$1,750,650.50. Since this increase is greater than 25% of the original contract amount, Council approval is required.

FINANCIAL IMPACT

There is sufficient funding within Capital Project 0836 – IS - Arterial Road Preservation and Capital Project 1890 – IS - Expressway Road Preservation.

POLICY IMPLICATIONS

The requested approval of the Change Order is in accordance with Policy A02-027 – Corporate Purchasing Policy.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

COMMUNICATIONS PLAN

A communications plan is not required.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy C01-021, Public Notice Policy, is not required.

**E4) Request for Sole Source Purchase
Capital Budget 1357 – Replacement Vehicles and Equipment
Eight Half-Ton Trucks
(Files CK. 1390-1 and IS. 1390-1)**

- RECOMMENDATION:**
- 1) that the sale agreements submitted by Calmont Group, for the sole source purchase of eight half-ton trucks, at a combined total cost of \$231,136.40 (including G.S.T. and applicable P.S.T.), be approved; and
 - 2) that Purchasing Services be requested to issue the appropriate purchase order.

REPORT

Approved 2012 Capital Project 1357 - Vehicles and Equipment Replacement includes funding in the amount of \$320,000 for the replacement of ½ and ¾ ton trucks.

The Parks Branch Pest Management and Urban Forestry sections rent eight half-ton trucks each year for their seasonal operations. In the spring of 2012, Vehicle and Equipment Services (V&E) solicited pricing from three agencies, and subsequently entered into a rental agreement with Calmont Group for eight new half-ton trucks, for a total rental fee of \$35,040.

In an effort to recover the rental investment made towards these eight trucks, V&E requested Calmont Group to submit a proposed sale agreement. These eight trucks are intended to replace eight units in the V&E fleet which are scheduled for replacement in 2012 because they have reached the end of their service lives.

Calmont Group has submitted a proposal for the purchase of the trucks, which were new at the time of rental delivery, for a total of \$231,136.40, including applicable taxes, with full credit for the rental fee in the amount of \$35,040. It also includes 2% depreciation charges off the unit price per month.

By sole source purchasing the rental trucks from Calmont Group, the City will be able to utilize the rental investment of \$35,040, allowing V&E to redirect capital replacement funds to other planned replacements. In addition, as part of the original rental agreement, each of the rental units have been pre-fitted with the required attachments and equipment. This will result in a further saving of \$1,600 per unit (\$12,800 total). It is estimated that this proposal will save the City the equivalent of one fully equipped half-ton truck.

The Administration is recommending that this purchase of used equipment be considered as a sole source purchase in compliance with the Corporate Purchasing Policy and under the exception listed in Part V of the New West Partnership Agreement, C, 2, g: “where it can be demonstrated that only one supplier is able to meet the requirements of a procurement”.

FINANCIAL IMPLICATIONS

The net cost to the City, as quoted by Calmont Group, for the purchase of each of the eight one-ton trucks is as follows:

Unit	Purchase Price	Rental Credit	Buyout Price	GST	PST	Total
1	32,327	4,380	25,447	1,272.35	1,272.35	27,991.70
2	32,891	4,380	26,011	1,300.55	1,300.55	28,612.10
3	32,891	4,380	26,011	1,300.55	1,300.55	28,612.10
4	32,891	4,380	26,011	1,300.55	1,300.55	28,612.10
5	33,129	4,380	26,249	1,312.45	1,312.45	28,873.90
6	33,863	4,380	26,883	1,344.15	1,344.15	29,571.30
7	33,676	4,380	26,756	1,337.80	1,337.80	29,431.60
8	33,676	4,380	26,756	1,337.80	1,337.80	29,431.60
TOTAL	265,344	35,040	210,124	10,506.20	10,506.20	231,136.40

There is sufficient funding within Capital Project 1357 – Vehicles and Equipment Replacement.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

Administrative Report No. 13-2012_
Section E – INFRASTRUCTURE SERVICES
Tuesday, September 4, 2012
Page 8

COMMUNICATIONS PLAN

A communications plan is not required.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy C01-021, Public Notice Policy, is not required.

Section G – CITY MANAGER

G1) 2011 Report on Service, Savings and Sustainability: How the City of Saskatoon is Improving its Productivity (Files CK. 430-75 and CC. 100-27)

RECOMMENDATION: that the information be received.

BACKGROUND

City Council, at its meeting of February 7, 2005, adopted the following recommendations:

- “1) that City Council confirm its commitment to continually attempt to increase the corporation’s productivity and efficiency; and,
- 2) that City Council instruct the Administration to prepare a report annually on the efficiencies implemented in the previous year.”

REPORT

The City of Saskatoon continues to seek new and innovative ways, to provide existing and emerging programs and services to its citizens. The Administration is always taking a fresh look at how it operates, and how the corporation can become more adaptive and responsive, with a focus on exploring and implementing new ways of:

- improving our service;
- increasing our savings; and
- growing our city in a sustainable way.

The *2011 Report on Service, Savings and Sustainability: How the City of Saskatoon is Improving its Productivity* (Attachment 1) allows us to properly document the City’s progress in this regard. The business community has encouraged the Administration to publish such accomplishments, to demonstrate that we are an innovative and creative government that practices the principles of good business.

The *2011 Report on Service, Savings and Sustainability* includes information on ways the City is reaching out to our citizens to increase public involvement and engagement in municipal government, while tapping into the wisdom of Saskatonians. In addition, it documents the numerous awards and recognition that the City of Saskatoon has achieved throughout the year.

The City of Saskatoon is committed to continuously improving the services we provide to our citizens. We achieved savings of over \$9.3 million and \$15 million in deferred costs (note: Attachment 1 identifies savings of \$7.6 million, but it does not reflect the \$1.7 million in savings achieved through the Civic Services Review). Our environmental programs helped reduce

greenhouse gas emissions by approximately 140,000 tonnes CO₂e (carbon dioxide equivalent) annually, the equivalent of removing 27,000 cars from the road.

Attachment 2 lists the highlights of the *2011 Report on Service, Savings and Sustainability*.

COMMUNICATION PLAN

A copy of the *2011 Service, Savings and Sustainability Report* will be posted on the City of Saskatoon's website. Hardcopies will be forwarded to stakeholder organizations including the Chamber of Commerce, the North Saskatoon Business Association, and the Business Improvement Districts.

ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

ATTACHMENTS

1. *2011 Report on Service, Savings and Sustainability: How the City of Saskatoon is Improving its Productivity.*
2. Highlights of the *2011 Report on Service, Savings and Sustainability*.

G2) The Remail Art Gallery of Saskatchewan and Civic Parkade Construction Tender (Files CK. 4129-15 and CC. 4130-2)

RECOMMENDATION: that City Council authorize the Administration to release the construction tender for the Remail Art Gallery of Saskatchewan and the underground civic parkade.

BACKGROUND

At its meeting on March 12, 2012, City Council adopted the following recommendations:

- “3) that the Administration be authorized to prepare the tender package for the Rемаi Art Gallery of Saskatchewan and parkade; and
- 4) that further information be provided on financing prior to issuing the construction tender.”

On April 30, 2012, City Council approved borrowing to finance the project, including up to \$21M for the design and construction of the Rемаi Art Gallery of Saskatchewan, and \$6M for the design and construction of the underground parking garage at River Landing.

REPORT

Your Administration is pleased to report that the preparation of the final design for the Rемаi Art Gallery of Saskatchewan, civic underground parkade, and the addition to the Rемаi Arts Centre funded by Persephone Theatre is now complete, and that all required funding is in place to enable the City to proceed with the issuance of the public tender for this project.

As previously reported, the combined estimated cost of the art gallery and civic parkade is \$84M. The capital cost of the Rемаi Gallery building is estimated at \$71M. The gallery is funded by \$21M from the City, \$17M from the Government of Saskatchewan, and \$13M from the Federal Government. The remaining \$20M is being funded by the Rемаi Gallery Capital Campaign. The \$13M cost associated with the civic parkade portion of this project is being funded from a variety of sources as identified in the Financial Implications section of this report.

The Rемаi Gallery have indicated that they have reached a key milestone in their quest to achieve their funding goals for the project including both capital and program initiatives. They have advised that they have funding gift agreements and commitments in place which are sufficient to fund its \$20M financial commitment to this construction project.

Deloitte & Touche LLP have reviewed all of the agreements in place at the time of this report and a review of the remaining agreements, which are to be finalized during the week of August 27, will occur on August 31, 2012. The review results are meant to provide adequate assurance to the City that the committed funds will be available as required, and are sufficient to fund the financial commitment to the estimated cost of this project.

The Rемаi Gallery will be continuing its fundraising efforts throughout the tendering and construction process to ensure that its funding goals are met or surpassed both in the context of capital and program initiatives. Typically, in arts and culture projects, the fundraising campaign is carried out over both the design and construction phases of the project.

The tender package for the construction of the Remail Art Gallery of Saskatchewan, including the civic parkade, and the expansion of the adjacent Remail Arts Centre on behalf of and funded by Persephone Theatre, is being finalized so that it may be issued on September 25, 2012.

OPTIONS

No other options have been considered in preparing this report.

POLICY IMPLICATIONS

There are no policy implications.

FINANCIAL IMPLICATIONS

The following table identifies the capital funding sources and amounts for the gallery portion of the project:

Borrowing	\$20,987,000
Building Communities Program (Province)	4,093,000
Building Canada Fund (Province)	12,651,000
Building Canada Fund (Federal)	13,020,000
Remail Art Gallery Fundraising	20,000,000
TOTAL	(\$70,751,000)

The following table identifies the capital funding sources and amounts for the parkade portion of the project:

Borrowing (supported by parkade revenue)	\$5,880,000
City Capital Reserve	7,000,000
Building Canada Fund (Province)	369,000
TOTAL	\$13,249,000

STAKEHOLDER INVOLVEMENT

Stakeholder involvement has been reported in detail in past reports. The project has conducted open houses at the schematic and design development phases of the project.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

Administrative Report No. 13-2012
Section G – CITY MANAGER
Tuesday, September 4, 2012
Page 5

SAFETY [Crime Prevention Through Environmental Design (CPTED)]

The project has achieved approval by the Crime Prevention Through Environmental Design Committee.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

Respectfully submitted,

Randy Grauer, General Manager
Community Services Department

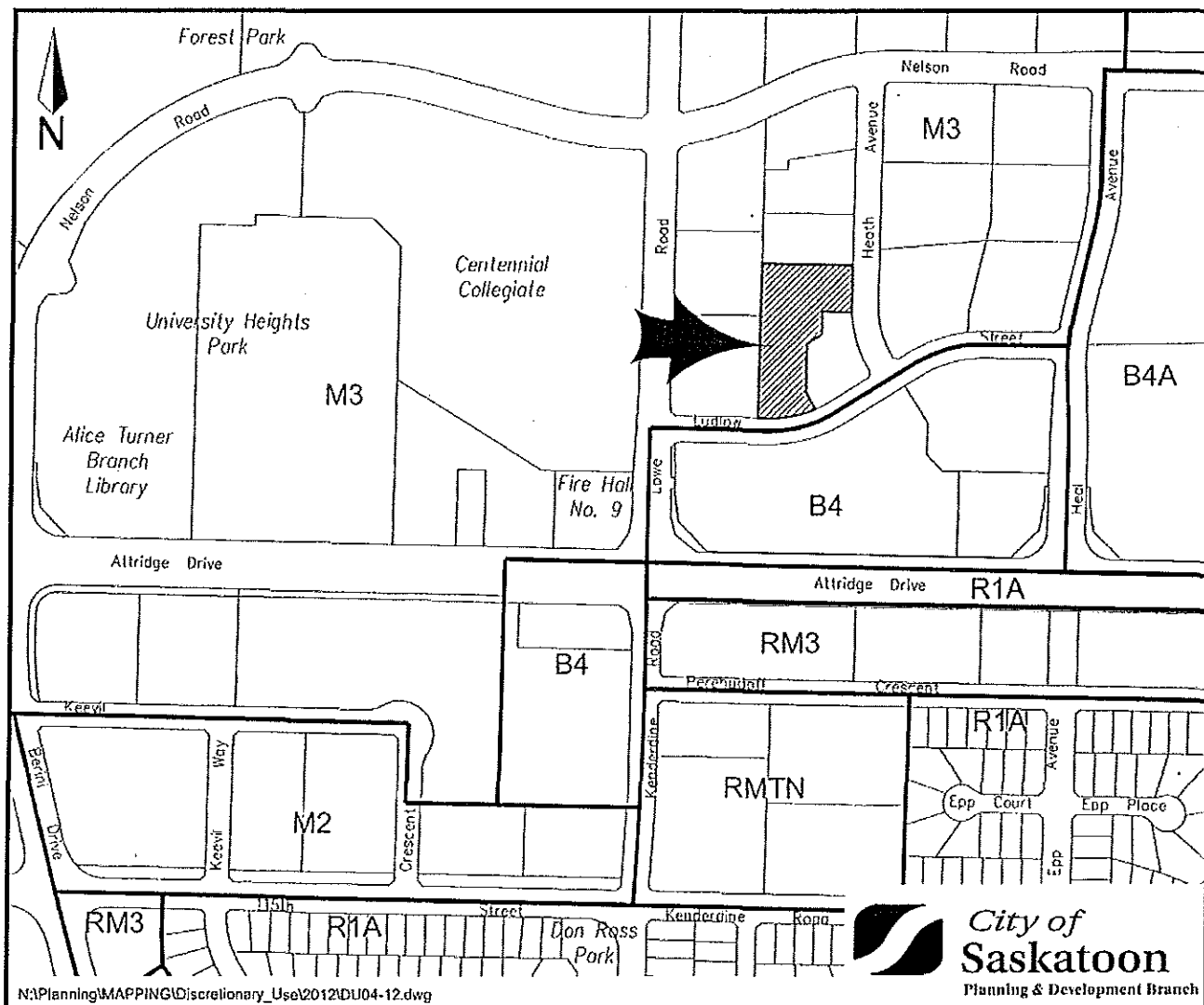
Marlys Bilanski, General Manager
Corporate Services Department

Judy Schlechte
Director of Human Resources

Mike Gutek, General Manager
Infrastructure Services Department

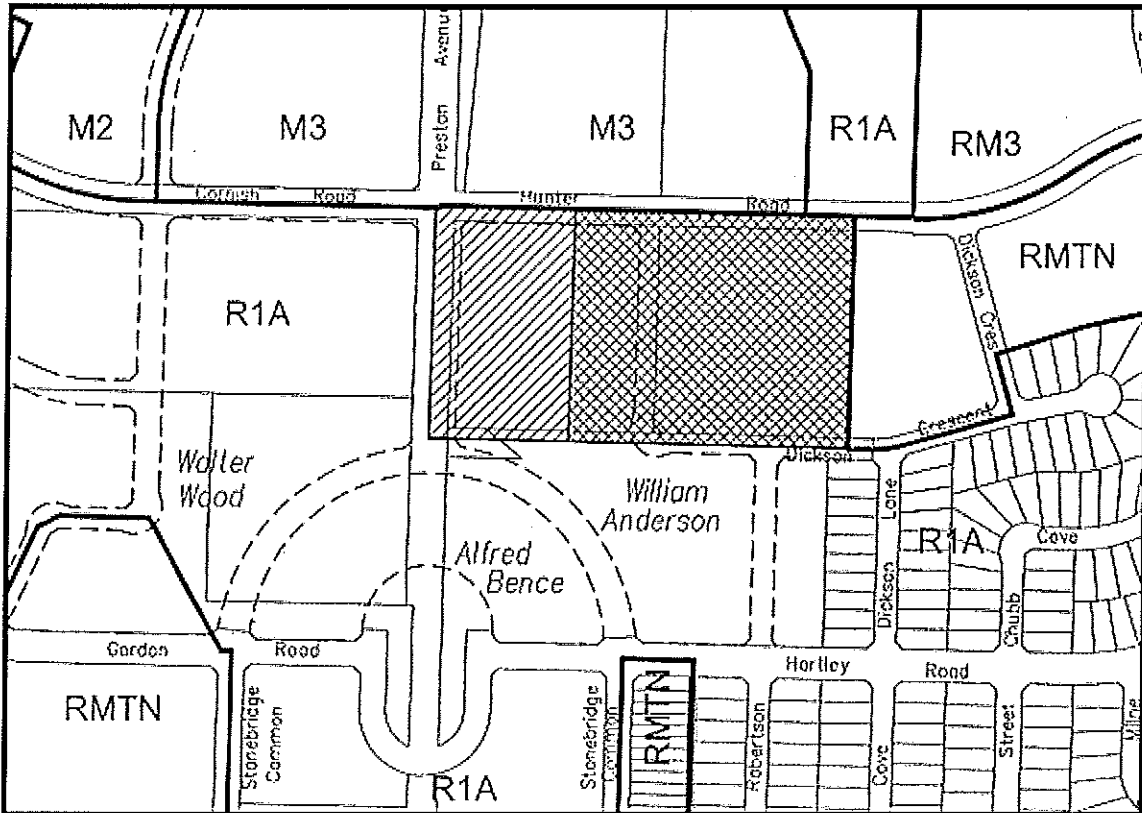
Murray Totland
City Manager

Proposed Discretionary Use No. D4/12



N:\Planning\MAPPING\Discretionary_Use\2012\DU04-12.dwg

Plan of Proposed Rezoning No. Z21/12



PROPOSED REZONING

From R1A to B1B by Agreement



From R1A/RMTN to M3 by Agreement



File No. RZ __-2011

THIS PLAN was prepared by the Surveyor General of Saskatchewan under the authority of the Survey Act, R.S.S. 1978, c. S-24, and the Survey Regulations, S.S. 1978, c. 124. It is hereby certified that the same conform to the requirements of the said Act and Regulations.

M. Smith
 Surveyor General

EXAMINED: CITY OF SASKATOON (City of Part of Sec. 18, 1/4 Sec. 18, 1/4 Sec. 18 & Sec. 18, 1/2 Sec. 18)
 Approved under the provisions of R/S.O. No. 85/17 of the City of Saskatoon.
 City Engineer

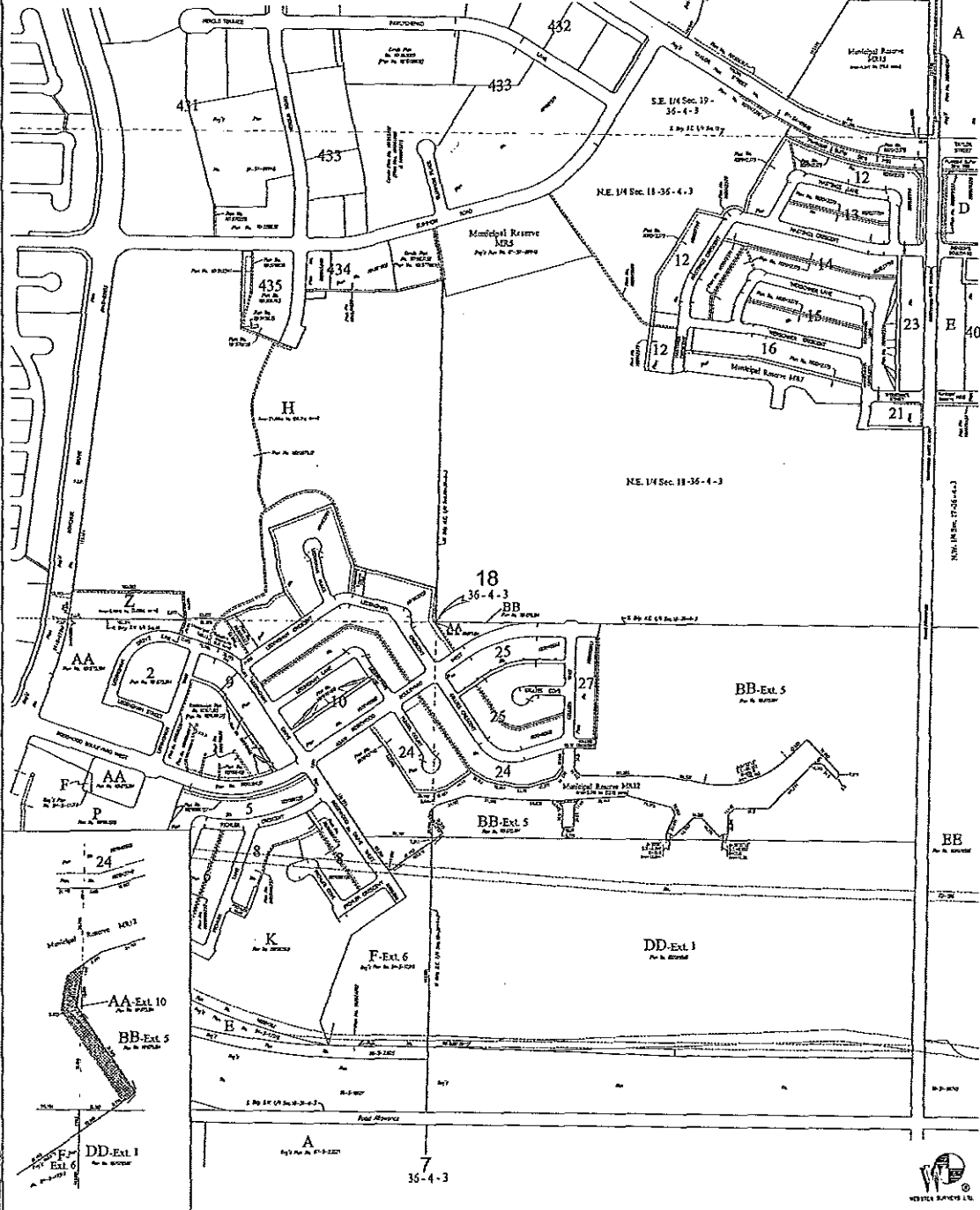
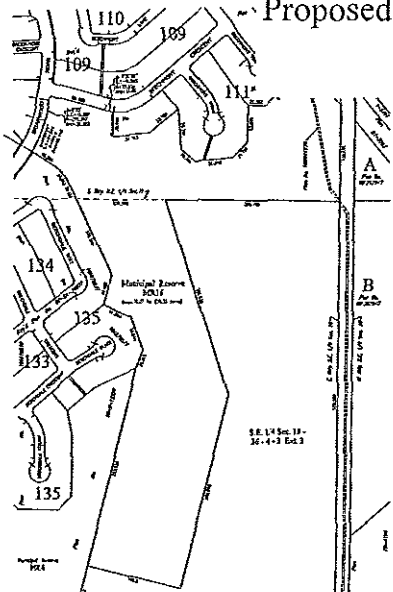
EXAMINED: Royal Lumber Ltd. (Corner of Sec. 18 & 1/4 Sec. 18)
 Approved under the provisions of R/S.O. No. 85/17 of the City of Saskatoon.
 City Engineer

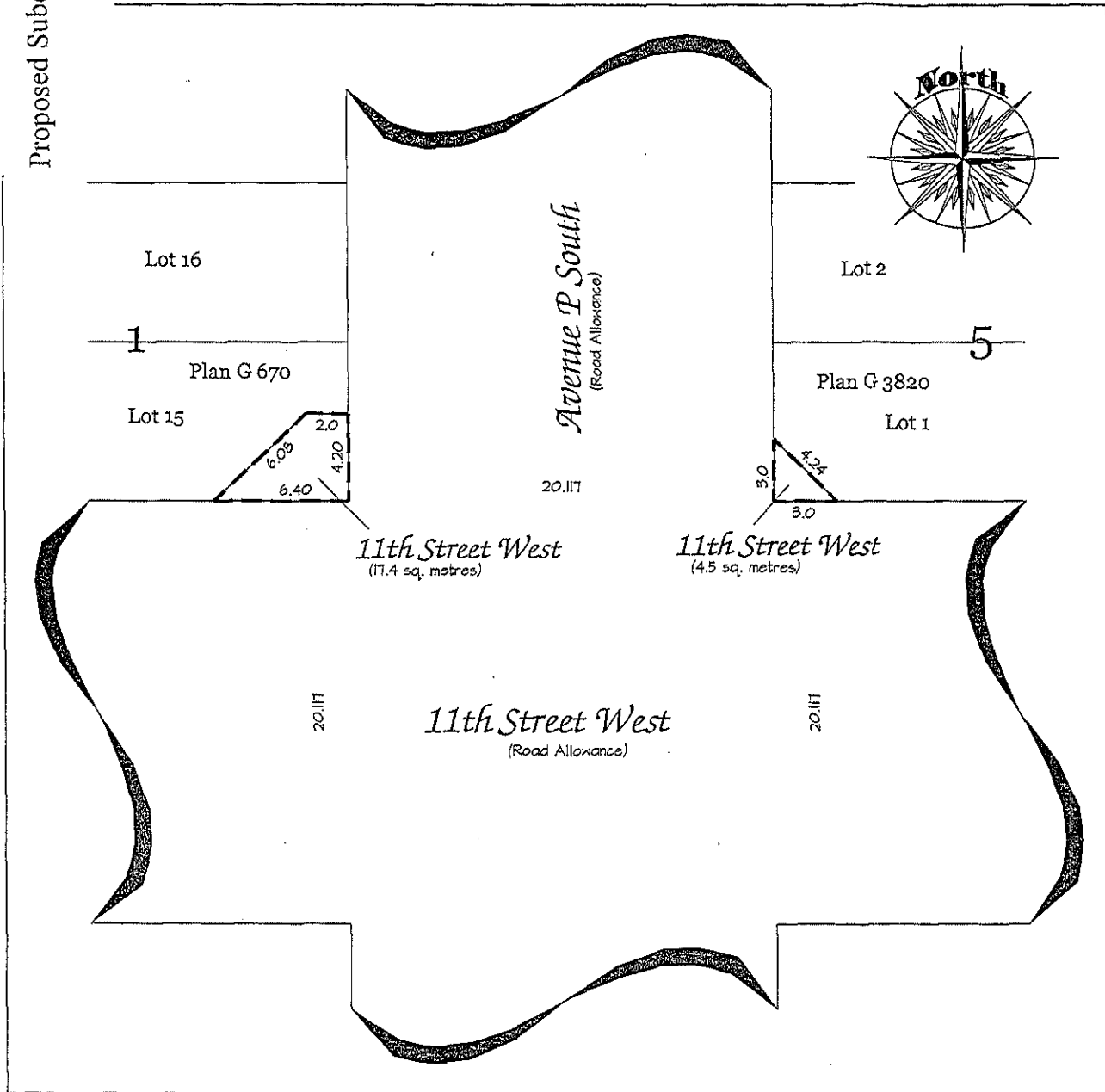
EXAMINED: Federal Land (Corner of Sec. 18 & 1/4 Sec. 18)
 Approved under the provisions of R/S.O. No. 85/17 of the City of Saskatoon.
 City Engineer

EXAMINED: CITY OF SASKATOON
 Approved under the provisions of R/S.O. No. 85/17 of the City of Saskatoon.
 City Engineer

ROSEWOOD
 PROPOSED PLAN OF SURVEY
 SHOWING
 SURFACE SUBDIVISION
 OF PART OF
 PARCEL F, REG'D PLAN NO. 94-S-1731B
 AND PART OF
 PARCEL AA, PLAN NO. 101875394 IN
 S.W. 1/4 SEC. 18
 PART OF
 PARCEL BB, PLAN NO. 101875394
 AND PART OF
 PARCEL DD, PLAN NO. 102028586
 IN
 S.E. 1/4 SEC. 18 AND PARTS OF
 N.E. 1/4 SEC. 18 & E. 1/2 SEC. 19
 AND
 SURFACE CONSOLIDATION
 OF
 MUNICIPAL RESERVE MR3,
 REG'D PLAN NO. 94-S-1731B
 AND PARTS OF
 PARCEL CC, REG'D PLAN NO. 89-S-02055; AND
 N.E. 1/4 SEC. 18
 EVERYTHING IN
 TWP. 36 - RGE. 4 - W. 3rd MER.
 SASKATOON, SASKATCHEWAN
 BY: R.A. WEBSTER, S.L.S.
 MAY 2012
 SCALE 1 : 2,000

NOTE:
 1. In Block, Section, and Plan numbers.
 2. In Block, Section, and Plan numbers.



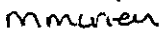


Plan of Proposed Subdivision
of part of Lot 15 - Block 1 - Plan G 670
in SE Sec 30 Twp 36 Rge 5 West 3 Mer
and part of Lot 1 - Block 5 - Plan G 3820
SW Sec 29 Twp 36 Rge 5 West 3 Mer

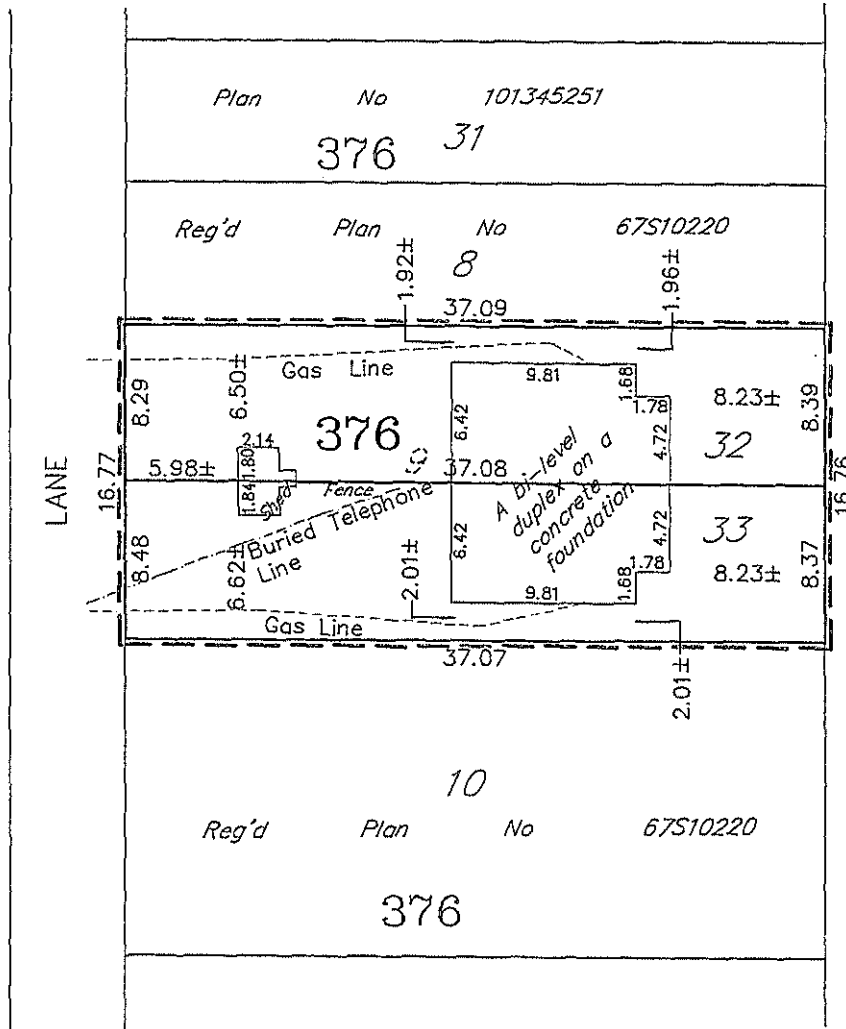
Saskatoon, Saskatchewan

May 2012 AD Scale 1:200

Notes:
All dimensions are in metres and decimals thereof.
Portion to be subdivided is outlined in heavy broken line and contains 0.002 ha.

Land Surveyor

Saskatchewan Land Surveyor

Owner

2928/2926 PRESTON AVENUE

PLAN OF PROPOSED
SUBDIVISION OF
LOT 9, BLOCK 376
REG'D PLAN NO 67S10220
SE 1/4 SEC 15-36-5-3
2926/2928 PRESTON AVENUE
SASKATOON, SASK.
SCALE 1: 400

T.R. Webb August 9th, 2012
Saskatchewan Land Surveyor

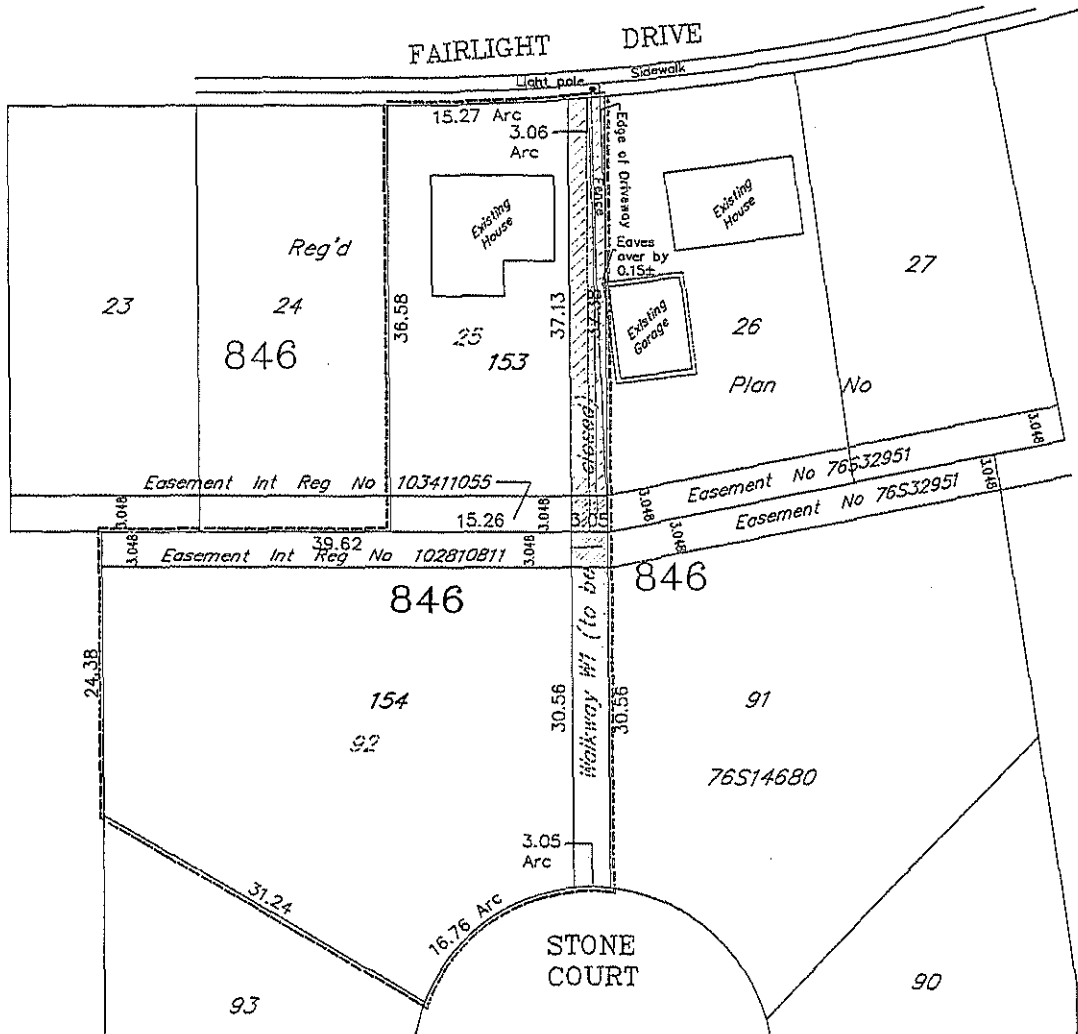
Seal

Dimensions shown are in metres and decimals thereof.
Portion of this plan to be approved is outlined in red with a bold, dashed line and contains 0.06± ha (0.15± ac.).
Dimensions shown are approximate and may differ from the final plan of survey by 0.5± metres.

Approved under the provisions of
Bylaw No. 6537 of the
City of Saskatoon

_____ Date
Community Services Department

Prepared by
 Webb Surveys
12-2346st CAS



PLAN OF PROPOSED
WALKWAY CLOSURE &
SURFACE SUBDIVISION OF
WALKWAY W1
REG'D PLAN NO. 76S07219 &
CONSOLIDATION WITH
LOT 25, BLOCK 846
REG'D PLAN NO 76S14680 &
LOT 92, BLOCK 846
REG'D PLAN NO 76S14680
NE 1/4 SEC 25-36-6-3
SASKATOON, SASKATCHEWAN
BY T.R. WEBB, S.L.S.
SCALE 1:500

Dimensions shown are in metres and decimals thereof.

Portion of this plan to be approved is outlined in red with a bold, dashed line and contains 0.21± ha (0.51± ac.).

Distances shown are approximate and may vary from the final plan of survey by ± 1.0 m

T.R. Webb
T.R. Webb August 9th, 2012
Saskatchewan Land Surveyor

Seal

The City of Saskatoon, Infrastructure Services requires an easement over the entire closed walkway North of the North boundary of Proposed Lot 154

LEGEND

- Buried electrical line
- Buried gas line
- Buried telephone line

- Proposed 3,048 metre Joint-Use (SaskTel, SaskPower) Easement
- Proposed 3,048 metre SaskEnergy Easement

Approved under the provisions of
Bylaw No. 6537 of the
City of Saskatoon

Date
Community Services Department

Prepared by

T.R. Webb
Webb Surveys

© 2012
10-2135cs CAS

Reg'd	17		Reg'd	14
	18	Plan		13
			No.	13
No.	19			12
	20	G3820		36.82
Plan	No. 50	101283476		G3820
Plan	No. 51	101283465		
Reg'd	22			
	13			
	23			
	24	Plan		
	25			
	26			
No.	27			
	28			
	29	G3820		
			Reg'd	36.82
				4
				3
				13
			No.	2
				G3820

LANE
60.96

AVENUE N SOUTH
60.96

PLAN OF PROPOSED
SUBDIVISION OF
LOTS 5, 6, 7, 9, 10, & 11, BLOCK 13
REG'D PLAN NO. G3820 &
LOT 52, BLOCK 13
PLAN NO. 101283487 &
LOT 53, BLOCK 13
PLAN NO. 101283500 &
LOT 54, BLOCK 13
PLAN NO. 101283498 &
LOT 55, BLOCK 13
PLAN NO. 101283511
S.W. 1/4 SEC. 29
TWP. 36, RGE. 5, W. 3RD MER.
809 - 821 AVENUE N
SASKATOON, SASKATCHEWAN
BY T.R. WEBB, S.L.S.
SCALE 1:500

Dimensions shown are in metres and decimals thereof.

Portion of this plan to be approved is outlined in red with a bold, dashed line and contains 0.22± ha (0.55± ac.).

Distances shown are approximate and may vary from the final plan of survey by ± 0.5 m.

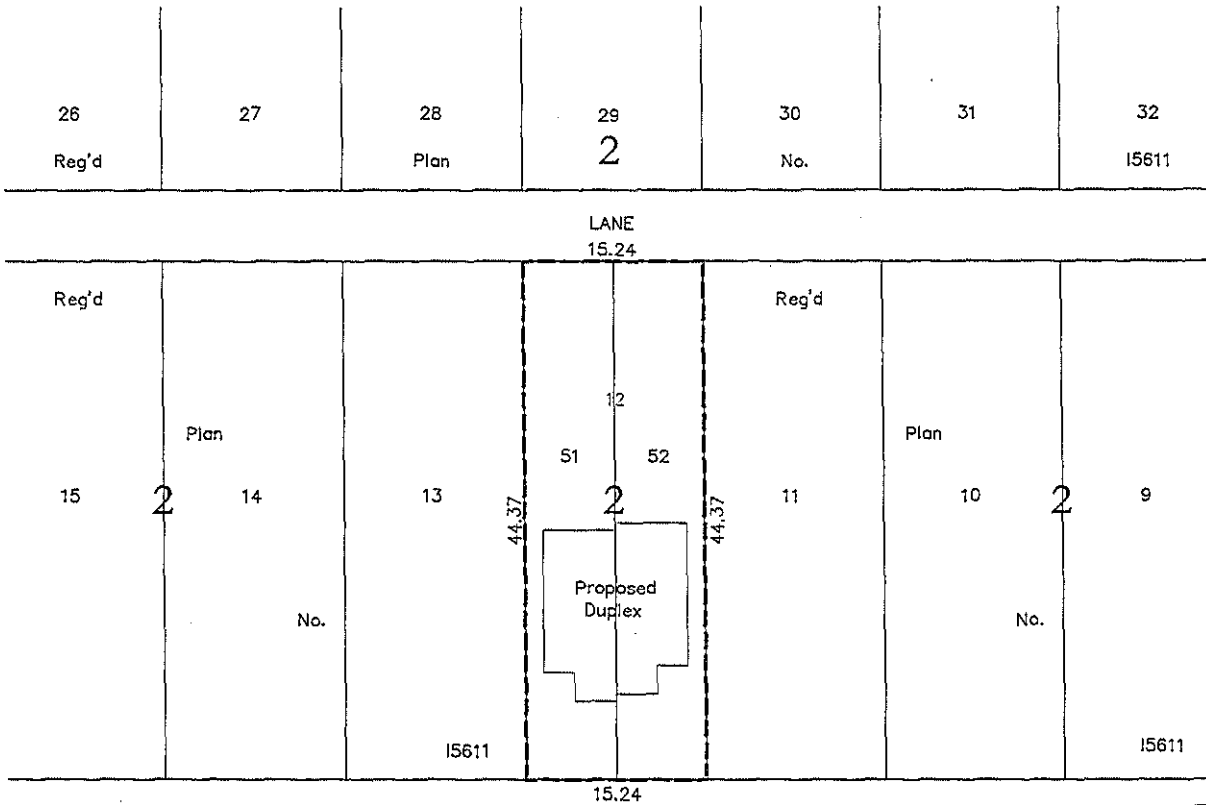
Approved under the provisions of
Bylaw No. 6537 of the
City of Saskatoon

Date _____
Community Services Department

T.R. Webb
T.R. Webb August 15, 2012
Saskatchewan Land Surveyor

Seal

Prepared by
Webb Surveys
© 2012
12-2328sw NLD



PLAN OF PROPOSED
 SUBDIVISION OF
 LOT 12, BLOCK 2
 REG'D PLAN NO. I5611
 S.W. 1/4 SEC. 35
 TWP. 36, RGE. 5, W. 3RD MER.
 118 109TH STREET EAST
 SASKATOON, SASKATCHEWAN
 BY T.R. WEBB, S.L.S.
 SCALE 1:500

Dimensions shown are in metres and decimals thereof.

Portion of this plan to be approved is outlined in red with a bold, dashed line and contains 0.07± ha (0.17± ac.).

Distances shown are approximate and may vary from the final plan of survey by ± 1.0 m

T.R. Webb
 T.R. Webb August 16, 2012
 Saskatchewan Land Surveyor

Seal

109TH STREET EAST

Approved under the provisions of
 Bylaw No. 6537 of the
 City of Saskatoon

 Date
 Community Services Department

Prepared by

 © 2012
 12-2390sp NLD

AZ

Agreement

This Agreement effective the 1st day of September, 2012.

Between:

The City of Saskatoon, a municipal corporation pursuant to the provisions of *The Cities Act*, S.S. 2002, Chapter C-11.1 (the "City")

- and -

***, a non-profit charitable corporation pursuant to the provisions of *The Non-profit Corporations Act, 1995*, S.S. 1995, Chapter N-4.2 (the "Corporation")

Background

- A. The City owns and operates the Gordon Howe Park (the "Park") that includes Gordon Howe Bowl, Bob Van Impe Field, J.F. Cairns Field, Lealos Field, the Clarence Downy Speed Skating Oval, and other ball fields and recreational areas.
- B. The Corporation has for many years utilized the Park.
- C. The City wishes to establish a charitable foundation, the Gordon Howe Sports Foundation, that would seek corporate and individual donations that would be used to improve the Gordon Howe Bowl and the Park.
- D. The projects and the order of the projects that will be completed within Gordon Howe Bowl and the Park are further and better described in the Gordon Howe Park Master Plan, a copy of which is attached to this Agreement for reference as Schedule "A".
- E. The Corporation wishes to play a role and have one or more of its executive officers assume a director role on the Gordon Howe Sports Foundation, and generally assist in the fundraising goals that the Gordon Howe Sports Foundation may establish from time to time.
- F. This Agreement outlines the terms under which the City and the Corporation agree to assist one another with the single goal of improving the Park.

Term

1. The term of this Agreement is three (3) years, commencing September 1, 2012, and ending August 31, 2015 (the "Term").

Goals

2. (1) The parties agree that the Corporation shall put forward to the City the names of ___ individuals that agree to serve as directors on the Gordon Howe Sports Foundation, and in turn, the City shall present these names for approval as directors to City Council.
- (2) The parties agree that the goals for the fundraising projects for the Park shall be as set forth in the Gordon Howe Park Master Plan, a copy of which is attached as Schedule "A" to this Agreement for reference. In particular, the parties agree that the order of the projects shall be as follows: artificial turf football field; lights, score clock, sound system and multi-purpose building for Gordon Howe Bowl; other projects in relation to Gordon Howe Bowl and then other projects in relation to the Park, generally, as further and better described on the enclosed map, a copy of which is attached as Schedule "B" to this Agreement,
- (3) The parties agree to work cooperatively with each other, and with other parties that have agreed to serve on the Gordon Howe Sports Foundation, so that the capital and fundraising goals are established and met, so far as this is practicable.
- (4) In the event a unique logo is created for the Gordon Howe Sports Foundation, the parties agree that the Gordon Howe Sports Foundation shall retain ownership and copyright in any such logo. However, the Corporation shall be granted during the Term of this Agreement an unrestricted, paid up, royalty-free license to use the logo for the benefit of the Corporation or the Gordon Howe Sports Foundation.
- (5) As well, the parties agree that if the Gordon Howe Sports Foundation ceases operations, is wound up, struck, becomes bankrupt, or otherwise stops carrying on business then the logo shall become the property of the City through a donation of the same for the benefit of the Park.

Corporate Control and Oversight

3. (1) During the Term, the Corporation shall remain in good standing with the Saskatchewan regulatory authorities with respect to: corporate status, finance, and workers' compensation.

- (2) During the Term, if a representative of the Corporation that serves on the Gordon Howe Sports Foundation, resigns, is removed, or is no longer able to serve in this capacity, the Corporation shall put forward the name of a replacement.

Construction Projects

4. The parties agree that the City shall organize and arrange for any construction at the Park as a result of the fundraising efforts of the Gordon Howe Sports Foundation, and this shall include managing any requests for proposals or tenders, administering any contracts in relation to the same, and supervising any construction, unless the parties agree otherwise.

Rights of Termination

5.
 - (1) The City may terminate this Agreement upon providing the Corporation with 6 months' prior written notice thereof.
 - (2) The Corporation may terminate this Agreement upon providing the City with 6 months' prior written notice thereof.

Waiver and Indemnity

6.
 - (1) The Corporation shall not be liable for or in any way be responsible to the City or the Gordon Howe Sports Foundation for:
 - (a) any death or injury of any person arising from any occurrence relating to fundraising for the Park;
 - (b) any loss of or damage howsoever caused to the property of the other parties; and
 - (c) any loss to, injury or damage suffered by the City or the Gordon Howe Sports Foundation or other persons which is in the nature of direct or indirect or consequential loss, injury, or damage of any nature except to the extent that the same is caused by the negligence of the Corporation.
 - (2) The City shall be responsible for any damages to the Corporation or any member of the public for any act or omission done or caused by the City. The City shall at all times hereinafter save, defend and hold harmless and fully indemnify the Corporation from and against any and all claims, demands, losses, costs, charges, damages and expenses whatsoever that

may in any way arise in connection with the fundraising for or construction projects undertaken at the Park.

General Terms and Conditions

7. (1) Nothing contained in this Agreement shall create any relationship between the parties other than that of fundraising partners, and, without limitation, nothing in this Agreement shall be construed to constitute the City and the Corporation as partners, joint venturers or members of a joint or common enterprise.
- (2) Any notice, demand, statement or request ("Notice") required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been duly given if personally delivered, delivered by courier or mailed by registered prepaid post, in the case of notice to the City, to it at the address set out in this Section and in the case of notice to the Corporation, to it at its offices set forth below. Notice may be given by facsimile transmission, electronic mail or any other electronic communication.
- (3) Any such Notice given in accordance with the above requirements shall be deemed to have been given, if mailed, on the fifth day following the date of such mailing or, if delivered, on the day on which it was delivered so long as such delivery was prior to 5:00 p.m. on a Business Day (and, if after 5:00 p.m. or if any such day is not a Business Day, then it shall be deemed to have been delivered on the next Business Day). Either party may, from time to time by Notice, change the address to which Notices to it are to be given. Notwithstanding the foregoing, during any interruption or threatened interruption in postal services, any Notice shall be personally delivered or delivered by courier.

To the City:

The City of Saskatoon
Office of the City Solicitor
222 Third Avenue North
Saskatoon SK S7K 0J5
Fax No. (306) 975-7828

To the Corporation

Saskatoon SK
Fax No. (306)

- (4) The City and the Corporation represent and warrant to each other that they have the power, capacity and authority to enter into this Agreement and to perform its obligations hereunder and that there are no covenants, restrictions or commitments given by it which prevent or inhibit it from entering into this Agreement.
- (5) The laws of the Province of Saskatchewan shall apply and bind the parties in any and all questions pertaining to this Agreement.

The City of Saskatoon

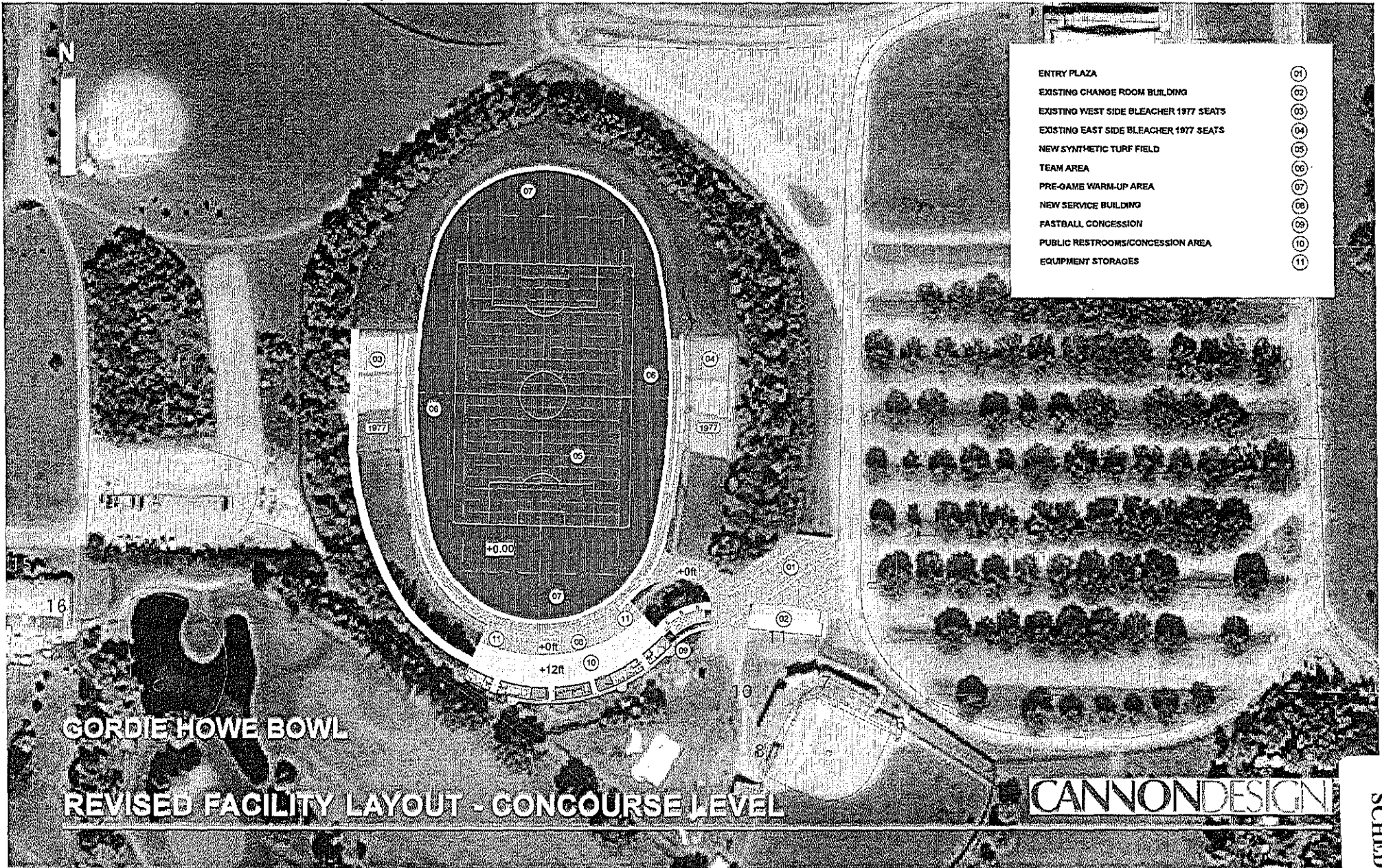
Mayor

c/s

City Clerk

Corporation

c/s



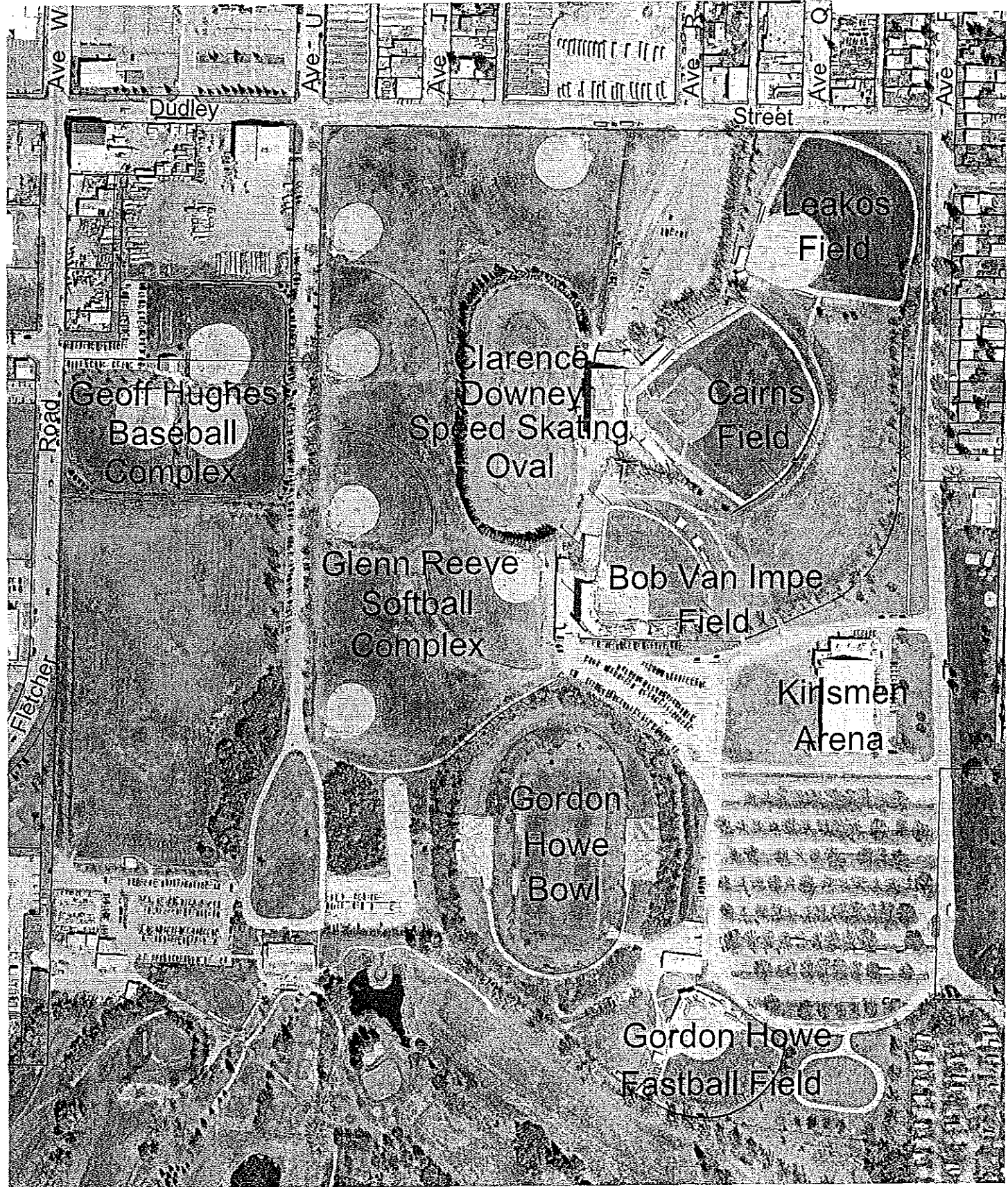
- 01 ENTRY PLAZA
- 02 EXISTING CHANGE ROOM BUILDING
- 03 EXISTING WEST SIDE BLEACHER 1977 SEATS
- 04 EXISTING EAST SIDE BLEACHER 1977 SEATS
- 05 NEW SYNTHETIC TURF FIELD
- 06 TEAM AREA
- 07 PRE-GAME WARM-UP AREA
- 08 NEW SERVICE BUILDING
- 09 FASTBALL CONCESSION
- 10 PUBLIC RESTROOMS/CONCESSION AREA
- 11 EQUIPMENT STORAGES

GORDIE HOWE BOWL

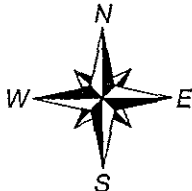
REVISED FACILITY LAYOUT - CONCOURSE LEVEL

CANNON DESIGN

SCHEDULE A

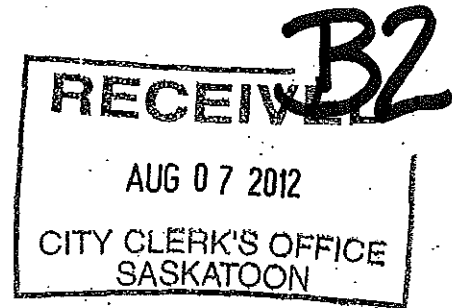


Gordie Howe Park



City of Saskatoon
Community Services
Planning & Development Branch

NOTE: The information contained on this map is for reference only and not to be used for legal purposes. This map may not be reproduced without the expressed written consent of Community Services - Future Growth, Mapping & Research Section.
DRAWING NOT TO BE SCALED
August 21, 2012



1224 Ontario Ave
Saskatoon, SK S7K 1S5
Office 306-664-5244
Fax: 306-664-6477

August 7, 2012

To: Janice Mann (City Clerk)

Honorable Don Atchison and All Members of City Council

We are writing this letter in regard to the issuance of wheel chair accessible plates in the city of Saskatoon to the three taxi companies i.e. United Cabs, Comfort Cabs and Radio Cabs. At present United Cab has four wheel chair plates with approximately 80 taxis and Radio Cabs has four wheel chair plates with approximately 20 taxi plates. On the other hand, Comfort Cabs has only two wheel chair plates with a taxi fleet of approximately 65 vehicles.

This past fall when the city of Saskatoon was issuing seasonal plates, city administration decided that the number of plates issued was going to be four plates for United Cab, four plates for Comfort Cab and two plates for Radio Cab.

However, the manager of Radio Cab approached city Council and argued that each company should be treated the same, regardless of how many taxi plates each company had. Council decided to grant each company four plates. At that time Comfort Cab agreed with the proposal. Unfortunately the same formula was not implemented when Comfort Cabs applied for wheel chair accessible taxi plates in 2009.

The fact of not having the same number of wheel chair plates as the other two companies is not only increasing the waiting time for our wheel chair customers, but we are also risking losing our regular taxi business. As a customer will not use our regular taxi service if their loved ones who are bound to a wheel chair are not served in a timely manner.

We feel that Comfort Cabs did not get their share of the wheel chair plates, and therefore we are requesting that you grant us an additional two wheel chair plates, so all three companies can have an equal number of wheel chair plates. Comfort Cabs is a rapidly expanding and well respected company that has won the consumer choice award three times in a row. We are extremely proud of the reputation we have developed, and hope that council will consider our request and grant us two additional wheel chair plates as soon as possible.

We thank you for your time and kind consideration.

requesting to speak

✓ James Frie, Khodr Bardouh and Marwan Bardouh (Owners of Comfort Cabs Ltd)

Ride in Comfort!

Taxi License Statistics

as at August 24, 2012

		<u>Regular Taxis</u>				
		<u>Radio</u>	<u>United</u>	<u>Elegant</u>	<u>Comfort</u>	<u>Total</u>
2006	January	51	109			160
2007	January	50	109		1	160
2008	January	53	106		1	160
2009	January	53	107			160
	September	45	62		53	160
2010	January	44	61		55	160
2011	January	37	64		59	160
2012	January	34	64		62	160
	August	22	75		63	160

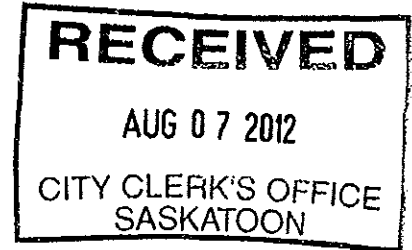
		<u>Permanent Accessible Licenses (approved in early 90s)</u>			
		<u>Radio</u>	<u>United</u>	<u>Comfort</u>	<u>Total</u>
2006	January	2	3		5
2007	January	2	3		5
2008	January	2	3		5
2009	January	2	3		5
	September	2	3		5
2010	January	2	3		5
2011	January	2	3		5
2012	January		3	2	5
	August		5		5

		<u>Temporary Accessible Licenses</u>			
		<u>Radio</u>	<u>United</u>	<u>Comfort</u>	<u>Total</u>
2006	January	1	2		3
2007	January	2	3		5
2008	January	2	3		5
2009	January	2	3		5
	September	2	3		5
2010	January	4	5	2	11
2011	January	4	5	2	11
2012	January	4	5	2	11
	August	4	5	2	11

2004 3 approved as per joint request of United & Radio Cabs
2006 2 approved as per joint request of United & Radio Cabs
2009 6 approved as per request of United, Radio & Comfort Cabs

02 August 2012

Office of the City Clerk
2nd Floor, City Hall
222 3rd Ave. North
Saskatoon, SK S7K 0J5



Dear His Worship the Mayor and Members of City Council,

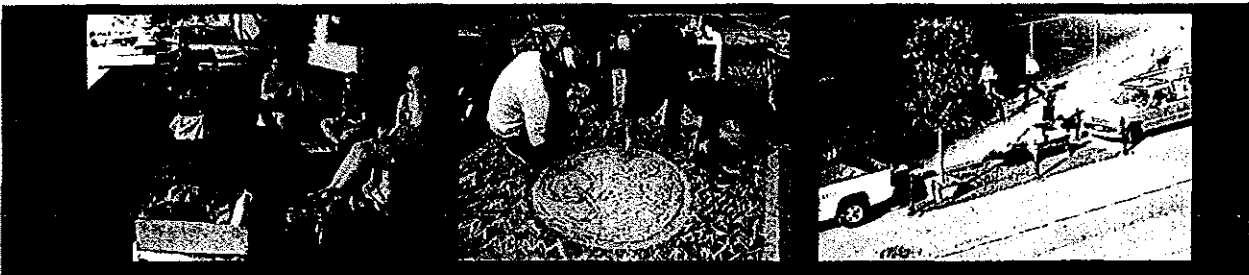
I am writing to request traffic lane closures to facilitate an exciting community event in Riversdale and Broadway this September called **Our Saskatoon**. I have outlined our request below and also included some background information on **Our Saskatoon** to convey the larger context of the event.

REQUEST

Our Saskatoon wants to demonstrate a Complete Streets concept, where streets facilitate a number of transportation alternatives: cars, bikes, public transportation and foot traffic. To this end, we are working with Saskatoon Cycles to bring safe bike traffic to 20th Street on Friday, September 21. We are requesting the closure of two traffic lanes to create bike lanes on 20th Street between Avenue B and Avenue C.

Currently, biking on 20th Street is prohibitive because of the street width and priority given to cars. During **Our Saskatoon**, we want to demonstrate that proper bike lanes make cycling an attractive and safe alternative to driving. By closing down two lanes of traffic, we can work with Saskatoon Cycles and the City of Saskatoon to create a viable option for travel along 20th Street for the day.

We have considered requesting the closure of the entire block for the day. However, **Our Saskatoon** is focused on creating activities and installations that demonstrate real, long-term opportunities for urban planning. 20th Street is an important roadway for car traffic, and our intention is not to disrupt but augment that with other options for transportation.



ABOUT OUR SASKATOON

On Friday, September 21 2012, people around the world will participate in Park(ing) Day, an annual event where designers, citizens and businesses transform metered parking spots into temporary public parks. In 2011, Park(ing) Day had 975 parks created in 162 cities and 35 countries. In 2012, **Our Saskatoon** will participate in this global movement with a local demonstration that transforms Riversdale into a world-class example of sustainability and creativity.

On Thursday, Sept 20 **Our Saskatoon** begins with a kick-off event at Broadway Theatre, featuring art performances, guest speakers Ken Greenberg and Allan Wallace, and Park(ing) Day demonstrations.

Park(ing) Day begins on Fri, September 21 with metered parking spots transformed into public parks around the University, Broadway and Riversdale.

In Riversdale, a range of activities will position the neighborhood as a sustainable, bike-friendly complete street where community and business thrive. These activities include:

- The parking lot at 20th Street and Avenue B will be transformed into a public square with green space & public seating. The public square will feature:
 - Buskers, dancers and visual artists
 - Public games (bocci and horseshoes)
 - Graffiti wall, with professional artists mentoring youth
 - Storytelling
 - Yoga classes by Hot Yoga on 20th
 - Installation by the Saskatoon Engineering Students' Society. They will bring a real-life recreation of the Park(ing) Day logo: an upside down car with a garden on top
 - Movie night projection after sundown
- Popup retail stores showcasing local fashion (Saskatoon Fashion and Design Festival) and art (The Stall Gallery), with music and bar in the evening
- Farmer's Market activities
- A MIXED MEDIA 3 party at the Two Twenty that evening featuring DJs, bar and food


Collectively, these activities demonstrate that in healthy communities, streets are not just intended for moving cars. They are critical community hubs that serve as focal points of commerce and culture, where people shop, dine, stroll, play, and meet. Streets that are conducive to walking, biking, public transportation *and* cars, move more people, more efficiently and at a lower cost than typical car-oriented roads.

Our Saskatoon is an expression of conversations that are shaping the city—from Saskatoon Speaks, to the City of Saskatoon's Culture Plan, and Great Places events. Our citizens, businesses and organizations are talking about our future as a sustainable, creative city with a high quality of life that attracts residents, business and investment. With the support of His Worship the Mayor and Members of City Council, we are confident **Our Saskatoon** will help our community realize its full potential.

Following is a list of the partners who have committed to participating in **Our Saskatoon**: Saskatoon Cycles, Saskatoon Fashion & Design Festival, the Two Twenty, deezine.ca, Mix & Match Marketplace, Stunn Collective, Parviz Yazdani, SKARC, AODBT, Saskatoon Engineering Students' Society, Hot Yoga on 20th, Village Guitars & Amp Co., Nutana Community Association, Broadway BID, Riversdale BID, Broadway Theatre, Stantec, Road Map Saskatoon, Meewasin Valley Authority, Great Places, U of S Regional and Urban Planning Program, The Stall Gallery, Mane Productions, Susan Busse

Please let me know if you require more information. I look forward to hearing from you.

Sincerely,



Carrie Catherine
Our Saskatoon Event Organizer

Highlights of the 2011 Report on Service, Savings and Sustainability

Awards and Recognition

Nine out of Ten Think Saskatoon is a Great Place to Live - In the 2011 edition of *Canada's Pulse*, a nation-wide Global News/Ipsos Reid poll exploring people's opinions on a wide range of issues, nine out of ten Saskatonians (94%) said their city is a great place to live.

First in Business Friendliness - In the Canadian Federation of Independent Business (CFIB) annual *Communities in Boom* survey, Saskatoon was ranked Canada's number one most business-friendly city. This is the third consecutive top three ranking out of 100 Canadian cities, and it demonstrates Saskatoon's growing recognition as an "entrepreneurial hot spot".

Improving our Service

Building Permits Hit All Time High - In 2011, 4,651 building permits were issued, the highest number ever issued in the City's 104-year history of issuing permits.

Civic Services Review Completed - The Civic Services Review was completed to ensure that the City is delivering the programs and services its citizens want and need as efficiently and effectively as possible, while encouraging continuous service improvement.

Clean Up of Public Areas - Saskatoon Fire and Protective Services and the Saskatoon Provincial Correctional Centre Urban Camp partnered to clean up and maintain public property such as boulevards, alleys, and crosswalks.

Increasing our Savings - by approximately \$9.3 Million and \$15 Million in deferred costs.

Safety Reduces Insurance Premiums - The number of work-related injuries resulting in time away from work reduced from 7,400 in 2008 to 3,100 in 2011, reducing the costs in Workers Compensation Board costs from \$1.9 million in 2008 to \$1.1 million in 2011.

Saskatoon Transit Refurbishes Buses Instead of Purchasing New - Saskatoon Transit purchased 12 used buses and refurbished them for a total cost of approximately \$600,000. The cost to purchase 12 new buses is approximately \$7.2 million.

Bypass Pumps Installed at Spadina Lift Station - Deferring the need for a new \$15 million lift station.

Growing our City in a Sustainable Way - The City's various environmental programs help reduce greenhouse gas emissions (GHG) by approximately 140,000 tonnes CO₂e (carbon dioxide equivalent) annually, the equivalent of removing 27,000 cars from the road.

Evergreen Neighbourhood - Using sustainability practices including:

- Dark sky compliant LED street lighting.
- Natural features in landscaping.
- Alternative storm water management techniques.
- Incentives to promote the building of Energy Star compliant new homes.
- The program of distributing free rain barrels, composters, and Saskatoon berry bushes, to lot purchasers in the neighbourhood to encourage new residents to conserve water, and reduce waste generation.

Reducing Landfill Methane Emissions - Landfills are one of the largest sources of human-caused methane emissions; as solid waste decomposes, gases are produced and emitted into the atmosphere. A clay cover was installed over part of the existing landfill to prevent gases within the waste from being emitted into the atmosphere. The Landfill Gas Collection system is expected to result in a reduction of Greenhouse Gas Emissions of over 45,000 tonnes annually (comparable to removing 9,000 vehicles from our roadways).

His Worship the Mayor and City Council
The City of Saskatoon

LEGISLATIVE REPORTS

Section A – OFFICE OF THE CITY CLERK

A1) City Council Meeting Schedule – 2013
(File No. CK. 255-1)

RECOMMENDATION: that City Council approve the attached schedule for City Council and Executive Committee meetings in 2013.

Attached is a schedule of recommended meeting dates in 2013.

The highlights of this schedule are:

- No meetings the week of February 3 (SUMA)
- No meetings the week of February 18 (week of Family Day)
- No meetings week of April 1 (Easter)
- No meetings the week of June 3 (FCM)
- Only one Council meeting in July and August, held on Wednesday so that reports from Committees can be submitted
- No meetings held weeks of December 23 and 30 (Christmas/New Year)

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

ATTACHMENT

1. 2013 City Council Meeting Schedule

Section B – OFFICE OF THE CITY SOLICITOR

- B1) Proposed Limited Residential Parking Program
J.J. Thiessen Crescent, Terrace and Way and
O'Brien Crescent, Court and Terrace
(File No. CK. 6120-4-2)**
-

RECOMMENDATION: that City Council consider proposed Bylaw No. 9058.

City Council, at its meeting held on August 15, 2012, adopted Clause E1, Administrative Report No. 12-2012 and instructed the City Solicitor to prepare an amendment to Bylaw No. 7862, The Residential Parking Program Bylaw, 1999, to remove the 200 Block of O'Brien Court and the 300 Block of O'Brien Terrace from the Limited Residential Parking Permit Program.

Subsequently, our Office confirmed with Infrastructure Services Department that their request to remove the 300 Block of O'Brien Terrace was in error. It was their intention to request the removal of the 300 Block of O'Brien Crescent, consistent with the body of Administrative Report No. 12-2012 and the map attached to that report.

The attached Bylaw makes the required amendment to the Bylaw.

PUBLIC NOTICE

Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.

ATTACHMENTS

1. Proposed Bylaw No. 9053, *The Residential Parking Program Amendment Bylaw, 2012 (No. 2)*.
2. Copy of Clause E1, Administrative Report No. 12-2012.

Respectfully submitted,

Janice Mann, City Clerk

Theresa Dust, City Solicitor

January 2013						
S	M	T	W	T	F	S
		X	2	3	4	5
6	7 C	8	9	10	11	12
13	14 E	15	16	17	18	19
20	21 C	22	23	24	25	26
27	28 E	29	30	31		

February 2013						
S	M	T	W	T	F	S
					1	2
3 SUMA	4 SUMA	5 SUMA	6 SUMA	7	8	9
10	11 C	12	13	14	15	16
17	X	19	20	21	22	23
24	25 E	26	27	28		

March 2013						
S	M	T	W	T	F	S
					1	2
3	4 C	5	6	7	8	9
10	11 E	12	13	14	15	16
17	18 C	19	20	21	22	23
24	25 E	26	27	28	X	30
31						

April 2013						
S	M	T	W	T	F	S
	X	2	3	4	5	6
7	8 C	9	10	11	12	13
14	15 E	16	17	18	19	20
21	22 C	23	24	25	26	27
28	29 E	30				

May 2013						
S	M	T	W	T	F	S
			1	2	3	4
5	6 C	7	8	9	10	11
12	13 E	14	15	16	17	18
19	X	21 C	22	23	24	25
26	27 E	28	29	30	31 FCM	

June 2013						
S	M	T	W	T	F	S
						1 FCM
2 FCM	3 FCM	4	5	6	7	8
9	10 C	11	12	13	14	15
16	17 E	18	19	20	21	22
23	24 C	25	26	27	28	29
30						

July 2013						
S	M	T	W	T	F	S
	X	2	3	4	5	6
7	8	9	10	11	12	13
14	15 E	16	17 C	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

August 2013						
S	M	T	W	T	F	S
				1	2	3
4	X	6	7	8	9	10
11	12 E	13	14 C	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

September 2013						
S	M	T	W	T	F	S
1	X	3 E	4	5	6	7
8	9 C	10	11	12	13	14
15	16 E	17	18	19	20	21
22	23 C	24	25	26	27	28
29	30 E					

October 2013						
S	M	T	W	T	F	S
		1	2	3	4	5
6	7 C	8	9	10	11	12
13	X	15 E	16	17	18	19
20	21 C	22	23	24	25	26
27	28 E	29	30	31		

November 2013						
S	M	T	W	T	F	S
					1	2
3	4 C	5	6	7	8	9
10	X	12 E	13	14	15	16
17	18 C	19	20	21	22	23
24	25 E	26	27	28	29	30

December 2013						
S	M	T	W	T	F	S
1	2 C	3 Budget	4 Budget	5	6	7
8	9 E	10	11	12	13	14
15	16 C	17	18	19	20	21
22	23	24	X	X	27	28
29	30	31				

Notes

C = City Council Meetings

E = Executive Committee @ 1:00 p.m.
July/August - Executive @ 9:00 a.m.

X = Holiday - City Hall Closed

P&O/A&F - Planning and Operations and Administration and Finance Committees - July/August @ 12:00 noon

SUMA - February 3 - 6 (Saskatoon)

FCM - May 31 - June 3 (Vancouver)

No meetings February 18th week (Family)

No meetings April 1st week (Easter)

Budget - December 3 and 4

A1

Attachment 1.

31

BYLAW NO. 9058

The Residential Parking Program Amendment Bylaw, 2012 (No. 2)

The Council of The City of Saskatoon enacts:

Short Title

- 1. This Bylaw may be cited as *The Residential Parking Program Amendment Bylaw, 2012 (No. 2)*.

Purpose

- 2. The purpose of this Bylaw is to amend *The Residential Parking Program Bylaw, 1999* to remove the 200 Block of O'Brien Court and the 300 Block of O'Brien Crescent from the Limited Residential Parking Permit Program.

Bylaw No. 7862 Amended

- 3. *The Residential Parking Program Bylaw, 1999* is amended in the manner set forth in this Bylaw.

Schedule "B" Amended

- 4. Schedule "B" is repealed and the schedule marked as Schedule "A" to this Bylaw is substituted therefor.

Coming into Force

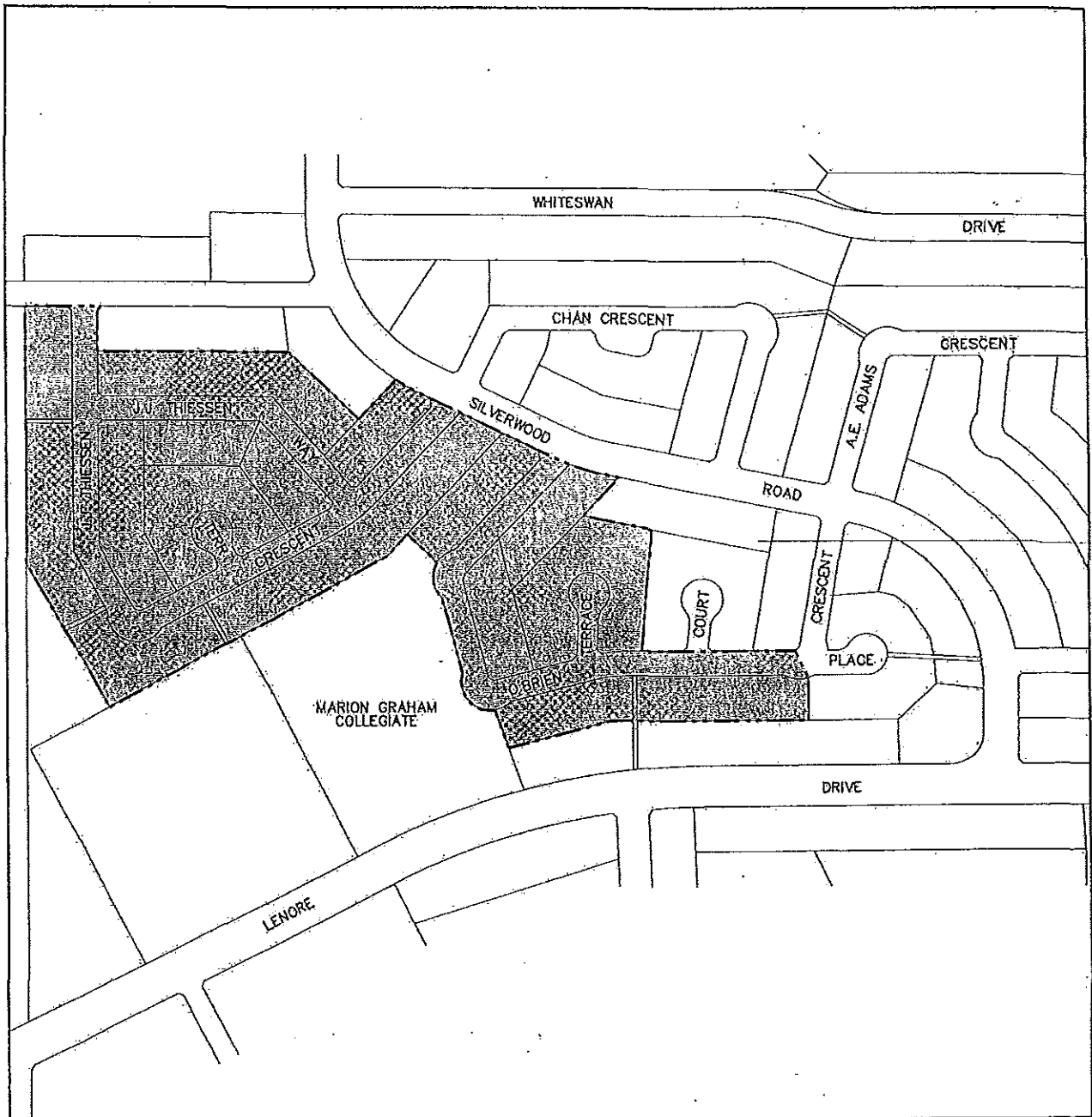
- 5. The Bylaw shall come into force on the day of its final passing.

Read a first time this	day of	, 2012.
Read a second time this	day of	, 2012.
Read a third time and passed this	day of	, 2012.

Mayor

City Clerk

Schedule "A" to Bylaw No. 9058



J.J. Thiessen Limited Residential Parking Permit Zone



Streets Designated as the J.J. Thiessen Limited Residential Parking Zone

- J.J. Thiessen Crescent: 100 & 200 Blocks
- J.J. Thiessen Terrace: 200 Block
- J.J. Thiessen Way: 300 Block
- O'Brien Crescent: 100 & 200 Blocks
- O'Brien Terrace: 200 Block

- One hour time restrictions
- Effective Monday to Friday
- Parking Permits valid September to June



280-0001-001r003
Revised: 2012-04-30

Schedule B - Bylaw # 7862

following is a copy of Clause E1, Administrative Report No. 12-2012 which was ADOPTED by City Council at its meeting held on August 15, 2012:

Section E – INFRASTRUCTURE SERVICES

**E1) Proposed Limited Residential Parking Program
J.J. Thiessen Crescent, Terrace and Way
and O'Brien Crescent, Court and Terrace
(Files CK. 6120-4-2 and IS. 6120-6)**

- RECOMMENDATION:**
- 1) that the 200 Block of O'Brien Court and the 300 Block of O'Brien Terrace be removed from the Limited Residential Parking Permit Program; and
 - 2) that the City Solicitor be requested to prepare the necessary amendments to Bylaw 7862, The Residential Parking Program Bylaw, 1999, for approval by City Council.

BACKGROUND

City Council, at its meeting held on November 8, 2010, considered a report of the General Manager, Infrastructure Services, dated October 18, 2010, regarding the establishment of a Limited Residential Parking Program on J.J. Thiessen Crescent, Terrace and Way and O'Brien Crescent, Court and Terrace. Council resolved, in part:

“that the Administration report back to the Planning and Operations Committee in six months time with respect to implementation of the Limited Residential Parking Permit Program under the Residential Parking Permit Policy.”

REPORT

The Limited Residential Parking Permit (LRPP) Program was implemented on September 1, 2011, and has been in effect for almost one year. Forty-three residential permits have been sold to date, generating \$580 in revenue. A supply of permits for the upcoming year is available for distribution commencing August 1, 2012.

A recent visit to the area showed that 32 vehicles were parked on the street, of which 26 were displaying a permit.

As outlined in Policy A07-014 - Administration of Residential Parking Permits, enforcement in a LRPP occurs in response to complaints. During the course of the year, Parking Enforcement responded to 12 complaints of vehicles being parked in violation, with 14 citations being issued. Since its implementation, petitions have been received from the residents on the 200 Block of O'Brien Court and the 300 Block of O'Brien Crescent, requesting to be removed from the program. Both blocks have residential frontage. In order to determine the impact of removal of these blocks, the signs were covered in November 2011. To date, no complaints have been received regarding transient parking on these two blocks. The Administration is, therefore, recommending the formal removal of the 200 Block of O'Brien Court and the 300 Block of O'Brien Crescent from the LRPP in this area, as outlined in the attached plan.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

COMMUNICATIONS PLAN

The residents included within the boundaries of the program will be advised of the changes to the parking restrictions.

POLICY IMPLICATIONS



Removal of the blocks from the LRPP in this area, as outlined in this report, are consistent with Policy A07-014 - Administration of Residential Parking Permits and Policy C07-014 - Residential Parking Permit Program.

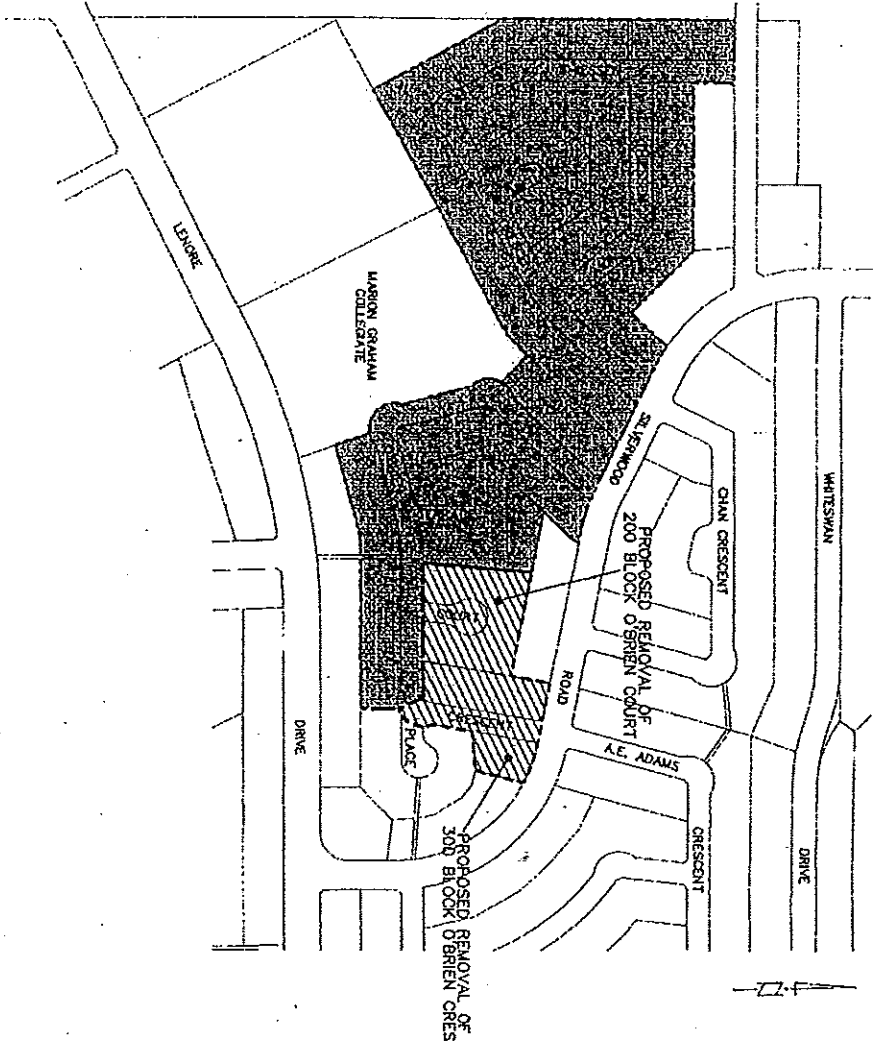
PUBLIC NOTICE


Public Notice pursuant to Section 3 of Policy C01-021, Public Notice Policy, is not required.

ATTACHMENT

1. Plan 260-0001-001r002 – J.J. Thiessen and O'Brien Limited Residential Parking Permit Program.

 PERMIT ZONE
 PROPOSED PERMIT ZONE ADDITION/REMOVAL



<p>  City of Saskatoon Infrastructure Services Department </p>	<p> RESIDENTIAL PARKING PERMIT ZONE J.L. THIESSEN </p>	<p> DATE: 2/20/2021 TIME: 10:00 AM 260-0001-301662 </p>
<p> CONTRACTOR & DESIGN TRANSCRIPTION Aglartuk July 2012 </p>	<p> FIELD WORKS OFFICE OFFICE </p>	<p> DATE: 2/20/2021 TIME: 10:00 AM 260-0001-301662 </p>

His Worship the Mayor and City Council
The City of Saskatoon

REPORT

of the

PLANNING AND OPERATIONS COMMITTEE

Composition of Committee

Councillor C. Clark, Chair
Councillor P. Lorje
Councillor R. Donauer
Councillor B. Dubois
Councillor M. Loewen

1. Heritage Policy and Program Review – Final Report
(File No. CK. 710-1 and PL. 710-8)

RECOMMENDATION: that the information be received.

Attached is a report of the General Manager, Community Services Department dated July 30, 2012, providing the Heritage Policy and Program Review Final Report dated July 2012.

Your Committee has reviewed the report with the Administration and the Consultant, Mr. Donald Luxton, and is forwarding the report to City Council for information. The Administration will be preparing an implementation strategy for the Heritage Policy and Program Review and will be reporting further to the Planning and Operations Committee and the Municipal Heritage Advisory Committee.

City Council Members have already received copies of the Final Report. A copy is available on the City's website www.saskatoon.ca as part of this report.

Respectfully submitted,

Councillor C. Clark, Chair

/.

TO: Secretary, Planning and Operations Committee
FROM: General Manager, Community Services Department
DATE: July 30, 2012
SUBJECT: Heritage Policy and Program Review – Final Report
FILE NO: PL 710-8

- RECOMMENDATION:**
- 1) that the report be received as information; and
 - 2) that the Administration be directed to prepare an implementation strategy for the Heritage Policy and Program Review and report back to Planning and Operations Committee and the Municipal Heritage Advisory Committee.

BACKGROUND

In 2011, a capital budget was approved to conduct a review of the City of Saskatoon's (City) Heritage Policy and Program (Capital Project No. 2453 CY – Heritage Policy Review). The current Civic Heritage Policy No. C10-020 dates to 1996, and needed updating particularly to gain an understanding of current best practices regarding heritage policy in Canada. A Request for Proposals process resulted in Donald Luxton and Associates, and Catherine C. Cole and Associates being retained to conduct this project.

The Municipal Heritage Advisory Committee (MHAC) acted as the Steering Committee for the project, and the consultant team met with the MHAC several times during the review. The consultant team also consulted with stakeholders, including property owners, developers, architects, and members of the public, including members of the Saskatoon Heritage Society. The review included a gap analysis of the City's Heritage Conservation Program, assessment of other City policies and programs, and summary of best practices in heritage conservation from across Canada.

REPORT

This review is timely due to the rapid growth that Saskatoon is experiencing and the recent policy development; specifically, the Strategic Plan 2012-2022 (Strategic Plan), the Culture Plan, and the Official Community Plan Bylaw No. 8769. These plans provide broad policy context to guide the framework for the City's response to heritage resource management, while this review explores specific heritage issues.

Heritage conservation is tied to the strategic goals of Quality of Life and Sustainable Growth in the Strategic Plan. The Heritage Policy and Program Review provides background and direction specific to built and cultural heritage issues that will have relevance for studies that are currently underway, including the City Centre Plan and the Neighbourhood-Level Infill Development Guidelines.

Heritage conservation does not exist in isolation and should be integrated into strategies for economic development, sustainability, land use planning, affordable housing, cultural tourism, among others. The review found that the Heritage Conservation Program has had a number of

successes. However, the review also suggests that the current program is under-resourced, which has resulted in an inconsistent level of conservation being achieved on projects, and relatively few sites that have legal protection. The review also identified that heritage conservation is not adequately linked to broader civic policy objectives, and that public education and awareness of the value and importance of heritage protection is weak.

The Heritage Policy and Program Review recommends a framework for heritage policies and procedures that includes continuation of the survey of potential heritage resources, enhanced heritage incentives, and integration with long-range planning objectives.

The report proposes a renewed heritage program and provides recommendations for implementation (see Attachment 1, pages 32 to 37). All of the recommendations include a suggested priority level and timeline for completion.

The recommendations are based on the following four goals:

- 1) City Heritage Stewardship;
- 2) Enhanced Heritage Program;
- 3) A Broader Recognition of Heritage; and
- 4) Neighbourhood Heritage Planning.

Your Administration will prepare an implementation strategy based on these recommendations and identify tasks and resources that are required to address each recommendation. It is proposed that the implementation strategy will be reviewed by the MHAC, and then reported back to the Planning and Operations Committee.

OPTIONS

1. That the Administration not proceed with an implementation strategy at this time.

POLICY IMPLICATIONS

Attachment 1 recommends changes be made to Civic Heritage Policy No. C10-020. A further report will be submitted with proposed changes to this policy.

FINANCIAL IMPLICATIONS

There are no financial implications at this time.

STAKEHOLDER INVOLVEMENT

During the project key stakeholders were consulted. A public open house was held on March 8, 2012, at Third Avenue United Church to present the findings of the report to the public.

ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications.

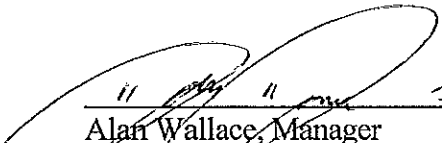
PUBLIC NOTICE


Public Notice, pursuant to Section 3 of Public Notice Policy No. C01-021, is not required.


ATTACHMENT

1. City of Saskatoon Heritage Policy and Program Review, Final Report July 2012

Written by: Paula Kotasek-Toth, Heritage and Design Coordinator

Reviewed by: 
 Alan Wallace, Manager
 Planning and Development Branch

Approved by: 
 Randy Grauer, General Manager
 Community Services Department
 Dated: August 1, 2012

Approved by: 
 Murray Totland, City Manager
 Dated: Aug 3/12.

CITY OF SASKATOON HERITAGE POLICY AND PROGRAM REVIEW

AUGUST 2012



DONALD LUXTON
AND ASSOCIATES INC 

Heritage Consultants
Catherine C. Cole & Associates



Bessborough Hotel, 2011

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2nd Avenue looking north from just south of the intersection with 21st Street, date unknown (Saskatoon Public Library Local History Room LH-1040)

EXECUTIVE SUMMARY

The City of Saskatoon recognizes the value of protecting its heritage assets, as well as relating the stewardship of its historic places to the other issues and processes involved in municipal governance. Over time, the City has developed a heritage program that promotes the long-term conservation of heritage assets. Civic Heritage Policy C10-020 was created in 1996, establishing the city's official heritage conservation program. Since then, Saskatoon has helped to preserve and celebrate heritage resources in the community. This program is supported through the efforts of the Municipal Heritage Advisory Committee.

Given the rapid growth of the city, and the recent policy development that has been undertaken as a result, it is timely to provide a comprehensive review of the existing municipal heritage management situation to ensure that it is relevant and responsive. The *Heritage Policy and Program Review* provides a framework to further recognize the potential of the city's heritage assets to act as a solid basis for the development of a vital and sustainable urban environment.

The key findings of the consultation and analysis concluded that despite the successes of the Heritage Program, there were key areas of weakness:

- Broader civic policy objectives do not recognize fully the importance of heritage conservation.
- There is no clear definition of what constitutes "heritage", nor an understanding how heritage resources will act as a community amenity, and how they will be conserved as part of the City's planning framework.
- Various aspects of the Heritage Program are not cross-referenced, well-funded or fully promoted.
- There are very few heritage sites that have any form of legal protection.
- The level of conservation achieved on heritage projects has been inconsistent.
- The City's heritage incentives are inadequate to achieve the stated goals of the Heritage Program.
- Public education and awareness about heritage issues is perceived as weak.
- Heritage conservation will be achieved more effectively through incentives rather than regulations.

This review outlines an array of goals and actions, gathered into an implementation strategy that integrates conservation initiatives within the land use planning and development approval process, and supports community heritage initiatives and partnerships. A framework for heritage policies and procedures is recommended that includes the continuing survey of potential heritage resources, enhanced heritage incentives, and integration with long-range planning objectives including sustainability and economic development initiatives. This is outlined in the following four key Goals:

- GOAL 1: CITY HERITAGE STEWARDSHIP**
- GOAL 2: ENHANCED HERITAGE PROGRAM**
- GOAL 3: A BROADER RECOGNITION OF HERITAGE**
- GOAL 4: NEIGHBOURHOOD HERITAGE PLANNING**

A ten-year Implementation Strategy has been developed, based on key program priorities and anticipated outcomes. These recommendations support an enhanced and effective municipal Heritage Program that will protect and interpret Saskatoon's heritage assets into the future.

1. INTRODUCTION

The most successful cities anticipate and prepare for the changes that lie ahead. They envision their future city and identify what will make it great, plan ahead and then act on their plans. Saskatoon today occupies almost 200 square kilometers and is home to over 220,000 people from a diversity of backgrounds. The city's residents appreciate the small town atmosphere with many urban amenities, and a rich sense of place as one of the hub cities of the Canadian West. Saskatoon is now at a point of significant growth, and is responding to global trends that affect all cities. Part of this framework for the management of change recognizes that the City's heritage policy structure must be integrated with broader civic goals and responsive to shifting realities if it is to meet these key challenges. It has been clearly recognized that a healthy, sustainable and complete community will require an integrated policy framework that capitalizes on community heritage and cultural assets.

Saskatoon has a long and fascinating history that has resulted in a complex legacy of tangible and intangible heritage resources, which is commemorated and interpreted through a number of historic buildings, cultural and natural landscapes, and facilities. The city has inherited a unique and multi-layered sense of place that builds on its past and promises an exciting future. This rich inheritance has resulted in a vibrant and diverse community. Public interest in Saskatoon's heritage legacy runs deep, and passionate support has been demonstrated for the conservation, commemoration and interpretation of shared histories and collective memories. The City, in conjunction with senior governments and community partners, has developed a heritage management framework that has recognized historic sites, structures, buildings, people and events. Heritage conservation is also recognized as an important part of economic development and sustainability, and is crucial in the long-term development of a complete community.

The City of Saskatoon recognizes the value of protecting its heritage assets, as well as relating the stewardship of its historic places to the other issues and processes involved in municipal governance. Over time, the City has developed a heritage program that promotes the long-term conservation of heritage assets including natural and human history, tangible and intangible. This includes an array of policies, procedures, and heritage incentives as well as integration with senior government programs. Civic Heritage Policy C10-020 was created in 1996, establishing the city's official heritage conservation program. Since then, Saskatoon's heritage program

has helped to preserve and celebrate heritage resources in the community. This program is supported through the efforts of the Municipal Heritage Advisory Committee (MHAC).

Other existing and emerging civic plans and policies support the development of arts, heritage and culture initiatives. The *Community Vision, 2011* and the *Strategic Plan 2012-2022* provide further leadership direction on these important issues, and the City Centre Plan and the Infill Development Strategy are underway. *The Saskatoon Culture Plan 2011* promotes a vision of Saskatoon as a culturally innovative city, based on principles of accessibility, inclusiveness, collaboration, sustainability, innovation and responsible leadership, and includes policies for integrated arts, heritage and cultural initiatives. The *Cultural Tourism and Marketing Strategy 2007* also recognizes the importance of cultural heritage in the development of tourism initiatives. Through the ongoing development of heritage policies and programs, Improved linkages will be provided between heritage management and broader civic policies such as sustainability, economic development, affordable housing and cultural tourism.

Given the rapid growth of the city, and the recent policy development that has been undertaken as a result, it is timely to provide a comprehensive review of the existing municipal heritage management situation to ensure that it is relevant and responsive. The intent of this review is to identify gaps in policy, determine efficiencies and formalize new directions that will increase the long-term effectiveness of the City's heritage program. The scope of project has included a consultative process with the project Steering Committee and Saskatoon city staff to critically review the existing situation, and to develop informed policy and program improvements.

1.1 THE HERITAGE POLICY & PROGRAM REVIEW

The *City of Saskatoon Heritage Policy and Program Review* provides a framework to further recognize the potential of the city's heritage assets to act as a solid basis for the development of a vital and sustainable urban environment. This will be supported through greater community involvement, enhancement of public awareness of heritage conservation efforts and greater engagement at the neighbourhood level. This review has involved a broad collaborative process involving many stakeholders who, through targeted input, have enhanced its applicability and scope. This consultation process

has led to the development of a more cohesive vision for the management of heritage resources in Saskatoon, identification of potential partnerships for the Heritage Program, and a definition of potential roles and responsibilities of stakeholders in the heritage management process.

This review outlines an array of goals and actions, gathered into an implementation strategy that integrates conservation initiatives within the land use planning and development approval process, and supports community heritage initiatives and partnerships. The review recommends a framework for heritage policies and procedures for the continuing survey of potential heritage resources, renewed focus for heritage incentives, and integration with long-range planning objectives including sustainability and economic development initiatives. The strategies include:

- Community involvement and long-term communication;
- Opportunities for ongoing public consultation and heritage marketing;
- Educational possibilities, including partnered efforts with the local school system;
- Opportunities for the involvement of community volunteers; and
- Recognition, commemoration and interpretation programs for heritage resources.

The basis for heritage planning is the historical context of the City itself. Saskatoon's history speaks to the development of the Canadian West and the ebb and flow of settlement that was influenced by powerful social, political and economic forces. The city's current citizens have inherited this significant heritage legacy, and act as custodians and curators of this history on behalf of future generations. The City of Saskatoon has already taken significant steps to inventory and manage its historic building stock. Enabling legislation exists both in the City's own policy documents as well as through provincial legislation. There are many contributing stakeholders involved in local heritage preservation efforts. The *Heritage Policy and Program Review* will help ensure that these various initiatives are coordinated for the benefit of the entire community.

To initiate the consultative process, the project team met individually with heritage stakeholders to get a sense of the strengths and weaknesses of the current situation and potential opportunities for future heritage initiatives. Following the individual interviews, the team undertook a process of

community consultation, to achieve consensus on the final recommendations and implementation strategy:

- November 22, 2011: Commercial Heritage Properties Workshop
- November 22, 2011: Institutional Heritage Properties Workshop
- November 22, 2011: Heritage Homes Workshop

These workshops resulted in a sense of how the City's Heritage Program is more generally perceived at the community level, and tested the effectiveness of heritage initiatives and programs. On March 8, 2012 a public Open House was held to present the draft *Heritage Policy and Program Review*. Approximately 40 people attended, and comments sheets were submitted based on the presentation and summary information provided on display panels. The panels were also posted on the City's website and the public had further opportunity to submit comments.

Through this broad consultative process, a general consensus has been achieved on the vision, goals, strategies and actions of the *Heritage Policy and Program Review*, providing a solid foundation for the development of an implementation strategy.

1.2 SASKATOON'S HERITAGE LEGACY

Although people have been living in what is now Saskatoon for at least 8,000 years, permanent European settlement on the Prairies did not substantially begin until 1872 when the Dominion Lands Act was passed, which among other things provided free homestead lands to settlers in the newly-opened territories.

Saskatoon was founded in 1882 as a "temperance colony", free of alcohol and the evils of the liquor trade. By 1884, the community consisted of some 80 settlers living in what is now the Nutana area. The 1885 North West Resistance left the colony largely unscathed. In 1890, the outlines of the modern city began to take shape. That year, the Qu'appelle, Long Lake and Saskatchewan railway arrived, connecting Saskatoon to Regina and Prince Albert. The decision to build the railway station and facilities across the river, in what is now the downtown, marked the beginning of development there. This new settlement soon eclipsed the original in importance and, in 1901, was incorporated as the Village of Saskatoon. By

1905, there were three separate communities here: Riversdale, Saskatoon and Nutana - the original temperance colony. To meet the needs of a rapidly-growing population, the three agreed to combine their resources and, on May 23, 1906, the City of Saskatoon was born.

From 1906-1913, the population more than quadrupled. Saskatoon rapidly developed into an important transportation hub, agricultural service centre and – with the establishment of the University of Saskatchewan in 1909 – educational centre. As a city, Saskatoon could now afford to build the infrastructural improvements demanded by its growing population, including a system of sewer and water lines, a power plant, and a city-wide street car system, which opened in 1913.

Saskatoon's first boom ended in 1913, the result of a global depression and the subsequent outbreak of the First World War. Despite some improvement in the 1920s, Saskatoon's economy did not recover fully until after the Second World War. During the Great Depression of the 1930s, the city's population actually declined. One consequence of the economic troubles both of 1914 and of the 1930s was that the City acquired a great deal of land from real estate speculators and others who could no longer afford to pay taxes on it. This was to prove beneficial later on.

After the end of the Second World War, Saskatoon experienced a severe housing shortage. The thousands of returning soldiers – many bringing new families with them – all needed somewhere to live in a city where almost no new houses had been built since the early 1930s. By the 1950s, new immigrants were also helping to swell the city's population, which almost doubled over the course of the decade. To help address this problem, the City began to sell off the properties that it had acquired earlier. The revenue was reinvested into what became the Land Bank program, which was established in 1954. Since then, the Land Bank has had a major role in shaping the city.

Saskatoon has inherited a rich historical legacy that has been recognized by all levels of government. Sites of civic, provincial and national significance have been documented, reviewed and protected, forming a core recognition of individual heritage sites that demonstrates the importance of Saskatoon's historic context. This official recognition includes:

- **City of Saskatoon:** The City has designated a total of 30 sites as Municipal Heritage Property (See **Appendix B**). The City owns 7 of these designated heritage sites.
- **Province of Saskatchewan:** 3 sites in Saskatoon have been designated by the Province of Saskatchewan under the *Heritage Resources Act* (See **Appendix C**).
- **Federal Government:** 7 designations commemorate nationally significant places, persons and events (See **Appendix D**). There are no federally-owned sites in Saskatoon listed on the Register of Government of Canada Heritage Buildings. In addition, two buildings have been designated under the Federal Heritage Railway Stations Protection Act:
 - Canadian Pacific Railway Station National Historic Site
 - VIA Rail (Union) Station

Many other potential heritage buildings, structures, sites, cultural and natural landscapes, and intangible cultural heritage features have been identified, but not yet been officially recognized. In addition to buildings and other structures, Saskatoon has also preserved areas of natural habitat, such as the riverbank. It is this special blend of old and new, development and conservation, that gives the city its true character and appeal.

1.3 THE PUBLIC BENEFITS OF HERITAGE CONSERVATION

Heritage conservation has many potential cultural, social and economic benefits. Conserving and interpreting a community's heritage allows it to retain and convey a sense of its history, and provides aesthetic enrichment as well as educational opportunities. Heritage resources help us understand where we have come from so that we can appreciate the continuity in our community from past to present to future. Historic sites become physical landmarks and touchstones, and many other intangible cultural heritage features - such as traditions, events and personal histories - add to the City's vibrancy and character. This broad range of heritage resources represents a legacy that weaves a rich and unique community tapestry.

Cultural and heritage-based tourism, such as visits to historic sites, is an important segment of the burgeoning tourism industry. Other benefits of strong heritage policies include

maintaining distinctive neighbourhoods, conserving cultural heritage, providing community identity and promoting civic pride. Heritage conservation is also inherently sustainable, and supports initiatives such as landfill reduction and conservation of embodied energy. It reinvests in existing infrastructure and promotes avoided impacts through reduced Green House Gas emissions. These are all important considerations in the long-term management of our built environment.

Heritage initiatives provide many tangible and intangible benefits, and have a strong positive impact on the development of a complete community and the emergence of a vibrant culture of creativity and innovation. The benefits of a well-managed heritage conservation program include:

- Encouraging retention of the community's unique physical heritage;
- Celebrating and/or commemorating historical events
- Continuing to practice traditional activities;
- Identifying ways that partnership opportunities can be fostered with senior levels of government;
- Engagement of the broader community including the private and volunteer sectors;
- Conservation of a broad range of historic sites that supports other public objectives such as tourism development and education;
- Flexible heritage planning that assists private owners in retaining heritage resources;
- Investment in heritage sites through community partnerships;
- Support for sustainability initiatives; and
- Generation of employment opportunities and other economic benefits.

Today, the heritage conservation movement represents a broad-based, multi-faceted approach where historic resources promote and support downtown revitalization, neighbourhood stabilization, affordable housing, cultural tourism, education, sustainability and economic development. Donovan Rypkema, the author of *The Economics of Historic Preservation: A Community Leader's Guide*, asserts that historic preservation makes economic sense, and that it is a sound investment of public and private funds. Rypkema argues that historic conservation will be successful only if it can make a case for preserved historic buildings as economic assets, and supports

this with dozens of examples. Apart from the other values ascribed to heritage, his assumption is that without privileging the economic value there will be little left to value otherwise. There is, however, a widely-held perception that protecting heritage property reduces property values or inhibits development. Studies have shown that this is not so; Robert Shipley of the University of Waterloo looked at almost 3,000 properties in 24 communities across Ontario between 1998 and 2000. He found that heritage designation could not be shown to have a negative impact on property values. In fact there appears to be a distinct and generally robust market in designated heritage properties. Generally, these properties perform well, with 74% of them maintaining their value at average or better than average market value. The rate of sale among designated properties is also as good as, or better than, average market trends. Moreover, the values of heritage properties tend to be resistant to downturns in the general market.

Further data has been provided by The Victoria Heritage Foundation, which has been tracking market values and assessments of 142 heritage houses designated prior to 1988. Between 1988 and 1999 the tax assessments for these houses increased 26% faster than the average for the City, resulting in an increased tax return to the City.

Heritage conservation, in general, actually provides stability in the marketplace and helps protect property values. This is especially true when heritage incentives are offered, providing constructive assistance that helps create a category of prestigious properties that are highly valued in the marketplace.

The experience of other Canadian jurisdictions is that when incentives are available, the property values of heritage sites rise at a higher rate than normal building stock, therefore providing higher assessments and ultimately increased property taxes. This is a desirable outcome for the City, which reaps the benefits of this investment in heritage conservation. The same is true for tax incentives, which can be used to stimulate investment in under-utilized properties that will ultimately pay higher property taxes. Civic investment in heritage sites makes good business sense, and can leverage other investment many times over.

2. CURRENT SITUATION

The City of Saskatoon seeks to retain its heritage legacy and, in partnership with senior governments, has worked to preserve, interpret and celebrate this significant inheritance. The City has also developed many general planning policies that support heritage conservation, and these initiatives are ongoing; this is being reinforced in the current updates of civic policy. Since the initiation of the Heritage Program, the City has made a substantial investment in planning for the conservation of heritage resources.

2.1 SENIOR GOVERNMENT INITIATIVES

The conservation of heritage resources is enabled by legislation at all three levels of government and supported by a number of programs and initiatives. This refers to the power that is enshrined in government acts that allows various actions or processes to be carried out by governmental agencies in order to assess or protect historical properties. There are a number of senior government initiatives that can provide support at the local level.

2.1.1 FEDERAL GOVERNMENT

In 2000, the Department of Canadian Heritage and Parks Canada began a wide-ranging series of consultations on the best means to preserve and celebrate Canada's historic places. These consultations resulted in a broad-based, pan-Canadian strategy, the *Historic Places Initiative*, which was the most important federal heritage conservation program in Canada's history. The federal government established: a national heritage register, the *Canadian Register of Historic Place*, as well as comprehensive conservation standards and guidelines for historic places, the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

The Province of Saskatchewan and the City of Saskatoon participated in these initiatives. A number of the city's heritage sites have now been documented for inclusion on the Canadian Register of Historic Places through the development of Statements of Significance, which explain why a place is important to the community and why it is important for inclusion on the Register. These national initiatives provide an overarching framework that can inform the City's treatment of local heritage resources.

2.1.2 PROVINCE OF SASKATCHEWAN

When the *Cities Act* came into force in January 2003, all cities in Saskatchewan were granted the option to operate either under the *Cities Act* or under the *Urban Municipalities Act*; all cities opted to operate under the former rather than the latter. This Act, Chapter C-11.1 of the Statutes of Saskatchewan, provides the broad framework of governance for the City, but does not specifically mention the management of heritage sites.

Authority for the management of heritage sites is enabled under the provincial *Heritage Property Act*. Among other municipal powers, the *Heritage Property Act* enables, but does not compel, the City to appoint a Municipal Heritage Advisory Committee (MHAC). The Act states that Council should consult with the MHAC, if one has been established, prior to designating a property or demolishing a designated property.

The province has designated three sites in Saskatoon as Provincial Heritage Property, based on a set of evaluation criteria plus a provincial thematic framework (See **Appendix C**).

The Saskatchewan Heritage Conservation Branch is the steward of many diverse historic resources throughout the province. The Built Heritage Management Unit focuses on provincial heritage property designation and alteration review and approvals, municipal heritage property advisory and registry services, community engagement to build local heritage conservation and management capacity, and managing the Saskatchewan Register of Heritage Property. The Archaeological Resource Management Unit focuses on land and resource development review, impact assessment and mitigation, investigation permitting, managing the Saskatchewan Archaeological Site Inventory, and geographic place naming. In addition, the Heritage Conservation Branch is responsible for providing administrative and technical support to the Saskatchewan Heritage Foundation and its various standing committees, including the Saskatchewan Heritage Advisory Committee, the Saskatchewan Heritage Property Review Committee, and the Saskatchewan Geographic Names Committee.



Chinese businesses including Wah Chung Lung Co. and Wing Woo Chung Co. on 19th Street East between 1st and 2nd Avenues, 1925 (Saskatoon Public Library Local History Room LH-4148)

2.2 COMMUNITY PARTNERSHIPS

There are a number of community groups, associations and organizations that provide heritage programming and support services that are complementary to the City's heritage initiatives, these include, but are not limited to the following.

- Meewasin Valley Authority:** The Meewasin Valley Authority is a conservation organization dedicated to conserving the natural and cultural heritage resources of the South Saskatchewan River Valley in Saskatoon, Saskatchewan and area. With the support of the Province of Saskatchewan, the City of Saskatoon and the University of Saskatchewan, Meewasin undertakes programs and projects in river valley education, development and conservation. According to its mandate, "Meewasin strives to increase understanding of the importance of the Valley, and ensure the Valley remains vibrant and healthy, by creating and facilitating opportunities for public awareness and enjoyment". Meewasin offers a number of education programs that promote conservation of the natural and cultural heritage resources of the valley, that facilitate the appropriate use and enjoyment of those resources, and that allow the public to experience and learn about them. These programs include stewardship and celebrations, river festivals, in-services, trail ambassadors, canoe tours, and partnering with other education and conservation organizations who have similar goals. Meewasin accomplishes this through its two interpretive centres, publications, audio-visual resources, web site, media commercials and appearances, and as speakers. Meewasin is also involved in Marr Residence interpretive programs and looks after the general maintenance of the Bowerman Residence.
- University of Saskatchewan:** The University has a rich collection of heritage structures, three of which have been formally designated. Considered an outstanding example of a Collegiate Gothic campus, the University is currently developing an internal Heritage Register including Statements of Significance for each listed site. The University is also a strong voice in the interpretation of local history.
- Saskatoon Heritage Society:** The Saskatoon Heritage Society was founded in 1976 following public concern over the demolition of the Standard Trust Building that stood at the corner of 22nd Street and 3rd Avenue. A non-profit charitable organization, it is dedicated to the preservation of buildings, neighbourhoods and sites in Saskatoon that are of historical and aesthetic value. The Society also encourages Saskatonians to take an active interest in the history of their city. The Society offers a wide variety of enjoyable programming, including Broadway walking tours, workshops on heritage restoration, heritage displays at community events, and guest speakers at meetings and special events, and publishes *The Saskatoon History Review* and the *Cargoyle* newsletter.
- Heritage Saskatchewan:** A relatively new organization, Heritage Saskatchewan is the collective voice of all those who value heritage in Saskatchewan, funded by the organization's members and SaskLotteries through SaskCulture Inc. The advocacy efforts of Heritage Saskatchewan promote heritage issues to the public, Saskatchewan's municipal and provincial governments and the Government of Canada. Advocacy is undertaken through public forums, position papers and participation in Culture Days.
- Architectural Heritage Society of Saskatchewan:** The Architectural Heritage Society of Saskatchewan supports, promotes and protects the province's rich built heritage. The Society convenes and adjudicate the annual Lieutenant Governor of Saskatchewan Heritage Architecture Excellence Awards; provides matching grant funding to member organizations for local or regional restoration projects, meetings and publications; and, publishes Saskatchewan's Architectural Heritage Magazine, *WORTH*.
- Wanuskewin Heritage Park:** The Wanuskewin area, located just outside the city limits, contains nineteen pre-contact sites found within the valley and two historic sites making this region the longest running active archaeological site in Canada. The Heritage Park provides the opportunity to delve into the past and discover what life was really like for the nomadic tribes. The theme of Wanuskewin Heritage Park is one of interpretation, exploring and explaining the meaning of the plains culture to gain a better understanding of Saskatchewan's First Nations peoples.
- Gustin/Trounce Heritage Committee:** Provides interpretation of Gustin House.
- Saskatoon Archaeological Society:** Holds an annual conference and hosts guest speakers.
- Western Development Museum:** Has a provincial mandate, and undertakes exhibitions and programs about the early history of Saskatoon and Saskatchewan.

- **Diefenbaker Centre:** Houses a museum and archives, displays and education programs.
- **Ukrainian Museum of Canada:** Has a national local mandate, and provides exhibitions and programs related to Ukrainian-Canadian history, and preserves intangible heritage of Saskatoon's Ukrainian-Canadian community.
- **Saskatchewan Indian Cultural Centre:** Provides support for preservation of intangible heritage.



University of Saskatchewan Campus, c. 1921 [Gowen Sutton Co. Ltd., Vancouver, BC, publisher] (Peel's Prairie Provinces, a digital initiative of the University of Alberta Libraries PC002923)



Saskatchewan Hall, March 13 2010 (Jordan Cooper, Flickr)

2.3 CITY OF SASKATOON POLICY FRAMEWORK

The City of Saskatoon Heritage Program exists within a broad municipal policy framework that regulates and plans for the city's development. In response to current growth and development, a number of policy initiatives have been revised or are under review, including the recent release of the *Strategic Plan 2012-2022*. A number of these existing policies and evolving initiatives provide the framework for the City's response to heritage resource management.

2.3.1 STRATEGIC PLAN 2012-2022

The *City of Saskatoon Strategic Plan 2012-2022* was released on January 18, 2012. The *Mayor's Message* states, "Reflecting on the public launch of our visioning exercise, Saskatoon Speaks, we asked ourselves: "What would Saskatoon look like if it grew to half a million people?" We described a larger, culturally diverse community, where our citizens value our heritage, environment and our high quality of life. Then we asked: "What do we want it to look like?"

Heritage is mentioned in the following sections of the *Strategic Plan*:

Community Support: *Provides supports and community investments to help build capacity in sport, recreation, culture, heritage, and social organizations, and enhances neighbourhood-based associations and organizations.*

Strategic Goal: Quality of Life: *Culture thrives in Saskatoon where diverse traditions, religions and languages are respected and celebrated. As a community, we find new and creative ways to showcase our city's built, natural and cultural heritage. Every citizen feels a sense of belonging.*

Sustainable Growth: Strategies for the Long Term (10 Years):

- *Preserve the character of heritage buildings and historical landmarks.*

2.3.2 OFFICIAL COMMUNITY PLAN 2009

The Official Community Plan (Bylaw No. 8769) is a broad land use framework intended to guide future growth and development of the City of Saskatoon. The Official Community Plan defines the City's role in conserving and interpreting cultural and built heritage. The following sections of the OCP specifically refer to heritage conservation.

6.0 COMMERCIAL LAND USE POLICIES

6.1 The Downtown

6.1.2.3 Downtown Housing

Heritage Buildings:

f) The Zoning Bylaw may provide bonus provisions and flexible development standards for the conversion of designated heritage buildings into residential units.

6.1.2.9 Heritage Resources

Heritage Properties:

a) Through the Civic Heritage Policy, the City shall develop programs and incentives to conserve heritage properties.

21st Street:

b) In recognition of 21st Street's role in the history of Downtown, developments along this street shall generally complement the character of existing buildings and streetscape enhancements, while promoting a human scale and pedestrian oriented environment.

15.0 HERITAGE

15.1 Objective:

"To conserve and interpret the material, natural, and human heritage in the community of Saskatoon in a planned, selective, and cost feasible manner to the benefit of current and future generations of Saskatoon citizens and visitors."

[City of Saskatoon Civic Heritage Policy, December 16, 1996]

15.2 Policies:

Policy Content

1. *The City's role in conserving and interpreting heritage includes:*
 - *identifying and researching potential heritage properties;*
 - *recognizing property of heritage merit;*

- *providing support to owners to conserve properties of heritage merit;*
- *implementing a heritage review process for City-owned property;*
- *establishing an inventory of archaeological and palaeontological sites;*
- *interpreting the history of municipal government; and*
- *Conserving and interpreting artifacts relating to the history of municipal government.*
[Refer to the City of Saskatoon Civic Heritage Policy, adopted by Council on December 16, 1996.]

18.0 Implementation

18.1 Zoning Bylaw

18.1.3 Bonus Provisions

a) To facilitate a degree of flexibility for optimal site utilization as well as to encourage certain desirable elements not normally proposed in the development process, the Zoning Bylaw may provide for adjustments to specific development standards in exchange for commensurate facilities, services or matters as specifically set out in the Bylaw. In this regard, the Zoning Bylaw may provide for adjustment to density limits, parking standards, building setbacks, building height, number of principal buildings on a site or other similar standards, for the provision of supportive housing units, community facilities which are owned by a non-profit corporation or public authority, the conservation of important natural areas, the provision of enclosed parking, and the conservation of designated heritage properties.

2.3.2.1 LOCAL AREA PLANS

The current City of Saskatoon is the result of the amalgamation of three early 20th century communities that grew together, and later amalgamations such as Sutherland in the 1950s. The City therefore retains more than one original town core, as well as many historic neighbourhoods that are recognized within the Local Area Plans (LAP) contained within the Official Community Plan. These are community-based, long-range plans that focus on the renewal of established neighbourhoods

and distinct areas in Saskatoon. By engaging the community in the development of long-range plans, residents, business owners and other stakeholders have a direct and active role in determining the future of their neighbourhood. The LAP process provides the community an opportunity to create a vision, identify issues, develop goals, and outline strategies to ensure the long-term success of their neighbourhood. The completed LAP establishes the objectives and policies that will guide the growth and development of the neighbourhood into the future.

During the development of the Local Area Plans, infill development was identified as a key issue facing historic neighbourhoods. This larger issue will be addressed as part of the City's Infill Development Strategy.

2.3.2.2 CITY CENTRE PLAN

The *City Centre Plan* is now underway, and the first phase strategic framework report, "Public Spaces, Activity and Urban Forum," has now been released. Heritage is mentioned several times, and a map indicates designated buildings as well as sites listed in the Holding Bylaw. Other references to heritage include:

A Vital City Centre: "Saskatoon is fortunate to have a healthy downtown and main streets, a beautiful setting and a rich heritage. Despite these assets, it has significant challenges to tackle in order to ensure its future success.... Saskatoon has a legacy of protecting its natural and cultural heritage. The forethought of these

collective decisions has helped to raise civic aspirations and demonstrate the importance of quality in the public realm. As the city invests in its public realm and cultural destinations, more residents and businesses are choosing to locate in the area."

Visiting the City Centre: Arts and Heritage: "The City of Saskatoon has taken steps toward the preservation and conservation of its heritage resources through the Heritage Conservation Program, which provides assistance to rehabilitate key heritage structures, and helps to secure the long-term protection of these assets."

2.3.3 INFILL DEVELOPMENT STRATEGY

A comprehensive strategy for infill development is now underway, which will help guide the growth of the city and support the direction of sensitive new infill. This will include:

- Neighbourhood level infill (infill of individual residential lots);
- Intermediate level infill on larger parcels of land; and
- Strategic level infill in key locations.

The programs and policies proposed as part of the strategy will provide the necessary regulations and innovations to support balanced and sensitive densification. These initiatives will also support many of the goals of the *Strategic Plan 2012-2022*; increasing and encouraging infill development is identified as a ten-year strategy for achieving the goal of Sustainable Growth.



Wedding of Private Charles Boniface and Jemima Witney at 1526 Alexandra Avenue, September 11 1915 (Saskatoon Public Library Local History Room PH-98-86)



Looking north, c. 1943 (Peel's Prairie Provinces, a digital initiative of the University of Alberta Libraries PC013190)

2.3.4 CULTURE PLAN 2011

Heritage is listed as a key direction in the *Culture Plan*, which provides a solid basis for further integration of heritage and cultural goals within broader civic planning initiatives.

Key Direction 2: Ensure Cultural Heritage is Conserved and Valued.

- Strategy 1: Identify and conserve Saskatoon's distinctive natural and built heritage resources.
- Strategy 2: Pilot and promote innovative approaches to interpreting and promoting cultural heritage resources and experiences.
- Strategy 3: Build upon the City's and community's capacity to support heritage conservation.

Objective

"To conserve and interpret in a planned, selective and cost-feasible manner built, natural, cultural, and documentary heritage for the benefit of current and future generations of Saskatoon citizens and visitors."

Rationale

"Heritage is a legacy inherited from the past, valued in the present and used as a foundation for the future. Saskatoon has a rich cultural heritage dating back 8,000 years – from the original First Nations presence to the arrival of Europeans, the creation of the Métis Nation, and history of recent arrivals. Each has a legacy of physical sites, landforms, artifacts, images, place names, stories and neighbourhoods. These assets serve as reminders, both tangible and intangible, of the city's history and culture. Saskatoon's heritage is indispensable when shaping plans and strategies for the future."

Council has also set the stage for more integrated approaches to heritage in Saskatoon by giving the Municipal Heritage Advisory Committee (MHAC) a broad definition of heritage and a mandate to address it. The committee currently administers the City's Doors Open event and Heritage Awards.

The City, too, is an owner of a number of designated heritage properties, including:

- 1885 Marr Residence, currently seeking National Historic Site designation
- 1913 Superintendent's Residence, National Historic Site at the Saskatoon Forestry Farm Park and Zoo
- 1907 Bowerman House

- 1912 Albert School Community Centre
- Little Chief Service Station
- Nutana Pioneer Cemetery
- Woodlawn Cemetery – Memorial Boulevard National Historic Site.

With the exception of the Bowerman House, which is managed by the Meewasin Valley Authority, all properties are managed by the Infrastructure Services Department: the two cemeteries by Parks Branch and the historic buildings by Facilities Branch. The City is also a steward of heritage artifacts. Some, such as artifacts from the former Capitol Theatre, are warehoused by Infrastructure Services, some are kept secure by City Archives, and others are stored in the basement of the Marr Residence. Apart from the Marr Residence, the City has no collections policy to guide acquisitions, conservation or interpretation of artifacts.

Saskatoon's history is told by numerous agencies, boards, organizations, volunteer groups and museums. The Culture Plan provides an opportunity to encourage co-operation between organizations by generating awareness and appreciation for different forms of heritage interpretation, conservation, and documentation.

Saskatoon's history is told by numerous agencies, boards, organizations, volunteer groups and museums. The Culture Plan provides an opportunity to encourage co-operation between organizations by generating awareness and appreciation for different forms of heritage interpretation, conservation, and documentation. Opportunities to the heritage sector include:

- Increase familiarity with Standards and Guidelines for the Conservation of Historic Places in Canada
- As part of the Civic Plaza Precinct Master Plan, explore the establishment of adequate exhibition space such as a civic museum dedicated to telling the history of Saskatoon
- Enhance the profile and resources of the Saskatoon Public Library's Local History Room
- Strengthen inventories, databases, and collections management systems for the City's collections
- Increase the profile of the City Archives
- Coordinate an approach to heritage programs such as Doors Open, Heritage Fair and Culture Days programs

- Address operational and governance challenges facing the Marr Residence
- Develop support and infrastructure for cultural organizations relying heavily on volunteerism
- Provide program funding to organizations such as the Saskatoon Heritage Society
- Overall, increase visibility and promote heritage of all kinds.”

6.1 Administrative Arrangements: Heritage Planning and Policy

“Cultural planning for sustainable communities demands consideration of how heritage planning, heritage programming and development issues are addressed. The Municipal Heritage Advisory Committee (MHAC) has been assigned a broad mandate by Council to address built, natural and cultural heritage. The Committee currently administers the city’s Doors Open event and the Heritage Awards but has called on the City to play a stronger (staff) leadership role. MHAC receives administrative support from the Planning and Development Branch, and funding from Community Services for Doors Open, etc. Any consideration of new administrative arrangements and staff resources for cultural planning should take into account the issues of staff support for heritage planning and programming.”



Marr Residence, 2011

Heritage conservation of the built environment, and cultural heritage in the broader sense, is referenced throughout the Culture Plan. The Culture Plan is a foundational base for tying the Heritage Program to broader civic goals and objectives.

2.3.5 CULTURAL TOURISM & MARKETING STRATEGY 2007

This Strategy was developed under funding provided when Saskatoon was recognized as a Cultural Capital of Canada in 2006. It provides a framework for stakeholders from a variety of sectors to work together to advance cultural tourism and to gain economically and socially from that focus. It is designed to attract more tourists to the city through continued investment, while promoting participation by residents in activities that make Saskatoon a healthy and vibrant community. The Strategy confirms culture plays a significant role in tourism, community revitalization and economic development, and provides ten strategic recommendations, the goals and tactics to ensure they can be realized, and a timeline for implementation. Cultural tourism is defined as tourism motivated wholly or in part by interest in the historical, artistic or lifestyle/heritage offerings of the tourism destination, whether for a community, region, group or institution.

For the purposes of this Strategy, the definition of Heritage is adapted from the definition on the Cultural Capitals of Canada website:

“Heritage refers to the ideas, experiences, and customs of Canadians or groups of Canadians that are passed on to future generations, and to the means of their preservation and recollection. Traditional cuisine, dress, religion, and language are examples of elements of heritage. Museums, art galleries, and historic sites are some of the means used to preserve the elements of heritage and to interpret them to a broader public.”

2.3.6 VACANT LOT & ADAPTIVE RE-USE INCENTIVE PROGRAM

The City’s *Vacant Lot & Adaptive Re-Use Incentive Program* is designed to encourage development on existing vacant or brownfield sites, and the re-use of vacant buildings in established areas of the city, including the Downtown, by providing financial and/or tax based incentives to owners of eligible properties. The Program is comprised of four interrelated components: Incentives, Policy Options, Vacant Lot Inventory and a *Brownfield Redevelopment Guidebook*. The goal of the

Program is to encourage more infill development and intensify land use within established neighbourhoods (including the Downtown) in the City of Saskatoon. As part of the Program, the City of Saskatoon maintains a comprehensive inventory of undeveloped land, which also includes surface parking lots. All lands that fall into these “undeveloped” categories are considered vacant. The incentive program is based on a points system and is self-financing through the repayment of incentives via redirection of incremental property taxes.

Under the Program, the total maximum incentive offered to each site is determined through an evaluation system, based on points linked to policy objectives identified in the City’s Official Community Plan and Downtown Plan. The points are used to determine what percentage of the total maximum incentive amount may be available to the applicant. Under the Program, applicants are given a choice of a five-year tax abatement, or a grant. To qualify under the incentive program, applicants will need to submit an application and a full development proposal for an existing vacant or brownfield site, or an adaptive re-use project within the eligible area.

2.3.7 BUILDING CODES & STANDARDS

The current authority for building standards within the City of Saskatoon is the National Building Code. In past heritage projects, there have been conflicts between the strict application of code requirements and the achievement of a satisfactory level of heritage conservation. Heritage sites inevitably present non-conforming situations, and strict compliance to building codes can also be financially onerous. Although public safety is paramount, other jurisdictions have found a balance between the interpretation and enforcement of building code requirements and heritage conservation. Successful examples of this balance include the New Jersey Rehabilitation Subcode and the City of Vancouver Building By-

Law, which offer equivalencies and exemptions that recognize the inherent performance of existing buildings without compromising public safety. In New Jersey, the introduction of Subcode equivalencies has been shown to reduce overall project costs by approximately 20%.

A more flexible response in the application of building codes for heritage projects could ensure the protection of character-defining elements and promote overall economic viability. In addition, *The Uniform Building and Accessibility Standards Act* is under provincial jurisdiction, but does not mention heritage; the City could consult with the Province regarding these regulations and their application in heritage situations.

2.4 CITY OF SASKATOON HERITAGE PROGRAM

The City of Saskatoon’s Heritage Conservation Program consist of a set of regulations and incentives, developed through policy and operationalized through dedicated staff time and an annual budget, with community advice provided to Council through an appointed advisory committee. This policy and program framework has developed over time, with supplemental policies as well as references in other civic policies and programs.

2.4.1 CIVIC HERITAGE POLICY C-10-020

The Civic Heritage Policy (1996) commits the City to conserving and interpreting the material, natural and cultural heritage in the community of Saskatoon in a planned, selective and cost feasible manner for the benefit of current and future generations of Saskatoon citizens and visitors. The Civic Heritage Policy identifies the focus of conservation and interpretation efforts by the municipality, focusing on material or built (e.g. buildings, landscapes, streetscapes, etc.), natural



Saskatoon, c. 1908 [Ralph Dill photo] (Peel’s Prairie Provinces, a digital initiative of the University of Alberta Libraries PC002834)



A house being moved east along 33rd Street near Avenue A by “Jackson the Building Movers”, c. 1916 (Saskatoon Public Library Local History Room LH-4774)

(e.g. ecosystems of paleontological sites) and cultural history (e.g. historical narratives of the city). The roles the municipality plays depend on the type of heritage involved; however, its current focus is on built heritage and management of the City Archives. Eligible properties of heritage significance are designated as Municipal Heritage Properties or listed on the Community Heritage Register, and are eligible for a range of incentives under the Heritage Conservation Program, including property tax abatements, grants and permit fee refunds. Grants are also available under the Façade Renovation and Rehabilitation Program and for special projects such as Doors Open, the Pehudoff Murals, and projects at the Forestry Farm Park and Zoo. The Built Heritage Database (BHD) contains a list of properties of heritage interest. The Municipal Heritage Advisory Committee provides advice to Council on matters relating to the Civic Heritage Policy as well as the provincial *Heritage Property Act*.

The Civic Heritage Policy includes the following:

“Definition of Heritage: *Heritage comprises three elements of history which, when interwoven, identify individuals and communities:*

1. *Material history - the conservation and interpretation of physical objects and sites such as buildings, landscapes, streetscapes, archaeological sites, artifacts, and document;*
2. *Natural history - the conservation and interpretation of nature (for example, individual species of birds, fish, and trees, or entire ecosystems) and palaeontological sites (study of life in the geological past, e.g. fossils); and,*
3. *Human history - the research, conservation, and interpretation of past human activities from the time of first human habitation to the present*

day. These activities include those in the social, cultural, political, and economic spheres, which create the historic background to individuals and communities.”

“The words conservation and interpretation are key elements in the definition used above. They are not intended to be taken in a narrow, technical sense as they relate to one or more specific aspects of heritage. Rather, they denote acknowledgment that:

Conservation: A community is not a museum. While not every vestige of the community’s heritage could or should be saved, it is important to identify and protect the key elements of the past, in Saskatoon’s material, natural and human history; and,

Interpretation: Telling the story of our past is essential. Conserving heritage is of limited value if the public is unaware of it; heritage is made by the community and belongs to the community.”

Outcome Statement: *“Material, natural and human heritage in the community of Saskatoon will be conserved and interpreted in a planned, selective, and cost-feasible manner to the benefit of current and future generations of Saskatoon citizens and visitors.”*

The City’s Role in the Heritage Process: *“Overall, the City has a key role to play in ensuring that Saskatoon’s heritage is conserved and interpreted in a planned, selective, and cost-feasible manner for Saskatoon citizens and visitors.”*



Water treatment plant at 11th Street West and Avenue H, 1914 (Saskatoon Public Library Local History Room LH-1824)



Burns and Co. at 485 1st Avenue North, 1929 [Leonard A. Hillyard photo] (Saskatoon Public Library Local History Room A-1686)

“The extent and depth of this role vary according to the type of heritage involved:

1. *In the portion of material heritage dealing with buildings, landscapes, and streetscapes, the City will play a key role, facilitating the identification and research of key heritage resources by the community, recognizing heritage property through its legislative powers, and developing incentives to encourage owners to conserve heritage properties and other properties of heritage merit. The City’s involvement is appropriate since it is the only agency with both a city-wide mandate and the skills to undertake the task.*
2. *For archaeological and palaeontological sites, the City will take a lead role in the identification and listing of these sites and the development of policies related to growth management and land use controls to be established within the City’s Official Community Plan.*
3. *As a property owner, the City will develop a proactive heritage review and evaluation process which will identify City-owned heritage property at a time when the structure is still in use.*
4. *The City will interpret its own history as a municipal government and the history of City-owned heritage properties.*
5. *The City will develop and implement a program for the identification, conservation, and interpretation of artifacts that relate to its own history as a municipal government.*
6. *The City’s Official Community Plan incorporates policies for the identification and potential preservation of natural areas through collaboration among stakeholders, to help guide the land development process in the City and the Region.*
7. *Matters related to City Archives are dealt with through the records management component of the City Clerk’s Office. The relevant policies will be cross-referenced to ensure a comprehensive approach.*
8. *The City’s Public Recreation Policy states that the Community Services Department will help external delivery agencies to attain self-sufficiency in the delivery of programs; this includes a group that might want to collect artifacts of community interest, establish a museum, research and interpret*

local history, archaeology, palaeontology, or other leisure-focused aspects of Saskatoon’s heritage not otherwise covered in this policy.”

2.4.2 HERITAGE COORDINATOR

Staffing is provided through a Heritage and Design Coordinator (Senior Planner II) in the Community Services Department, Development Services Branch. Heritage duties account for approximately three-quarters of the position, with the remainder dedicated to design review related to Architectural Control Districts. The duties of the Heritage Coordinator include, but are not limited to the following:

- Develop, coordinate, administer and monitor municipal heritage policy, services and programs
- Preparation and presentation of reports and recommendations for consideration by the Municipal Heritage Advisory Committee, City Council and Committees of Council
- Develop and implement criteria and procedures, and negotiate agreements, for the designation of municipal heritage property
- Coordinate the Corporate strategy for the evaluation, management and interpretation of City-owned heritage properties
- Assist with the development and administration of Heritage Conservation Districts and Architectural Control Districts
- Promote public awareness of the benefits of heritage conservation

Other general duties include preparation and monitoring of budgets, partnerships with heritage organizations and recommendation of improvements to relevant civic policies, programs and projects.

2.4.3 MUNICIPAL HERITAGE ADVISORY COMMITTEE

The provincial *Heritage Property Act* states: “Any council, by bylaw, may establish a Municipal Heritage Advisory Committee (MHAC) to advise and assist the council on any matters arising out of this Act or the regulations.” The Act also states that Council should consult with MHAC prior to designating a property or demolishing a designated property. Saskatoon established a MHAC in 1981 under Bylaw No. 6111, with meetings that are open to the public, minutes that are publicly

available and an annual report. Terms for appointment to the MHAC are two years, but there are no term limits. The MHAC budget for 2011 was \$15,700.

MHAC currently reports to Council through the Planning and Operations Committee. MHAC does not have an initiating role in bringing issues forward to Council; the Environmental Committee is an example of a committee that can refer matters directly to Council.

2.4.4 HERITAGE REGULATIONS

2.4.4.1 MUNICIPAL HERITAGE PROPERTIES

Municipal Heritage Properties are recognized as being of major significance to the history of our community. The buildings represent almost every time period in Saskatoon's history. Municipal Heritage Property is recognized as being of major significance to the history of the community. Protected by City bylaw, municipal heritage properties must be well maintained and the key heritage features cannot be altered without approval by the City. The Heritage Conservation Program provides for financial incentives to owners of municipal heritage property for costs related to restoration of architectural elements of the building.

Requirements to Protect Designated Properties:

- 1. The owner is required to maintain the property and must have civic approval to alter the heritage elements of the property. This protection is in the form of a bylaw, which is registered against the title of the property and continues to apply when ownership changes.*
- 2. The abatement may be suspended or revoked if the property owner does not comply with the conditions of the bylaw.*

Other conditions might include specific requirements on how the property is to be conserved, restored or adapted to the new use, an approved preventative maintenance plan, public access to a commercial structure, and a brochure on the structure's history.

2.4.4.2 HOLDING BYLAW

Bylaw No. 6770: "A Bylaw of the City of Saskatoon to deny a permit for the demolition of certain property" was first passed in 1987, and has been subsequently amended.

It provides for a temporary denial of a building permit for 60 days while notification of the demolition is referred to City Council and MHAC. This list is amended as required; there are 34 sites currently listed identified in the Bylaw.

2.4.4.3 COMMUNITY HERITAGE REGISTER

The Community Heritage Register lists properties that have heritage merit and contribute to the character of their neighbourhood or district. The Register provides an opportunity to recognize and showcase the features of properties. The Community Heritage Register lists properties that have heritage merit and contribute to the character of their neighbourhood or district. In return for financial assistance, properties must be maintained and the key exterior heritage features cannot be altered for a fixed number of years. The City will register a caveat against the title of the property and any new owner will be bound by the agreement. The abatement may be suspended or revoked if the property owner does not comply with the conditions of the agreement. Other conditions might include specific requirements on covenants and easements, interpretation, how the property is to be conserved, restored or adapted to a new use, an approved preventative maintenance plan, and requirements for public access. However there is no long-term guarantee of protection for the property as with Municipal Heritage Property designation. Two sites are currently listed on the Community Heritage Register.

2.4.4.4 THE HERITAGE PROPERTY (APPROVAL OF ALTERATIONS BYLAW)

The Heritage Property (Approval of Alterations Bylaw) No. 8356, 2004 delegates to the civic administration the authority to approve alterations to designated property. The Bylaw currently states that prior to granting approval of any application made pursuant to Section 23 of the Heritage Property Act, the delegate must consult with the Municipal Heritage Advisory Committee. This requirement can cause delays in the approval of simple repair projects and minor maintenance.

2.4.5 HERITAGE CONSERVATION INCENTIVES

The value of conserving a community's heritage is not always immediately recognized, especially if there are perceived financial benefits from redevelopment. Where there are external pressures threatening heritage assets, it has been recognized that more effective conservation will be achieved through incentives than by stringent regulation. It is in the

best interest of both the public and the municipality to avoid “unfriendly designation” and the negative impacts (financial and otherwise) that accompany the use of rigid controls to conserve heritage sites. For a number of years, the City of Saskatoon has used an incentive and cooperation-based heritage program that is not imposed on owners; rather, heritage projects are negotiated to ensure that constructive assistance is provided to the applicant, through the offering of a range of potential incentives. Incentives also provide the means by which legal protection can be secured for heritage sites, and also help ensure long-term conservation by supporting ongoing maintenance and financial viability. In general, heritage incentives leverage many times their original value in owner investment, construction and job creation.

2.4.5.1 FEDERAL INCENTIVES

There are some federal programs that assist in built heritage projects that involve the restoration and rehabilitation of heritage buildings. Although there is no longer any funding available through the Historic Places Initiative for commercial building rehabilitation, Parks Canada offers a cost-sharing program for National Historic Sites owned by incorporated not-for-profit organizations, other levels of government, and not-for-profit First Nations organizations. Canadian Heritage offers the Cultural Spaces Canada Fund, which supports the improvement, renovation and construction of arts and heritage facilities, and the acquisition of specialized equipment as well as conducting feasibility studies. Nonprofit arts and heritage organizations, municipal or regional governments, and their agencies, as well as First Nations governments, are eligible to apply for this funding. Infrastructure Canada periodically provides funding for municipal infrastructure projects that could include heritage conservation.

In addition, the Residential Rehabilitation Assistance Program (RRAP), offered through the Canada Mortgage and Housing Corporation, helps low-income Canadians, people with disabilities and First Nations people live in decent, affordable homes. These programs also support renovations to rooming houses and rental units to increase the availability of housing for those in need. Depending on the individual situation for each resource, one of the following programs may apply:

- **Homeowner RRAP:** Financial assistance to repair substandard housing to a minimum level of health and safety
- **Rental RRAP:** Assistance for landlords of affordable housing to pay for mandatory repairs to self-contained units occupied by low-income tenants
- **RRAP for Persons with Disabilities:** Assistance for homeowners and landlords to improve accessibility for persons with disabilities
- **Rooming House RRAP:** Repair assistance for owners of rooming houses with rents affordable to low-income individuals
- **RRAP for Conversions:** Assistance for converting non-residential buildings into affordable housing

There may be additional funding programs that apply under some circumstances. This may include assistance for projects where cultural heritage is included, such as Museum Assistance Program, Virtual Museum of Canada, Building Communities through Arts & Heritage and Young Canada Works. As each heritage project is unique, the applicability of federal funding programs will have to be individually assessed.

2.4.5.2 PROVINCIAL INCENTIVES

The Saskatchewan Heritage Foundation (SHF) is an agent of the Crown established by provincial legislation. The affairs of the SHF are directed by a board appointed by the Lieutenant Governor in Council. Established as a major support agency for heritage conservation and development, the principal mandate of the SHF since its inception has been to provide financial support to heritage projects at the provincial and community level that seek to conserve, research, interpret, develop and promote Saskatchewan’s diverse heritage resources. To this end, the SHF has developed a series of heritage grant programs that complement the personal commitments and economic resources of individuals and agencies across Saskatchewan. The SHF is also mandated to acquire, manage and develop real and moveable property in the name of the Crown, and to accept the donation of cash monies, property and other bequests. Grants are offered for Heritage Conservation (up to 50% of eligible project costs), Heritage Research, Heritage Promotion and Education, Heritage Publications and Heritage Special Projects.

2.4.5.3 CITY OF SASKATOON INCENTIVES

The City of Saskatoon offers the following incentives for the conservation of heritage properties.

For Municipal Heritage Property

- Property tax abatement up to 50% of costs related to restoration. Maximum abatement \$150,000 amortized over 10 years.
- Refund of 50% of any building permit fees.
- Grants may be provided for non-governmental, tax-exempt properties up to a maximum of \$10,000.
- A bundle of flexible support services can also be negotiated.

For Community Heritage Register Properties

- Property tax abatement up to 20% of costs related to restoration. Maximum abatement \$30,000 amortized over 10 years.
- Refund of the minimum building permit fees.
- Grants may be provided for non-governmental, tax-exempt properties up to a maximum of \$2,000.
- A bundle of flexible support services can also be negotiated.

Property Tax Abatements

- Offered to designated heritage sites. The total value of tax abatements in 2011 was \$22,000 for 13 properties.

Heritage Reserve (for financial and tax incentives)

The Heritage Reserve receives \$54,000 per annum, which is used to fund:

- Direct costs associated with the Heritage Conservation Program;
- Deficiencies if a rehabilitation project does not generate a sufficient increase in assessment to offset its tax abatement;
- Projects for the identification and evaluation of City-owned heritage property;
- Special heritage properties owned by non-profit organizations that are eligible to receive a grant;
- Special heritage studies; and recognition plaques.
- Surplus amounts have accumulated, to a total of \$260,000 (as of December, 2011).

Façade Rehabilitation and Renovation Program

- Façade Renovation Grant: \$10,000 contribution per year, used to fund a number of properties in the Broadway,

Riverdale and Partnership [Downtown] Business Improvement District areas.

- The program is funded by both the City's Streetscape Reserve and the Heritage Reserve Fund.
- Maximum Grant per Property \$15,000; projects including heritage rehabilitation qualify for an additional \$15,000.

2.4.6 IDENTIFIED HERITAGE SITES

Designated Sites

- 30 sites have been designated as Municipal Heritage Property
- 5 sites have been designated as National Historic Sites
- 2 sites have been designated under the Federal Heritage Railway Stations Protection Act

Holding Bylaw

- 34 sites are currently listed in the Bylaw.

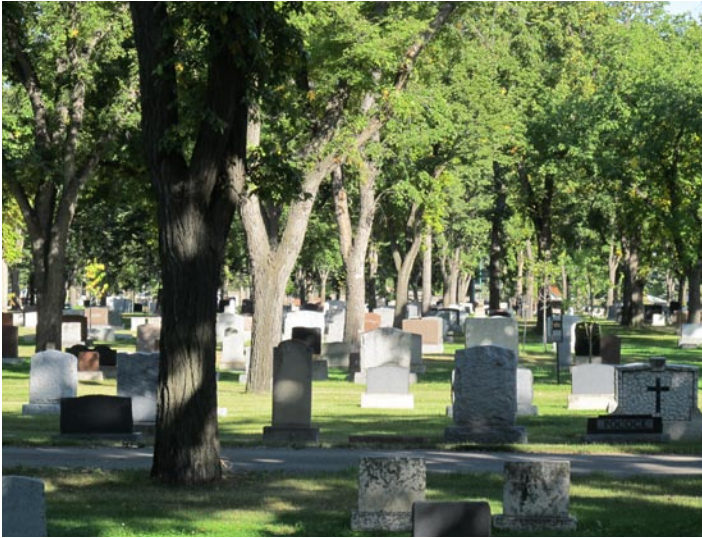
Heritage Register

- 2 sites have been listed on the Community Heritage Register.

Heritage Building Database

In 2004, the Heritage Program conducted a Heritage Properties Identification project to compile a comprehensive listing of heritage buildings, structures and properties in Saskatoon, including City-owned property. The heritage property survey process was intended to list properties or urban features identified as having heritage character or heritage value in the community in accordance with a set of criteria. The survey scope included private and public buildings and properties within a general cut-off date of 1945, although in practice newer sites are added when they have merit. For properties to be included on the database they must qualify for two or more of the following characteristics:

- The structure was constructed prior to 1945.
- The structure has a connection with a historical person or event of significance to Saskatoon history (or Saskatchewan or Canadian history), or any well-documented person or event.
- The structure is an example of a particular known architectural style or theme.
- The structure is the work of a known architect.
- The structure is considered a "landmark" or otherwise has value to members of the Saskatoon community on at least a neighbourhood level.



Woodlawn Cemetery, 2011

- The structure is an example of Saskatoon architectural or historical themes of which there are few examples left.
- The structure has other demonstrable merit from an architectural, heritage, or community value perspective; or belongs to a theme, area or district of the City that is known to have historical associations or community value.

To ensure that the database remains current, heritage staff encourages new submissions to the Built Heritage Database on an on-going basis. A Thematic Framework has been developed for the Built Heritage Database, which currently has approximately 1,200 entries.

Cemeteries

The City owns two significant historic cemeteries, the Nutana Pioneer Cemetery (designated municipal heritage property; inactive as a cemetery) and the Woodlawn Cemetery, which is an active cemetery and includes the Next-of-Kin Memorial Avenue National Historic Site. These two cemeteries are operated by the Parks Branch.

Monuments

- An inventory of civic monuments has been prepared, which is included in the Public Art list.

2.4.7 CITY-OWNED HERITAGE PROPERTY PROGRAM

In 2001, Council approved the City-Owned Heritage Property Program (File No. CK. 906-2). This Program refers to the Civic Heritage Policy statement that “As a property owner, the City will develop a pro-active heritage review and evaluation process which will identify City-owned heritage property at a time when the structure is still in use.” The purpose of the Program is:

1. To be proactive in the identification of heritage structures owned by the City.
2. To ensure that the City exercises appropriate stewardship over the heritage structures in its care.
3. To provide City Council with the comprehensive range of information it needs to make appropriate and effective decisions regarding the stewardship of City heritage structures.
4. To integrate heritage conservation into the City’s property management programs.

The City of Saskatoon owns several significant heritage resources that form the core of the City’s heritage stewardship policy. This includes seven designated heritage sites:

- Marr Residence (currently seeking National Historic Site designation)
- Superintendent’s Residence, National Historic Site at the Saskatoon Forestry Farm Park and Zoo
- Bowerman Residence
- Albert School Community Centre
- Little Chief Service Station
- Nutana Pioneer Cemetery
- Woodlawn Cemetery / Next-of-Kin Memorial Avenue National Historic Site.

The Marr Residence and Albert School have City-appointed management boards. The City also provides significant annual funding for several heritage sites including in 2011: the Marr Residence (\$19,200); the Albert Community Centre (\$112,600); and Wanuskewin Heritage Park (\$184,000). The City also supports a number of facilities that hold archival information as well as collections; this includes the City of Saskatoon Archives. Other identified City-owned heritage resources include Community Memorials (listed on the Public Art List). Other City-owned resources may have potential heritage value but have not been evaluated or protected, such as:

- **Buildings and Structures:** such as the City Greenhouses; City Hall; and the John Deere Building.
- **Cultural Landscapes:** includes parks (and associated structures), as well as landscape specimens and street trees.
- **Natural Landscapes:** includes riverbanks, prairie remnants and other features that predate urban development.
- **Streetscape Features:** Saskatoon has examples of distinctive street lighting that contribute to neighbourhood character.
- **Intangible Cultural Heritage:** There are aspects of Saskatoon's traditions, social practices, festive events and historical knowledge that can be interpreted and supported.

2.4.8 HERITAGE EVALUATION

2.4.8.1 HERITAGE EVALUATION CRITERIA

Applications for designation as Municipal Heritage Property or for inclusion on the Community Heritage Register are evaluated using a numerical evaluation system as the key guideline, plus any other relevant information. The numerical evaluation system is broken down into five sections: Architecture; Integrity; Environment or Context; Historical Value; and Usage. Numerical scoring systems are now considered outdated. Current best practice for heritage evaluations as defined by the *Standards and Guidelines* employs values-based criteria, based on Historic Context Statements and Thematic Frameworks, with Statements of Significance employed as an analytical tool.

2.4.8.2 THEMATIC FRAMEWORK

A thematic framework organizes and defines historical themes that identify significant sites, persons and events. Historical themes provide a context within which heritage significance can be understood, assessed and compared. Themes help to explain why a site exists, how it has changed and how it relates to other sites linked by the theme. Historical themes can be identified when a thematic history is prepared. This can also provide a framework for a more effective evaluation of which sites represent important themes, and the values that they represent.

Senior governments have undertaken the development of thematic frameworks that can frame and support the development of civic historic themes. The *National Historic*

Sites of Canada System Plan provides an overall thematic framework that is a comprehensive way of looking at Canadian history and identifies sites of national significance.

Municipal planning best practices now support the development of thematic frameworks as the basis of heritage planning, thus enabling the improved integration of heritage within community planning. In Canada, the City of Victoria has led the way with the development of the first comprehensive civic thematic framework in 2008-2010, developed by drilling down from the *National Historic Sites of Canada System Plan* to forge a deeper understanding of historic forces at the local level. This is being used as a tool to determine the value of neighbourhoods and individual sites, update and evaluate the Victoria Heritage Register and inform the development of neighbourhood plans. This process has articulated the values associated with historic assets that link to the evolution of the city, and describes the types of resources that make up the city's heritage, including implications for municipal heritage management.

The City of Saskatoon has commissioned A *Thematic Framework for the City of Saskatoon Built Heritage Database* (Stantec Consulting Ltd.). This could be used as the basis for the further development of a city-wide evaluative framework, supported by a Historic Context Statement.

2.4.9 HERITAGE EDUCATION & AWARENESS

The City undertakes or sponsors a number of heritage education and awareness initiatives:

- Municipal Heritage Advisory Committee (Doors Open, City Heritage Awards, publications, driving tours)
- City Archives (preservation of archival collections, interpretation through events such as Celebrity Readings, film nights, guest speakers, publications)
- Saskatoon Public Library, Local History Room (access to local history books and reference material including photographs and clipping files)
- Community Services Department (funding programs, Public Art programs and related research). The Heritage and Design Coordinator and the Arts and Grants Consultant are located in the Community Services Department.

There are also community groups, associations and organizations that provide heritage programming and support services that are complementary to the City's heritage initiatives (refer to **Section 2.2: Community Partnerships**).

2.5 GAP ANALYSIS OF THE CURRENT SITUATION

Over time, the City of Saskatoon has developed a broad range of programs regarding heritage issues. Despite ongoing funding and administration and a number of successful initiatives, this review has identified issues and challenges. Through the consultation process, heritage stakeholders also identified a number of overarching concerns. These gaps between expectations and outcomes may be summarized as follows:

INTEGRATION WITH MUNICIPAL PLANNING

There are key areas where broader civic objectives do not recognize fully the importance of heritage conservation. This includes an unclear understanding of how heritage resources will act as a community amenity, and how they will be conserved as part of the City's planning framework.

- **Strategic Plan 2012-2022:** Although heritage is mentioned in the Mayor's Message, it refers mainly to intangible heritage; Quality of Life and Sustainability strategies refer more specifically to built heritage. Although included, heritage issues are weakly tied to other civic goals such as sustainability, and are not mentioned in other contexts (e.g. economic development). The City should ensure that the planning framework currently being developed fully recognizes the importance of heritage conservation.
- **Official Community Plan:** Although heritage is mentioned in the OCP, the portal to heritage conservation is narrowly defined through reference to the Civic Heritage Policy. There are no direct linkages between heritage conservation and other civic policies, including:
 - Sustainability: heritage conservation is not yet an integral part of the City's policies regarding sustainability objectives, including conservation of heritage sites, neighbourhoods and infrastructure.
 - Economic Development: could include cultural tourism initiatives, job creation and business recruitment, incubation and retention policies.
 - Quality of Life: Heritage resources add significantly to our urban landscape and provide accessible streetscapes and contribute to a unique sense of place.
 - Affordable Housing Initiatives: use of existing building stock to provide a pool of affordable housing, including historic neighbourhoods.

To better integrate municipal planning, there is also a need to link the OCP with the Zoning By-Law.

- **City Centre Plan:** This plan is now underway, and the Phase 1 strategic framework report, "Public Spaces, Activity and Urban Forum" has been released. This report mentions heritage, but there is no discussion about furthering the goals of heritage conservation, defining a broader range of heritage initiatives or the identification of other potential heritage sites or features. There are no mechanisms identified for how heritage conservation or heritage amenities will be operationalized or achieved, other than referencing the current heritage program.
- **Infill Development Strategy:** This plan is now underway. Support for Infill development can either provide opportunities or challenges for heritage conservation. Policies for increased densities can assist economic viability, but if not properly calibrated can provide a disincentive for heritage retention.

Discussion: *The City should define clearly what constitutes "heritage" and how conservation will be achieved. The adoption of the Saskatoon Heritage Register will assist in a consistent definition of heritage by recognizing official heritage value, and provide a more appropriate information base for the Heritage Program, and a consistent reference point for other City policies.*

HERITAGE PROGRAM MANAGEMENT

One of the key identified issues is that the various aspects of the Heritage Program are not cross-referenced, well-funded or fully promoted. There are very few heritage sites that have any form of legal protection.

- The management of heritage sites is reactive, rather than proactive.
 - Very few heritage sites are formally identified and managed (approximately 70 sites).
 - Flagging for the purposes of development permits on the municipal database is only for designated properties, holding bylaw sites and those sites on the community heritage register.
 - Resources identified on the Built Heritage Database have no status; there is no official trigger at the permit application stage.
- There may be many other individual resources and categories of resources that have not yet been fully identified or evaluated (e.g., modern heritage, heritage districts, etc.).

- The review process for heritage conservation projects is unclear.
- There are issues regarding the City's communication with heritage property owners.
- Various policies exist but are not fully operationalized (e.g. City heritage stewardship, conservation plans for individual sites).
- There are questions about the level of conservation that have been achieved on individual projects (i.e., little demonstrated awareness of the *Standards and Guidelines*).
- The level of conservation incentives is considered inadequate; funding has to be worth applying for and be sufficient to achieve results; incentives may be cumbersome to access, especially for heritage homeowners (e.g., tax abatements spread over 10 years) and can only be accessed every 25 years.
- The *Standards and Guidelines* have not been officially adopted as the basis for permit application review, the granting of incentives and awards.
- The level of technical training in the application of *Standards and Guidelines* is inadequate.

Discussion: *The establishment of the Saskatoon Heritage Register and the consistent use of Standards and Guidelines will provide consistency and clarity for the Heritage Program. This will provide a foundation for the development of more effective conservation policies and programs.*

FOCUS OF THE HERITAGE PROGRAM

The existing Heritage Program has been primarily focused on landmark buildings in the downtown and the University of Saskatchewan. There is a need for a renewed focus on historic neighbourhoods and on residential properties. Saskatoon is a city of neighbourhoods that bring history, meaning, identity, and a sense of belonging to their residents. There was a strong desire indicated by many community and heritage stakeholders for the City to more fully recognize and celebrate neighbourhood heritage.

Discussion: *There are many residential buildings already identified on the Built Heritage Database that can be evaluated for individual significance, as groupings and for streetscape value. This should be undertaken in conjunction with the Local Area Plan process and the Infill Development Strategy.*

A BROADER DEFINITION OF HERITAGE

The definitions in the Heritage Policy should be revised in line with current thinking, e.g., material history is a type of human history; intangible heritage, a growing area of interest internationally, should also be incorporated. Despite broad definitions in the Heritage Policy, there has been a concentration on the protection of landmark buildings, with many aspects of Saskatoon's rich and layered heritage not yet officially recognized, conserved or protected. Saskatoon's heritage resources define the broad range of the city's history, but only a narrow slice of these resources have been officially identified, protected and celebrated. This review of background information and discussion with stakeholders, clearly identified that Saskatoon has inherited a rich and deeply significant legacy that includes many categories of resources in addition to buildings. Saskatoon's heritage illustrates the broad and diverse nature of community values. In some cases, City and community efforts to interpret history are fragmented, under-recognized or poorly understood. The City, through community partnerships and other initiatives, should seek to preserve, protect and celebrate a broad variety of heritage resources not limited to significant buildings. Intangible cultural heritage may be defined as "traditions or living expressions inherited from our ancestors and passed on to our descendants, such as oral traditions, performing arts, social practices, rituals, festive events, knowledge and practices concerning nature and the universe or the knowledge and skills to produce traditional crafts. Intangible cultural heritage is traditional, contemporary and living at the same time: intangible cultural heritage does not only represent inherited traditions from the past but also contemporary, community-based rural and urban practices in which diverse cultural groups take part.

Municipal planning best practices now recognize a broader understanding of what constitutes community heritage. An example is the City of Montreal's Heritage Policy, adopted in 2005, which embraces a broad concept of heritage as "any asset or group of assets, natural or cultural, tangible or intangible, that a community recognizes for its value as a witness to history and memory". More specifically, the Heritage Policy focuses on seven areas of stewardship:

- (1) built heritage, i.e. buildings, infrastructure;
- (2) archaeological heritage;
- (3) landscape heritage;

- (4) public art;
- (5) movable heritage, i.e. collections;
- (6) archival heritage, e.g. plans, photographs, written documents; and
- (7) intangible heritage.

Through this policy, the City of Montreal is establishing a vision for an integrated heritage strategy. Any such vision rests on a set of strategic goals that should include marketing, communications, internal and external partnerships, a supportive institutional framework (e.g. incentives and funding), educational outreach and innovative programs. Additionally, Montreal is forging linkages with the business community, the construction, tourism and cultural industries and media to raise general awareness of urban heritage. Montreal may be a valuable source of ideas for the City of Saskatoon.

Discussion: *The City should review the experience of other municipalities such as Montreal and New York (“Places Matter”), as well as international precedents, to better understand current best practices in defining tangible and intangible heritage resources. Resources evaluated for the Saskatoon Heritage Register should reflect the broad range of the city’s history and development.*

HERITAGE CONSERVATION INCENTIVES

Heritage conservation incentives are minimal and ineffective. Few sites receive funding, which is generally insufficient to achieve good conservation outcomes.

- The level of conservation incentives being offered is inadequate; funding has to be worth applying for in order to achieve proper conservation outcomes.
- Incentives not adequate to convince owners to participate (no other trigger).
- The tax incentives can be cumbersome to access, especially for heritage homeowners (i.e., tax abatements spread over 10 years).
- Non-profit groups cannot access tax relief (e.g. churches do not pay property taxes) and can only access very minimal grants.
- The type of incentives available may not suit all property owners (e.g. tax abatements for homeowners are ineffective). For lower valued homes, the property taxes

are low enough that the incentives are not effective. Tax incentives can be difficult for homeowners to access, and lessen in value over time.

- Properties cannot apply for tax abatements again for 25 years.
- There are no effective incentives for the ongoing maintenance of heritage sites.

Discussion: *Heritage conservation will be achieved more effectively through incentives rather than regulations. The City should undertake a full review of a range of potential new heritage incentives, including mechanisms for developers to leverage abatements towards securing financing for conservation efforts. This should include the development of enhanced incentive funding options for properties that do not pay taxes (i.e. churches) as well as homeowners. While the incentives review is underway, the City should consider an immediate increase in the upper limit of the City’s incentives for non-governmental tax-exempt designated properties to a maximum of \$150,000 to match the level of incentives offered to commercial properties. Similarly, the grant amounts offered under the Façade Rehabilitation and Renovation Program should be increased. A review of other western Canadian municipal programs (with direct comparison to Edmonton) indicates that Saskatoon should provide annual funding in the range of \$250,000, approximately \$1 per resident per year, as a starting point for heritage incentives. These funds could be allocated on a first-come, first-served basis. There should also be support programs that enhance the conservation planning process, including the preparation of Statements of Significance and grants for the ongoing maintenance of heritage buildings. Sources of new incentive funds could include a surcharge on demolition permits, development cost charges or a combination of mechanisms.*

HERITAGE CONSERVATION OUTCOMES

There are a number of issues regarding the level of heritage conservation that is being achieved, and the conformance of work to national *Standards and Guidelines*.

- Building codes and standards have been strictly applied; flexibility is essential for non-conforming situations at heritage sites, to ensure the protection of character-defining elements and economic viability.

- Individual projects have not consistently achieved conservation standards as outlined in the *Standards and Guidelines*.
- The *Standards and Guidelines* have not been officially adopted as the basis for permit application review or the granting of incentives or awards.
- The level of technical training in the application of the *Standards and Guidelines* is inadequate.

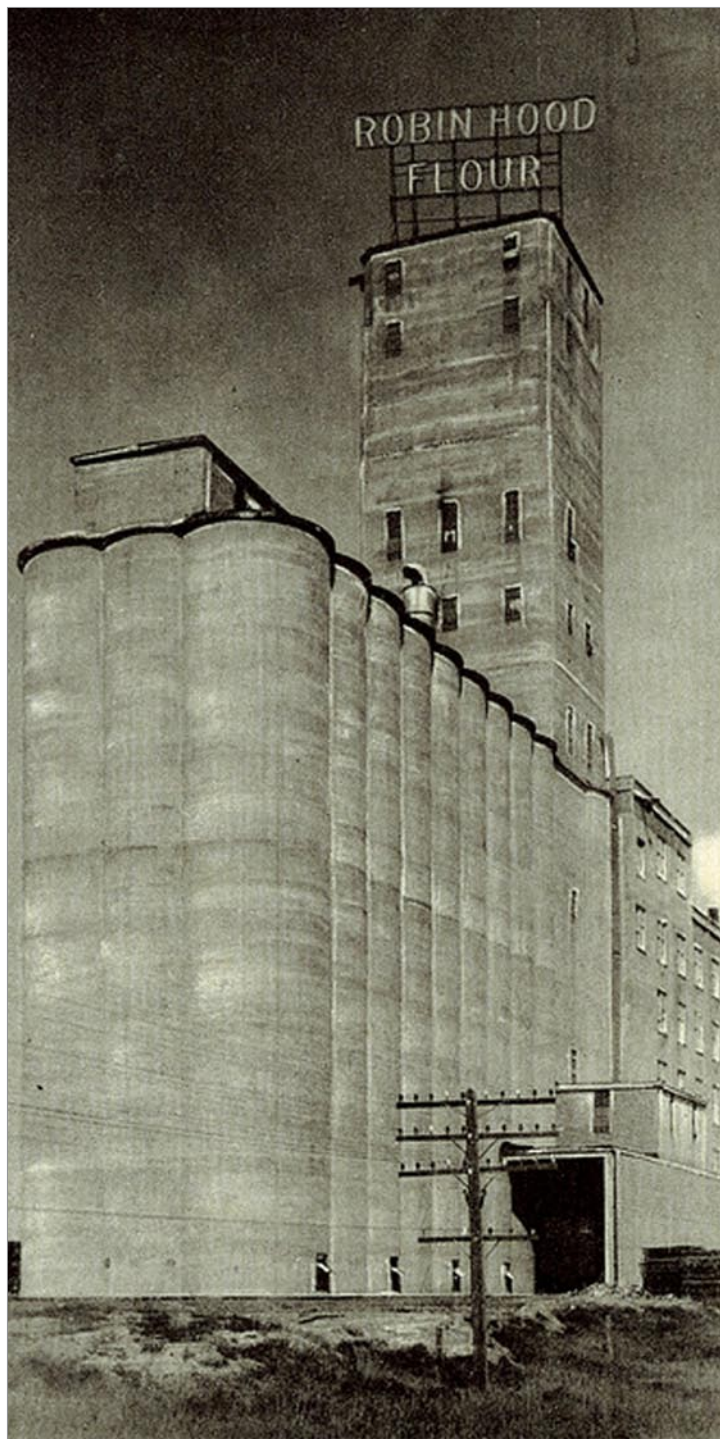
Discussion: *Recent heritage projects have been inconsistent in the level of conservation that has been achieved. The Standards and Guidelines provide a consistent point of reference and establish a baseline of best practice. The Heritage Program should use the Standards and Guidelines as the basis for project approval as well as the granting of conservation incentives.*

HERITAGE EDUCATION AND AWARENESS

Public education and awareness about heritage issues is perceived as weak.

- While Saskatoon's history is told by a number of museums and heritage institutions, including Wanuskewin Heritage Park, the Western Development Museum's Boomtown and the Meewasin Valley Interpretive Centre, gaps exist in efforts to provide a more coordinated approach to collecting, preserving and interpreting Saskatoon's story.
- There is limited space available in the Saskatoon Public Library's Local History Room.
- The City Archives and the City Heritage Awards program have a low public profile.
- The approach to heritage programs such as Doors Open, Heritage Fairs and Culture Days is not fully coordinated.
- The full potential of the Marr Residence as a treasured community heritage site has yet to be fully realized.
- Ad-hoc program funding is provided to organizations such as the Saskatoon Heritage Society.

Discussion: *The City, alone and in partnership, has already undertaken effective initiatives in the implementation of interpretive features, including plaques for heritage buildings, interpretive signs on the MVA trail and at the Forestry Farm Park and Zoo; and signs in City Parks. This is a good starting point for future initiatives. Consideration should be given to developing a consistent brand and image for the City's interpretation initiatives.*



Robin Hood Flour Mills, c. 1930 [The BC Printing & Litho Ltd., Vancouver, BC, publisher] (Peel's Prairie Provinces, a digital initiative of the University of Alberta Libraries PC002845)

3. A RENEWED HERITAGE PROGRAM

The following Vision Statement expresses the aspirations – expressed throughout the consultative process – for a more effective municipal heritage program.

VISION

The City of Saskatoon retains a vibrant, sustainable, and diverse heritage character that includes our tangible and intangible heritage, enriches our urban streetscapes, and enhances the quality of life in Saskatoon by providing cultural and educational opportunities. As we plan for Saskatoon’s future growth, we will respect our past, and provide a balance for new development that recognizes the importance of our heritage resources, our intangible cultural heritage and our natural landscapes. The City of Saskatoon recognizes the important role that heritage conservation plays in enhancing both cultural and economic vitality, and will support a Heritage Conservation Program that conserves significant heritage resources within the evolving context of community development:

- Enhance Saskatoon’s unique sense of place, inseparable from its cultural topography, historical development and neighborhoods;
- Identify, evaluate, manage and commemorate significant heritage legacy resources that illustrate the broad range of Saskatoon’s historical development;
- Integrate the management of heritage resources within the broad municipal planning policy framework;
- Provide a balanced approach to new development that recognizes the importance of our heritage resources, our intangible cultural heritage and our natural landscapes;
- Support sustainable urban development by conserving and interpreting significant heritage resources that illustrate the city’s complex history and culturally diverse traditions;
- Connect past, present and future through the conservation of heritage resources, commemoration of community history and traditions, and the creation of community heritage partnerships;
- Foster economic development and viability through long-term investment in heritage resources, cultural facilities and programs, and cultural tourism initiatives; and
- Plan for the development of healthy, vibrant and sustainable neighbourhoods by building on existing land use patterns, historic infrastructure and community identity.



The Daylight Theatre at 136 - 2nd Avenue South, February 1940 (Saskatoon Public Library Local History Room A-1268)

GOALS

The City of Saskatoon Heritage Program will be based on the following four key Goals and their associated Actions:

GOAL 1: CITY HERITAGE STEWARDSHIP

Provide leadership in heritage conservation through a policy of City heritage stewardship.

ACTION 1.1: ENHANCE MUNICIPAL LEADERSHIP

In co-operation with key community partners, the City should set, by example, the standard for other owners of heritage properties. Fully operationalize the policies for the management of the City's own heritage resources, including the highest standards in the conservation and stewardship of heritage sites under its direct control.

ACTION 1.2: UPDATE CITY-OWNED HERITAGE PROPERTY PROGRAM

Undertake a review of the current management framework for City-owned heritage and potential heritage sites, and improve protection, management, programming and interpretation.

ACTION 1.3: DEVELOP HERITAGE PARTNERSHIPS

Develop a full range of partnership opportunities, including with senior levels of government, community organizations and key heritage stakeholders.

GOAL 2: ENHANCED HERITAGE PROGRAM

Develop an enhanced City of Saskatoon Heritage Policy and Program framework that links to broader civic goals of sustainability, economic development and neighbourhood planning, while providing significant and sustainable development opportunities.

ACTION 2.1: INTEGRATE WITH MUNICIPAL PLANNING

Ensure that the municipal planning framework fully recognizes the importance of heritage conservation, and that heritage conservation is included as a key goal in emerging policy documents. Adopt a consistent definition of what constitutes "heritage" and ensure that the City's policy framework integrates references to heritage conservation as required.

ACTION 2.2: REVISE THE EVALUATION FRAMEWORK

Adopt a values-based assessment for the review and update the City's framework for the evaluation of heritage resources. Clearly identify the value of heritage sites that are being managed through regulation or are eligible for incentives. An improved evaluation framework will allow for a better understanding of the broad range of potential heritage resources located throughout the entire city, ground the identification and evaluation of heritage resources in a solid, defensible academic footing and assist in the integration of heritage resources within the planning for each neighbourhood, based on local identity and character.

ACTION 2.3: ESTABLISH THE SASKATOON HERITAGE REGISTER

Establish a comprehensive Saskatoon Heritage Register. The existing situation is confusing as to what sites are identified as significant, what level of protection is offered, and what regulations apply to the different categories of resources. Parks Canada has adopted the name **Canadian Register of Historic Places** for its database containing information about recognized historic places of local, provincial, territorial and national significance. The **Saskatoon Heritage Register** will be established as the official listing of sites considered to have heritage value and that will be managed under the Heritage Program. It should initially include those sites officially protected and those that have been evaluated as having heritage value. Over time, add sites evaluated as significant to the Register.

ACTION 2.4: ESTABLISH MUNICIPAL FLAGGING PROCEDURES

As the Saskatoon Heritage Register is developed, use it as the threshold for municipal flagging of site, heritage negotiations and applications for incentives. Establish comprehensive flagging procedures on the municipal computer system to act as a "distant early warning system", in order to ensure a proactive response to heritage issues. This will ensure that owners are aware of potential heritage significance, and allow an early City response when appropriate.

ACTION 2.5: IMPROVE HERITAGE CONSERVATION INCENTIVES

Existing City heritage conservation incentives should be reviewed and updated to ensure that they are aligned with the renewed focus of the *Heritage Policy and Program Review*. A revised program of effective incentives should be available that will strategically encourage authentic conservation and rehabilitation, by encouraging owners to invest in their properties. The amount of incentives should be directly related to the level of heritage conservation, and should be offered in exchange for legal protection.

Any proposed work on the site should be compatible with, and sympathetic to, the character and context of the heritage site, as evaluated based on a Statement of Significance and as assessed against the *Standards and Guidelines*.

ACTION 2.6: IMPROVE HERITAGE CONSERVATION OUTCOMES

Once the *Standards and Guidelines for the Conservation of Historic Places in Canada* have been adopted by the City, use them as the basis for all heritage project review and the granting of heritage incentives. Ensure that there is adequate training at all levels in the municipal structure to implement heritage initiatives based on the *Standards and Guidelines*.

GOAL 3: A BROADER RECOGNITION OF HERITAGE
Preserve, protect and interpret significant historical resources that illustrate the broad range of Saskatoon's heritage values.

ACTION 3.1: BROADEN THE DEFINITION OF HERITAGE

The City should seek, through leadership and partnerships, to identify, protect and celebrate a broad range of potential heritage resources for the valuable contribution that they make toward a complete understanding of Saskatoon's history. The City's Heritage Program should be inclusive of different types of heritage resources, both tangible and intangible.

ACTION 3.2: IMPROVE HERITAGE EDUCATION AND AWARENESS

The City should continue to actively support heritage education and awareness initiatives, through community partnerships and as resources allow. This will provide leadership in heritage communication that will raise the profile of heritage by broadly supporting community partners that can inform a wide audience, including community associations, museums and the educational community. The City's Heritage Program could also support the development of a network to exchange knowledge and practices between 'key heritage stakeholders'. Proactively communicating a pro-heritage message through local media should also be a priority.



S.A. Early Seed and Co. building at 198 Avenue A South, c.1930s [Leonard A. Hillyard photo] (Saskatoon Public Library Local History Room A-1696)



Winter view of Riversdale looking east from St. Paul's Hospital, c. 1940s [Dr. F.E. Wait photo] (Saskatoon Public Library Local History Room LH-5141)

GOAL 4: NEIGHBOURHOOD HERITAGE PLANNING

Plan for the sustainable development of healthy neighbourhoods, based on their historic identity and character.

ACTION 4.1: ENHANCE PLANNING FOR HERITAGE NEIGHBOURHOODS

Residential neighbourhoods bring history, meaning, identity and a sense of belonging to their residents. The unique identity, character and heritage resources of each neighbourhood should be identified, protected and commemorated. The determination of neighbourhood character should derive from stakeholder engagement and a broadly-based assessment, including buildings, structures, street trees, streetscape and distinctive street lighting. Neighbourhood revitalization can build on the efforts of residents to improve their own communities. The residents are able to identify local issues, and develop solutions for successful and sustainable capacity building and for an enhanced quality of life. This community-driven approach to neighbourhood renewal can be supported through a policy framework that builds on the existing strengths of each community. There are currently few incentives that assist the owners of heritage homes in restoration and maintenance, and consequently there has been little protection of the broader spectrum of Saskatoon's residential heritage resources. Adaptive reuse of existing building stock and infrastructure will also be significant factors in achieving sustainability targets.

3.1 IMPLEMENTATION STRATEGY

The recommended actions will unfold over time, through the combined efforts of the City, stakeholders, individuals and community partnerships. This will benefit from a coordinated community effort to advance the goals of heritage conservation. The following implementation strategy provides a road map for how the actions can be prioritized, and what are the expected outcomes. Each action is prioritized based on a ten-year timeline. This will assist in the development of annual work programs, and in determining annual budget requirements. There are a number of outside resources that may be available to help undertake some of these initiatives, including senior government grant programs.

PRIORITY

- **HIGH:** Immediate Priority
- **MEDIUM:** Medium-Term Priority
- **LOW:** Long-Term Priority
- **ONGOING:** Continuing Priority

TIMEFRAME FOR IMPLEMENTATION:

- **SHORT:** Short Term Actions: up to 3 years (2012-2015)
- **MEDIUM:** Mid-Term Actions: 3-5 years (2015-2017)
- **LONG:** Long Term Actions: 5-10 years (2017-2022)
- **ONGOING:** underway and continuing

Monitoring:

Once updated policies, procedures and regulations are established, it is necessary to continue to monitor the process to ensure its ongoing effectiveness. A cyclical re-examination of the Heritage Policy and Program should be initiated, to review the results, effectiveness and direction on a regular basis. This could occur at the end of each implementation cycles, with a review at 3, 5 and 10 years, to ensure that the Policy and Program remain relevant and useful.



NWMP barracks on 1st Avenue, c. 1900 (Saskatoon Public Library Local History Room LH-437)



Plowing a trench on Avenue E North near Bedford Road with the two-storey house, 511 Avenue E North, in the background, c. 1920 [Leonard A. Hillyard photo] (Saskatoon Public Library Local History Room A-2542)

GOAL ONE: CITY HERITAGE STEWARDSHIP			
ACTION 1.1: ENHANCE MUNICIPAL LEADERSHIP	PRIORITY	TIME	OUTCOME
1.1.1 Confirm the City's leadership role in this significant area of public policy and inform the public of its intentions to achieve high heritage standards.	High	Short	Lead by example; civic stewardship; increased community pride
1.1.2 Adopt the <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i> as the basis for all City heritage initiatives and as the basis for all heritage permit applications and the granting of incentives.	High	Short	Improved heritage conservation outcomes; greater certainty in the process
1.1.3 Provide enhanced financial support for the implementation of the Heritage Policy and Heritage Program.	Ongoing	Ongoing	More effective
ACTION 1.2: UPDATE CITY-OWNED HERITAGE PROPERTY PROGRAM	PRIORITY	TIME	OUTCOME
1.2.1 Identify and evaluate the full range of City-owned heritage resources, including cultural and natural landscapes.	High	High	Support for civic stewardship initiatives
1.2.2 Prepare Conservation Plans and Maintenance Agreements for City-owned heritage sites, based on the <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i> .	Medium	Medium	Improved heritage conservation outcomes; improved civic stewardship
1.2.3 Review the protection, management, programming and interpretation of City-owned heritage and potential heritage properties.	Medium	Medium	Improved heritage conservation outcomes
ACTION 1.3: DEVELOP HERITAGE PARTNERSHIPS	PRIORITY	TIME	OUTCOME
1.3.1 Develop a full range of partnership opportunities.	Ongoing	Ongoing	Work with community, corporate and other partners to advance Heritage Program goals



J.H. Early Motor Company Ltd. at 140-154 3rd Avenue South, c. 1928 - 1931 [Leonard A. Hillyard photo] (Saskatoon Public Library Local History Room A-1199)

GOAL TWO: ENHANCED HERITAGE PROGRAM			
ACTION 2.1: INTEGRATE WITH MUNICIPAL PLANNING	PRIORITY	TIME	OUTCOME
2.1.1 Integrate heritage initiatives with broader civic goals of economic development, sustainability quality of life, affordable housing initiatives and neighbourhood planning in all aspects of the municipal planning framework. Revise or develop the City's policy framework to consistently reference what is "heritage" and how it will be conserved.	High	Short	Integrated civic response to heritage issues
2.1.2 Revise City of Saskatoon Council Policy C10-020 to reflect the recommendations of this review, including the definitions of heritage, and recognize the <i>Standards and Guidelines</i> as the basis of the Heritage Program.	High	Short	Improved Heritage Program framework and outcomes
2.1.3 In consultation with MHAC, the Heritage Coordinator should lead in implementing heritage strategies and actions identified in the Heritage Policy and Program Review.	Ongoing	Ongoing	Improved coordination and response
2.1.4 Identify department responsibilities and internal coordination in the development of an integrated response to heritage issues.	High	Short	Improved coordination and response
2.1.5 Ensure fairness, clarity and certainty through an open public process of reviewing heritage applications, and cut "red tape" by simplifying and streamlining procedures.	High	Short	More responsive in dealing with public owners; certainty in the "rules"
2.1.6 Provide administrative support for the Heritage Program through increased budget and staffing as required, as new initiatives are initiated, including: <ul style="list-style-type: none"> • evaluation of the Built Heritage Database • implementation of the Heritage Register • uptake of increased incentives 	High	Ongoing	Improved coordination and response through enhanced staff resourcing over time
2.1.7 Enable MHAC with an initiating role in bringing issues forward to Council.	High	Short	Improved communication of heritage issues
2.1.8 As part of the Infill Development Strategy require that Heritage Impact Statements be prepared by developers of projects that include, or are adjacent to, heritage resources as a way of generating information necessary for designation and a conservation plan.	Ongoing	Ongoing	More clarity in the development process; improved response to potential heritage issues
2.1.9 Revise the wording of The Heritage Property (Approval of Alterations) bylaw No. 8356 to exempt repairs and minor alterations from referral to MHAC.	High	Short	Less "red tape"; faster response to minor issues
2.1.10 Explore municipal best practice heritage policies regarding sustainability, economic revitalization, tourism, affordable housing, etc.	Ongoing	Ongoing	Review and consideration of effective precedents; better information base for policy development

GOAL TWO: ENHANCED HERITAGE PROGRAM (CONTINUED)			
ACTION 2.2: REVISE THE EVALUATION FRAMEWORK	PRIORITY	TIME	OUTCOME
2.2.1 Review the City's existing heritage evaluation criteria and replace the numerical analysis component with values-based criteria and the use of Statements of Significance.	Medium	Medium	Improved heritage outcomes; values-based assessment as the basis of the Heritage Program
2.2.2 Require Statements of Significance as the basis of any building / development permit application or review of proposed interventions to heritage sites.	High	Ongoing	Improved heritage outcomes; Improved understanding of heritage value
2.2.3 Undertake the development of a city-wide Thematic Framework and a Historic Context Statement that will support the evaluation of Saskatoon's heritage resources.	Medium	Medium	Improved overall understanding of historic context; enables values-based assessment
ACTION 2.3: ESTABLISH THE SASKATOON HERITAGE REGISTER	PRIORITY	TIME	OUTCOME
2.3.1 Establish the Saskatoon Heritage Register by Council Resolution, which will initially include identified heritage sites. Ensure that the Heritage Register is consistently referenced in the City's policy framework.	High	Short	Greater certainty of what constitutes "heritage"; enhanced clarity for property owners; streamline the development process by removing uncertainty
2.3.2 Make Heritage Register easily available to the public through digital access.	High	Short	Public awareness of the Heritage Program and heritage sites
2.3.3 Update Heritage Program regulations based on the Heritage Register mechanism, and use the Register as the basis for eligibility for heritage conservation incentives.	High	Short	Greater certainty of what constitutes "heritage"
2.3.4 Initiate an evaluation of the Built Heritage Database, to identify the sites of highest heritage value that can be included on the Register.	High	Ongoing	Improved information base for the Heritage Program; greater certainty for the Program
2.3.5 Identify heritage resources other than buildings such as cultural landscapes that can be included on the Register.	Ongoing	Ongoing	Broader recognition of Saskatoon's heritage
ACTION 2.4: ESTABLISH MUNICIPAL FLAGGING PROCEDURES	PRIORITY	TIME	OUTCOME
2.4.1 As it is developed, use the Saskatoon Heritage Register as the basis for flagging procedures on the municipal database.	High	Ongoing	Greater certainty of what constitutes "heritage"
ACTION 2.5: IMPROVE HERITAGE CONSERVATION INCENTIVES	PRIORITY	TIME	OUTCOME
2.5.1 Remove current disincentives to heritage conservation (e.g. access to tax incentives once every 25 years).	Ongoing	Ongoing	Improved heritage conservation outcomes
2.5.2 Undertake economic case studies of previous heritage incentive packages, determine how effective they were in achieving conservation outcomes, what would be required to improve the heritage response and the resulting community benefits.	High	Short	Enhanced effectiveness of financial resources in achieving goals of the Heritage Program

GOAL TWO: ENHANCED HERITAGE PROGRAM (CONTINUED)			
ACTION 2.5: IMPROVE HERITAGE CONSERVATION INCENTIVES (CONTINUED)	PRIORITY	TIME	OUTCOME
2.5.3 Undertake a review of a range of potential new heritage incentives, including mechanisms for developers to leverage abatements towards securing financing for conservation efforts, providing Statements of Significance, and establishing grants for the ongoing maintenance of heritage buildings.	High	Short	More effective conservation results
2.5.4 Develop enhanced incentive funding options for properties that do not pay taxes (i.e. churches). While the incentives review is underway, consider an immediate increase in the upper limit of the City's incentives for non-governmental tax-exempt designated properties to a maximum of \$150,000 to match the level of incentives offered to commercial properties.	High	Short	More effective conservation results
ACTION 2.6: IMPROVE HERITAGE CONSERVATION OUTCOMES	PRIORITY	TIME	OUTCOME
2.6.1 Provide City Staff and MHAC with the training and resources to fully understand the use of the <i>Standards and Guidelines</i> .	High	Ongoing	Improved information base for the Heritage Program; Improved conservation outcomes
2.6.2 Provide the Infrastructure Services Department with the training and resources to adopt proper heritage conservation procedures for City-owned heritage sites.	High	Ongoing	Improved conservation outcomes
2.6.3 Review the application of building codes and standards on heritage projects. Consult with the Province regarding the provision of flexible exemptions and equivalencies. Determine if appropriate equivalencies and exemptions can be consistently offered on heritage projects.	High	Ongoing	Improved conservation outcomes
2.6.4 Provide improved training and resources for Building Standards staff in the proper application of <i>Standards and Guidelines</i> as well as in flexible responses to the application of building codes and standards in heritage situations.	High	Ongoing	Improved conservation outcomes

GOAL THREE: A BROADER RECOGNITION OF HERITAGE			
ACTION 3.1: BROADEN THE DEFINITION OF HERITAGE	PRIORITY	TIME	OUTCOME
3.1.1 Continue to identify built, natural and cultural heritage resources using an expanded definition of heritage and heritage conservation.	Ongoing	Ongoing	Broader recognition of Saskatoon's heritage
3.1.2 Explore current best practices (e.g. City of Montreal and New York "Places Matter") in the treatment of a broader range of heritage resources.	Ongoing	Ongoing	Broader recognition of the Saskatoon's story and layers of history
3.1.3 Study, and where appropriate, establish Heritage Conservation Districts as a way of recognizing a wide number and type of heritage resources.	Medium	Medium	Enhanced conservation of historic streetscapes and neighbourhoods
3.1.4 Continue partnership initiatives to implement a program of interpretive features, such as commemorative plaques and signs throughout the city for built, natural, and cultural heritage using common themes such as pioneer settlement, First Nations settler relations, and river history, as well as more recent historical themes such as post-World War II immigration, and the boom and bust economy.	Ongoing	Ongoing	Enhanced public education and awareness through community partnerships
ACTION 3.2: IMPROVE HERITAGE EDUCATION AND AWARENESS	PRIORITY	TIME	OUTCOME
3.2.1 Encourage collaborations between heritage organizations and schools to enhance the teaching of local history.	Ongoing	Ongoing	Enhanced public education and awareness
3.2.2 Realize heritage awareness through public programming, including commemoration, interpretation and public art, as well as the ongoing development of community partnerships.	Ongoing	Ongoing	Enhanced public education and awareness
3.2.3 Make historical information available through a variety of means to enhance public awareness and understanding of local history and heritage resources. This could include: <ul style="list-style-type: none"> • Provide a more coordinated approach to collecting, preserving and interpreting Saskatoon's story • Expand support for the Local History Room • Enhance the profile of the City Archives • Coordinate Doors Open, Heritage Fair and Culture Days 	Ongoing	Ongoing	Enhanced public access to heritage information
3.2.4 Develop a consistent brand and image for the City's interpretation initiatives.			
3.2.5 Support and increase the profile of Saskatoon's Heritage Awards Program by advertising the program details and award recipients.	High	Short	Enhanced public education and awareness

GOAL FOUR: NEIGHBOURHOOD HERITAGE PLANNING			
ACTION 4.1: ENHANCE PLANNING FOR HERITAGE NEIGHBOURHOODS	PRIORITY	TIME	OUTCOME
4.1.1 Support enhanced heritage conservation of neighbourhood heritage character through the Local Area Plan process, and ensure heritage conservation policies are appropriately referenced and potential heritage properties are recognized as plans for heritage neighbourhoods are updated.	High	Ongoing	Enhanced conservation of historic streetscapes and neighbourhoods
4.1.2 Build upon historic integrity and infrastructure when developing infill plans for historic neighbourhoods. Ensure the inclusion of mechanisms that will provide incentives for the retention of historic resources.	High	Ongoing	Support for broader civic goals; Enhanced conservation of historic streetscapes and neighbourhoods; achieve sustainability targets
4.1.3 Support affordable housing policies through continued and adaptive re-use of existing housing stock.	Medium	Ongoing	Support for broader civic goals
4.1.4 Enhance the range of conservation incentives and options for heritage homeowners.	High	Ongoing	Enhanced conservation of historic streetscapes and neighbourhoods



Three Nutana Schools including the "Little Stone School" - now on the University of Saskatchewan grounds, c. 1909-1912 (Saskatoon Public Library Local History Room LH-401)

ACKNOWLEDGEMENTS

PROJECT TEAM

The project team for the City of Saskatoon Heritage Policy and Program Review 2011-12 consisted of Donald Luxton, Principal, and Laura Pasacreta, Associate, of Donald Luxton & Associates Inc.; and Catherine C. Cole, Principal of Catherine C. Cole & Associates.

CITY OF SASKATOON

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City of Saskatoon:

- Randy Grauer, General Manager, Community Services Department
- Alan Wallace, Manager, Planning and Development Branch
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- Kevin Kitchen, Manager, Community Initiatives
- Rick Howse, Corporate Projects Coordinator
- Frances Westlund, Arts and Grants Consultant
- Joanne Stevens, Manager of Accounting & Support Services, Revenue Branch
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- Jeff O'Brien, City Archivist
- Kim Berge, Superintendent, Sportsfields/Irrigation/Cemeteries, Parks Branch
- Jim Greenshields, Superintendent, Boards and Agency Facilities, Facilities Branch
- Marlene Hall, Deputy City Clerk, City Clerk's Office

City of Saskatoon Municipal Heritage Advisory Committee:

- Dave Denny, Chair
- Allan Dudderidge (Vice-Chair)
- Councillor Charlie Clark
- Jim Bridgeman
- Terry Scaddan
- Dorothea Funk
- Janet Glow
- Peter Kingsmill
- Sarah Marchildon
- Maggie Schwab
- Lenore Swystun
- Mike Velonas
- Michael Williams
- James Winkel
- Mary Tastad (2011)
- Cecilia Elizabeth (2011)
- Sheldon Wasylenko (2011)

Meewasin Valley Authority

- Mike Velonas, Resource Planning Manager
- Amanda Dionne Janzen, Interpreter

COMMUNITY CONSULTATION

Saskatoon Heritage Society (Adam Pollock, Lenore Swystun, Claire Bullaro, Brigitte Scott, Georgiana Chartier, Linda Epstein, Peggy Sarjeant, Andrew Whiting, Patty McGillivray, Jody Cason, Roland Dumont and Megan Taupadel); Ken Achs, Mid-West Group of Companies; Derek E. Kindrachuk, Principal Architect, Kindrachuk Agrey Architecture; Brian and Ann Crages, home owners; Victoria Neufeldt, home owner; Charlie Foster, home owner; Danny Roy, student; Helen Ferh and Randy Duncan, home owners; Jack Hillson, home owner; Andrew Wallace, Architect, Associate Director, Space Planning, University of Saskatchewan; Sue Barrett, Marr Residence; Brigitte Scott, Greater Saskatoon Catholic Schools; Jim Smith, Knox United Church; Michele Wright, Executive Director, Asset Protection Insurance Exchange; Evelyn Page, St. Josephs Parish; Joanna Langille, St. Josephs Parish; Wendell Owen, Knox United Church; Louise Coates, heritage building owner; Andrew Turnbull, Manager, Bessborough Hotel; Silas E. Halyk, Lawyer and heritage home owner; Jeff Lindgren, SREDA; Kristin M. Enns-Kavanogh, Archaeologist, Stantec Consulting; Jeff Balon, North Ridge Development Corp.; and Joan Champ, Executive Director, Western Development Museum.



The Union Bus Depot at 347 2nd Avenue South, c. 1935 [Leonard A. Hillyard photo] (Saskatoon Public Library Local History Room A-1300)

APPENDIX A: DEFINITIONS

Canadian Register of Historic Places: The Canadian Register is a searchable database containing information about recognized historic places of local, provincial, territorial and national significance. The online Register may be found at: <http://www.historicplaces.ca/>

Cultural Landscape: A landscape designed and created intentionally by man"; (ii) an "organically evolved landscape" which may be a "relict (or fossil) landscape" or a "continuing landscape"; or a (iii) an "associative cultural landscape" which may be valued because of the "religious, artistic or cultural associations of the natural element. [World Heritage Committee Operational Guidelines]

Heritage Impact Statement: A document consisting of a statement demonstrating the heritage significance of a heritage site, an assessment of the impact a proposed development will have on the significance, and proposals for measures to minimize the impact.

Heritage Register: A list of sites with qualities or characteristics that are recognized as having significant heritage value.

Heritage Value: The aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present or future generations. The heritage value of a historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Historic Context Statement: A historic context statement provides a framework for understanding and evaluating historical resources. The significance of an individual site can be judged and explained by providing information about patterns and trends that define community history. Each site should be considered in the context of the underlying historical influences that have shaped and continue to shape the area. Historic context may be organized by theme, geographic area, or chronology, and is associated with a defined area and an identified period of significance. In this way, common, ever-present and representative historic sites, as well as interesting, rare or exceptional examples, can be identified and placed in context.

Historic Place: A structure, building, group of buildings, district, landscape, archaeological site or other place in Canada that has been formally recognized for its heritage value.

Human History: the study of the human past as it is described in the written documents artifacts, photographs, etc. left by human beings as well as through oral records.

Intangible Cultural Heritage: the practices, representations, expressions, knowledge, skills – as well as the instruments, objects, artifacts and cultural spaces associated therewith – that communities, groups and, in some cases, individuals recognize as part of their cultural heritage; constantly recreated by communities and groups in response to their environment, their interaction with nature and their history, and provides them with a sense of identity and continuity, thus promoting respect for cultural diversity and human creativity. (UNESCO)

Natural Heritage: any natural thing, phenomenon or concept, considered to be of scientific significance or to be a spiritual manifestation.

Statement of Significance: identifies the heritage value of an historic place and lists the character-defining elements that must be retained to preserve this value. The Statement of Significance allows professionals, planners, and the public at large to understand a community's recognition and valuation of the historic place. Examples may be found by searching the Canadian Register of Historic Places:

<http://www.historicplaces.ca/>

Standards and Guidelines for the Conservation of Historic Places in Canada: provide a common benchmark to guide restoration and rehabilitation of historic places, ensuring that heritage values are preserved and that these historic places continue to be useful resources in the life of a community. The *Standards and Guidelines* may be downloaded at:

<http://www.historicplaces.ca/en/pages/standards-normes.aspx>

Tangible Heritage: physical objects and sites such as buildings, cultural landscapes, streetscapes, archaeological sites, artifacts, and documents.

Thematic Framework: A thematic framework organizes and defines historical themes that identify significant sites, persons and events. Historical themes provide a context within which heritage significance can be understood, assessed and compared. Themes help to explain why a site exists, how it was changed and how it relates to other sites linked by the theme. Historical themes are identified when a thematic history is prepared. The *National Historic Sites of Canada System Plan* provides an overall thematic framework that is a comprehensive way of looking at Canadian history and identifies sites of national significance.

APPENDIX B: IDENTIFIED HERITAGE SITES

BUILDING NAME	PROPERTY ADDRESS	DESIGNATION			
		SASK	PROV	RWY	FED
Land Titles Office	311 21st Street East		1985		
College Building	105 Administration Place		1982		
Albert School	610 Clarence Avenue / 1001 11th Street East	1983			
Alexander Residence	1020 Spadina Crescent East	2001			
Arrand Block	520-524 11th Street East	1989			
Arthur Cook Building	306 Ontario Avenue	2011			
The Broadway Theatre	715 Broadway Avenue	1977			
Bowerman Residence	1328 Avenue K South	1986			
CPR Station (NHS)	305 Idylwyld Drive North	1994		1990	1976
F.P. Martin House (1 & 2)	716 & 718 Saskatchewan Crescent East	1997			
Fairbanks-Morse Warehouse	12 / 14 23rd Street East	1985			
Former Fire Hall No. 3	612 11th Street East	1991			
Hutchinson Building	144 2nd Avenue South	1999			
Little Chief Service Station	344 20th Street West	2003			
Superintendent's Residence / Forestry Farm Park and Zoo National Historic Site of Canada	1903 Forest Drive / Central Avenue	1990			1990
Marr Residence	326 11th Street East	1982			
Independent Order of Odd Fellows Temple	416 21st Street East	1983			
Pettit/Sommerville Residence	870 University Drive	1988			
Pioneer (Nutana) Cemetery	2310 St. Henry Avenue	1982			
Rugby Chapel	1337 College Drive	1987			
Trounce / Gustin Houses	512 10th Street East	1989	2008		
Thirteenth St. Terrace (Row Housing)	711-723 13th Street East	2000			
Saskatoon (Main Street) Electrical System Substation	619 Main Street	2000			
Old Stone School	University of Saskatchewan	1982			
St. John's Anglican Cathedral	816 Spadina Crescent East	2004			
Knox United Church	838 Spadina Crescent	2003			
Cambridge Court	129 5th Avenue North	2007			
Landa Residence	202 Avenue E South	2005			
Bottomley House	1118 College Drive	2006			
Aden Bowman Residence	1018 McPherson Avenue	2006			
McLean Block	261 / 263 3rd Avenue South	2006			
Larkin House	927 5th Avenue North	2007			
Next-of-Kin Memorial Avenue NHS at Woodlawn Cemetery	1502 2nd Avenue North				1992
VIA Rail (Union) Station	Chappel Drive			1996	

CITY OF SASKATOON COMMUNITY HERITAGE REGISTER PROPERTIES	
PROPERTY ADDRESS	BUILDING NAME
505 10th Street	Grace United Church
609 King Street	Nurses Residence

CITY OF SASKATOON HOLDING BYLAW NO. 6770 PROPERTIES	
PROPERTY ADDRESS	BUILDING NAME
20th Street & Avenue B	Adilman's Department Store
906 Saskatchewan Crescent	Bell House
601 Spadina Crescent East	Bessborough Hotel
1022 Temperance Street	Board of Trade Office
Broadway Avenue	Broadway Bridge
1306 Lorne Avenue	Buena Vista School
848 Saskatchewan Crescent East	Calder House
105 21st Street East	Canada Building
3rd Avenue & 21st Street East	Eaton's Department Store
243 21st Street East	Flanagan/Senator Hotel
307 Saskatchewan Crescent West	Hopkins House
Kinsmen Park	Hugh Cairns Memorial
416 11th Street East	Irvine House
721 Avenue K South	King George School
135 21st Street East	MacMillan Building
1030 Idylwyld Drive North	The Normal School
100 115th Street West	Powe Residence
221 Cumberland Avenue	R.J.D. Williams School
320 20th Street West	Roxy Theatre
241 2nd Avenue South	Royal Bank
224-226 Pacific Avenue	Rumely Warehouse
417 21st Street East	Saskatoon Club
411 11th Street East	Saskatoon Collegiate Institute
321 6th Avenue North	Schrader House
214 Avenue M South	St. George's Ukrainian Catholic Church
535 8th Street East	St. Joseph's Church
1406 8th Avenue North	St. Mark's Anglican Church
5th Avenue North near 24th Street	Star Phoenix Clock
810 Broadway Avenue	Stewart's Drug Store
304 3rd Avenue North	Third Avenue United Church
206 2nd Avenue North	Thompson Chambers / Avalon Block
919 20th Street West	Ukrainian Orthodox Cathedral of the Holy Trinity
College Drive	University Bridge
Kiwanis Park near Broadway	The Vimy Memorial

APPENDIX C: PROVINCIAL HERITAGE SITES

The following are the three sites within the City of Saskatoon that have been designated by Saskatchewan under the *Heritage Resources Act*.

BUILDING NAME	PROPERTY ADDRESS	DATE
Trounce / Gustin Houses	512 10th Street East	2008
College Building NHS	105 Administration Place	1982
Land Titles Office	311 21st Street East	1985

APPENDIX D: NATIONAL HISTORIC DESIGNATIONS

The Historic Sites and Monuments Board of Canada makes recommendations to the Government of Canada regarding nationally significant places, persons and events. As of February 2012, there are 7 designations in Saskatoon. Wanuskewin National Historic Site of Canada (Complex of Plains Indian cultural site, designated in 1986) is located outside City limits.

NATIONAL HISTORIC SITES (4)

- **College Building National Historic Site of Canada:** Main component of an excellent example of university buildings in the College Gothic Style in Canada. Date Designated: 2001.
- **Forestry Farm Park and Zoo National Historic Site of Canada:** Important federal contribution to prairie forestation. Date Designated: 1990.
- **Next-of-Kin Memorial Avenue National Historic Site of Canada:** Road of remembrance commemorating World War I soldiers. Date Designated: 1992.
- **Saskatoon Railway Station (Canadian Pacific) National Historic Site of Canada:** Château style station begun in 1907. Date Designated: 1976.

HISTORIC EVENTS (1)

- **Petro Mohyla Institute National Historic Event:** Provided a leadership training ground for young Ukrainian Canadians, and especially women, leading to the founding of a range of Ukrainian organizations. Date Designated: 2008.

HISTORIC PERSONS (2)

- **Violet Clara McNaughton National Historic Person:** Organized the Women Grain Growers; instigated public funded medical care programs. Date Designated: 1997.
- **Arthur Silver Morton National Historic Person:** Historian, teacher, first Provincial Archivist of Saskatchewan. Date Designated: 1952.

APPENDIX E: COMPARABLE MUNICIPAL HERITAGE PROGRAMS

A number of other Western Canadian municipal heritage programs were reviewed to determine the different levels of municipal responses to heritage management, and to review what program components were most effective.

WINNIPEG, MANITOBA

Population: 663,617 (2011)

Heritage Staff: 2 plus clerical support

Advisory Body: Historical Buildings Committee

Tools: The City of Winnipeg keeps two related listings of heritage buildings – the Inventory of Buildings and the Buildings Conservation List. The Inventory of Buildings is a list of 600 sites that have been evaluated as having potential heritage value. The Buildings Conservation List includes 231 buildings that have been declared historic by City Council.

Incentives: The City has a robust program of heritage incentives, including tax incentives, development incentives and grants. From 1995 to 2005, a total of \$46.6 M in incentives was provided for heritage conservation projects that helped leverage \$194.3 M in spending. This represents a leverage ratio of over 4:1. The City also supports heritage conservation directly through the ownership and maintenance of a number of heritage sites

Heritage Awareness:

- The **Historical Buildings Committee** is a volunteer group, appointed by Winnipeg City Council, to provide advice and recommendations on issues associated with the protection and conservation of heritage resources within the city.
- The City supports the heritage program with annual budget allocations, which provide a broad range of incentives, supports heritage education and awareness initiatives and engages community partners.
- The City's planning framework, in the recently-adopted "OurWinnipeg" city plan, now embraces heritage conservation as an integrated part of municipal planning.

REGINA, SASKATCHEWAN

Population: 193,100

Heritage Staff: 1

Advisory Body: Regina Municipal Heritage Advisory Committee

Tools: Municipal Heritage Designation; Heritage Holding By-law (contains list of important buildings that require 60-day review before demolition permitted; at end of period, either property is designated or taken off list, thereby facilitating its demolition); Regina Municipal Architectural Heritage Design Guidelines

Incentives: A building owner must first apply for designation, then City offers incentives if the building is designated.

Heritage Awareness:

- Eight self-guided Heritage Walking Tours (produced by City)
- Heritage Regina
- Municipal Heritage Awards

CALGARY, ALBERTA

Population: 1,096,833

Heritage Staff: 3 Heritage Planners

Advisory Body: Calgary Heritage Advisory

Tools: Municipal Heritage Designation; Inventory of Evaluated Historic Resources; Heritage Policies in Area Redevelopment Plans

Incentives: *Heritage Incentive Program:* ability to transfer undeveloped density from designated heritage sites to other sites in the same land use district; also, ability to change use at certain heritage properties from residential to commercial office use

Heritage Awareness:

- Heritage Walking Tours
- **Calgary Heritage Initiative Society:**
 - citywide heritage group, founded in the fall of 2005
 - dedicated to the preservation, productive use and interpretation of buildings and sites of historic and architectural interest
 - hosts online forum discussions regarding heritage issues
 - key interests: awareness, networking, policy development; development watch; research
- **Century Homes Calgary**
 - citywide celebration commemorating homes constructed during Calgary's first building boom.
 - owners and residents are invited to share details and stories about their house
- **Community Heritage Plaque Program**
 - the Calgary Heritage Authority, in conjunction with Community Associations and the Chinook Country Historical Society, awards interpretive plaques annually to sites considered to be of historic significance to their respective communities.
 - plaques are presented to the property owners and a community association representative during a ceremony at City Council
 - the plaques interpret the history of each site and its importance to the development of Calgary
- **Calgary Heritage Authority Lion Awards**
 - recognize citizens and groups who have undertaken initiatives, of any scale, in support of heritage conservation in Calgary
 - citations are presented biennially at The Lions gala

EDMONTON, ALBERTA

Population: 812,201

Heritage Staff: 2

Tools: Heritage Register; Heritage Inventory; Historical Resources Management Plan; City Policy C-450B: *A Policy to Encourage the Designation and Rehabilitation of Historic Resources in Edmonton*; *The Standards and Guidelines for the Conservation of Historic Places in Canada*; *The Art of Living: A Plan for securing the future of arts and heritage in the City of Edmonton*

Incentives: Edmonton's Historic Resources Management Program focuses on the identification and creation of appropriate initiatives, incentives and policies to encourage the restoration and rehabilitation of historic resources. These may vary from financial incentives and zoning relaxations to greater direct involvement (such as practical restoration advice).

Historic Resource Management Program: The Heritage Canada Foundation awarded the prestigious national Prince of Wales Prize to the City of Edmonton in 2009 for its commitment to Municipal Heritage Leadership Historical Resources that are representative of our past and continue to enhance our urban environment. The Historical Resources Management Program focuses on the following:

- **Register and Inventory of Historic Resources in Edmonton:** The continual work to maintain, update and review the Register and Inventory of Historic Resources in Edmonton to ensure that important resources are identified and recorded. This enables appropriate effort and policy to be put in to place to protect and/or incorporate historic resources facing ongoing development pressures. The core basis for identifying resources is the hope that they will be designated as Municipal Historic Resources
- **Promotion:** The ongoing work to raise the profile of the benefits that heritage conservation brings to the city at large, while enabling individuals to access appropriate resources, advice and assistance to allow them to evaluate and protect historic resources in future plans.
- **Monitoring:** Continuing to put in place appropriate mechanisms to ensure historic resources are accounted for in the development process and enabling the long term management of existing resources.

- **Broader Heritage Initiatives:** Integrating the Historic Resource Management Program with other heritage initiatives such as museums, archives and archaeological efforts.

Heritage Awareness:

- *This Old Edmonton House* seminars help owners of historic properties of public seminars with advice about owning, maintaining and restoring an historic home.
- Founded in 2009, the **Edmonton Heritage Council's** mandate is to:
 - provide a forum for analyzing, discussing and sharing heritage issues in Edmonton
 - advocate for a vibrant heritage community and heritage programs that benefit all Edmontonians
 - unify Edmonton's heritage community and give it a voice
 - promote the awareness and development of effective, informed and recognized heritage principles and practices.

VICTORIA, BRITISH COLUMBIA

Population: 80,017

Heritage Staff: 2

Advisory Body: Heritage Advisory Committee

Tools: Heritage Register; Heritage Inventory; Heritage Alteration Permit Application; Heritage Designation Application; Heritage Tax Incentive Program Application - Non Residential Uses; Tax Incentive Program Application - Residential Conversions; Minor Amendments to Development Permits & Heritage Alteration Permits; Heritage Strategic Plan For The City of Victoria; *Official Community Plan* containing *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as 13 heritage conservation areas (HCA); Old Town, the largest heritage conservation area in the city, which has guidelines for changes to heritage properties, non-heritage additions and signs and awnings

Incentives: The City of Victoria has grant programs for improvements to designated heritage houses and designated commercial, industrial, and institutional properties. The latter building types in the downtown are also eligible for the Tax Incentive Program for seismic upgrades and façade rehabilitation in residential conversions and commercial property improvements.

Heritage Awareness: The Victoria Heritage Foundation, The Victoria Civic Heritage Trust, *This Old House: Victoria's Heritage Neighbourhoods* Publications

NANAIMO, BRITISH COLUMBIA

Population: 83,810

Heritage Staff: One Heritage & Community Planner

Advisory Body: Community Heritage Commission

Tools: Heritage Register; Municipal heritage designations; Heritage Management Plan; Downtown Heritage Conservation Area; Heritage Building Design Guidelines

Incentives: Heritage Façade Improvement Grant Program; Downtown Residential Tax Exemption Program

Heritage Awareness: Virtual Heritage Tour (City website); walking tour brochures

- The **Nanaimo Community Heritage Commission** is a volunteer group, appointed by Nanaimo City Council, to provide advice and recommendations on issues associated with the protection and conservation of heritage buildings, sites and areas within the city.
- The **virtual heritage walk** compliments the City's existing on-line heritage building database and allows the viewer to explore the City's heritage buildings in a virtual setting. Produced by a local interactive immersion and 3D object imaging firm, the 360-degree image technology used in the virtual walk provides a unique and engaging introduction to Nanaimo and its heritage buildings.
- The **Downtown Residential Conversion Tax Exemption Program** has two main goals one is to encourage new residential units; the other is to preserve heritage buildings in the Downtown Core.
- Façade Improvement Grant's (F.I.G.s) through the City's **Heritage Façade Improvement Grant Program** is coordinated and funded by the Downtown Nanaimo Partnership and the City of Nanaimo and is designed to encourage rehabilitation and enhancement of historic buildings, as well as to promote economic growth and investment in the Downtown Core. Grants cover up to 50% of external building improvement or conservation costs, to a maximum of \$10,000 per building face fronting on a street. The most common improvements completed under the program include awning upgrades, new signage, painting, and window conservation. In order to be eligible for a grant, the building must be recognized by the City as having historic value.

SAANICH, BRITISH COLUMBIA

Population: 109,752

Heritage Staff: One Municipal Planner, with responsibility for heritage

Advisory Body: Arts Culture, and Heritage Advisory Committee

Tools: Community Heritage Register (Inventory (1991) adopted as a Register; currently being updated); Municipal heritage designations; Exterior Restoration Guidelines

Incentives: House Grants Program (administered by the Saanich Heritage Foundation)

Heritage Awareness:

- The purpose of the **Arts Culture, and Heritage Advisory Committee** is to advise Council and recommend policies on community arts, culture and heritage promotion, including services, facilities and specific community interests.
- The **Saanich Heritage Foundation** is a registered non-profit society that promotes the preservation, maintenance and restoration of buildings, structures and land located in the Municipality of Saanich that have been designated as Municipal Heritage Sites by the Municipal Council.
- Owners of heritage-designated residences in the Municipality of Saanich may be eligible for assistance with the cost of preserving or restoring the exterior. The House Grants Program may cover a portion of these costs, subject to the Saanich Heritage Foundation (SHF) priorities and the availability of funds.
- Offers a list of exterior restoration principles for homeowners and contractors

His Worship the Mayor and City Council
The City of Saskatoon

REPORT
of the
LAND BANK COMMITTEE

Composition of Committee

Councillor M. Heidt, Chair
Councillor D. Hill
Councillor P. Lorje
Councillor G. Penner
Councillor M. Loewen

1. Request to Sell City-Owned Property
33 Lots in Phase 6 of the Marquis Industrial Area
(File No. CK. 4215-1)

- RECOMMENDATION:**
- 1) that the Land Bank Manager be authorized to sell 33 lots with legal description of: Plan to be Registered, Block 933, Lots 3 to 9 and Lots 12 to 19; Plan to be Registered, Block 934, Lots 3 to 6; Plan to be Registered, Block 935, Lots 7 to 12; Plan to be Registered, Block 936, Lots 13 to 18; and Plan to be Registered, Block 937, Lots 10 and 11; to the highest bidder through a public tender process with reserve bid prices as outlined in the attached report;
 - 2) that if the lots are not sold through the tender process, they be placed for sale over-the-counter on a first-come, first-served basis; and
 - 3) that His Worship the Mayor and the City Clerk be authorized to execute the necessary documentation to complete the sale by public tender.

Attached is a report of the General Manager, Community Services Department dated July 9, 2012 regarding the sale of 33 lots in Phase 6 of the Marquis Industrial Area.

Your Committee has reviewed this matter with the Administration, and supports the sale of lots, as outlined in the report.

2. Request to Sell City-Owned Property
106 lots on 33rd Street West, Steeves Avenue and Proposed Dawes Place
Kensington Neighbourhood
(File No. CK. 4125-1)

- RECOMMENDATION:**
- 1) that the Land Bank Manager be authorized to sell 106 lots with legal description of: Plan to be Registered, Block 100, Lots 1 to 26; Plan to be Registered, Block 101, Lots 1 to 29; Plan to be Registered, Block 102, Lots 1 to 15; Plan to be Registered, Block 103, Lots 1 to 30 and 71 to 76; in the Kensington neighbourhood, through a lot-draw process, as outlined in the attached report;
 - 2) that any of the lots which are not sold through the lot-draw process be placed for sale over-the-counter on a first-come, first-served basis; and
 - 3) that the Land Bank Manager be authorized to administer development controls for the 106 lots in accordance with the criteria outlined in the report.

Attached is a report of the General Manager, Community Services Department dated July 6, 2012 regarding the sale of 106 lots in the Kensington neighbourhood.

Your Committee has reviewed this matter with the Administration, and supports the sale of these lots as outlined in the report.

**3. Request to Sell City-Owned Property
165 Single-family Lots and Two Multi-family Parcels on
Schumacher Bay, Hastings Court, Hastings Cove, Hastings Crescent, Hastings
Lane, Rosewood Boulevard West, Werschner Crescent, Werschner Court and
Werschner Way
Rosewood Neighbourhood
(File No. CK. 4215-1)**

- RECOMMENDATION:**
- 1) that the Land Bank Manager be authorized to sell 165 lots with legal description of: Plan to be Registered, Block 12, Lots 51 to 87, 130 to 139; Registered Plan No. 102037799, Block 12, Lots 123 to 129; Plan to be Registered, Block 16, Lots 19 to 44; Plan to be Registered, Block 17, Lots 1 to 32; Plan to be Registered, Block 18, Lots 1 to 12; Plan to be Registered, Block 19, Lots 1 to 15; and Plan to be Registered, Block 20, Lots 1 to 26, in the Rosewood neighbourhood, through a lot-draw process, as outlined in the attached report;
 - 2) that any of the lots which are not sold through the lot-draw process be placed for sale over-the-counter on a first-come, first served basis;
 - 3) that the Land Bank Manager be authorized to sell two multi-family Parcels G and H, Plan to be Registered to the highest bidder through a public tender process, with reserve bid prices as outlined in the attached report;
 - 4) that if the parcels are not sold through the tender process, they be placed for sale over-the-counter on a first-come, first-served basis;
 - 5) that the Land Bank Manager be authorized to administer development controls for the 165 lots and Parcels G and H in accordance with the criteria outlined in the report; and
 - 6) that His Worship the Mayor and the City Clerk be authorized to execute the necessary documentation to complete the sales.

Attached is a report of the General Manager, Community Services Department dated July 18, 2012 regarding the sale of 165 Single-family lots and Two Multi-family parcels in the Rosewood neighbourhood.

Your Committee has reviewed this matter with the Administration, and supports the sale of these lots, as outlined in the report.

4. Request to Sell City-Owned Property
246 Single-family lots and Four Multi-family Parcels
On Salloum Crescent, Kloppenburg Way, Kloppenburg Street, Kloppenburg Crescent, Kloppenburg Court, Kloppenburg Terrace, Kloppenburg Bend and Evergreen Boulevard
Evergreen Neighbourhood
(File No. CK. 4215-1)

- RECOMMENDATION:**
- 1) that the Land Bank Manager be authorized to sell 244 lots with legal description of: Plan to be Registered, Block 636, Lots 20 to 35; Plan to be Registered, Block 637, Lots 1 to 17; Plan to be Registered, Block 638, Lots 1 to 44; Plan to be Registered, Block 639, Lots 1 to 44; Plan to be Registered, Block 640, Lots 1 to 46; Plan to be Registered, Block 641, Lots 1 to 14; Plan to be Registered, Block 642, Lots 1 to 14; Plan to be Registered, Block 643, Lots 1 to 24; Plan to be Registered, Block 644, Lots 3 to 27; in the Evergreen neighbourhood, through as lot-draw process, as outlined in the attached report;
 - 2) that any of the lots which are not sold through the lot-draw process be placed for sale over-the-counter on a first-come, first-served basis;
 - 3) that the Land Bank Manager be authorized to sell Parcel P, Plan 102088953, and Parcels EE, FF, and GG, Plan to be Registered to the highest bidder through a public tender process, with reserve bid prices as outlined in the report;

- 4) that the Land Bank Manager be authorized to sell in Block 644, Lots 1 and 2, to the highest bidder through a tender process for the intended use of developing Type 2 Residential Care Homes, Child Care Centres or Pre-Schools, with tender conditions and reserve bid prices as outlined in the report, plus applicable taxes;
- 5) that His Worship the Mayor and the City Clerk be authorized to execute the necessary documentation to complete the sales by public tender;
- 6) that any of Parcels P, EE, FF, and GG which are not sold through the public tender process be placed for sale over-the-counter on a first-come, first-served basis;
- 7) that any of the pre-designated Type 2 Residential Care Home, Child Care Centre or Pre-School lots which are not sold through the public tender process be placed for sale over-the-counter on a first-come, first-served basis for the same intended purpose for a period of one-year, with conditions specified in the Agreement for Sale, as outlined in the report;
- 8) that any of the pre-designated Type 2 Residential Care Home, Child Care Centre or Pre-School lots remaining in inventory after a period of one-year be made available for sale over-the-counter on a first-come, first-served basis for one of the permitted uses within the R1A zoning district, and
- 9) that the Land Bank Manager be authorized to administer development controls for the 246 lots and four multi-family parcels in accordance with the criteria outlined in the report.

Attached is a report of the General Manager, Community Services Department dated July 18, 2012 regarding the sale of 244 single-family lots and four multi-family lots in the Evergreen neighbourhood.

Your Committee has reviewed this matter with the Administration and supports the sale of these lots, as outlined in the report.

**5. Purchase Agreement and Direct Sale to Autism Services
For a Designated Type II Care Home
534 Evergreen Boulevard
(File No. CK. 4215-1)**

- RECOMMENDATION:**
- 1) that the direct sale of Lot 9, Block 626, Plan No. 102070088, located at 534 Evergreen Boulevard be approved to Autism Services for the purpose of constructing a group home;
 - 2) that the City Solicitor be requested to prepare the Direct Sale Agreement and that His Worship the Mayor and the City Clerk be authorized to execute the Agreement under the Corporate Seal; and
 - 3) that Lot 8, Block 626, Plan No. 102070088, located at 538 Evergreen Boulevard be put on administrative hold for direct sale to Autism Services in 2013.

Attached is a report of the General Manager, Community Services Department dated July 30, 2012 regarding a direct sale of a property located at 534 Evergreen Boulevard to Autism Services for construction of a Type II Care Home, and an administrative hold for direct sale of the property at 538 Evergreen Boulevard to Autism Services in 2013.

Your Committee has reviewed this matter with the Administration and supports the direct sale of 534 Evergreen Boulevard at this time and administrative hold on another lot at 538 Evergreen Boulevard, for Autism Services.

**6. Kensington Neighbourhood – Exchange of Land Between
City of Saskatoon, Dundee Realty Corporation, West Canadian Development
Kensington Project,
Lakhwinder Singh Multani, Linh-An Tu and To Nhi Tu, and KW Homes
(File No. CK. 4110-41)**

- RECOMMENDATION:**
- 1) that the City Solicitor review and approve the Agreement required to implement the Kensington land exchange, as outlined in the attached report; and
 - 2) that His Worship the Mayor and the City Clerk be authorized to execute the Agreement.

Attached is a report of the General Manager, Community Services Department dated July 30, 2012 regarding a land exchange in the Kensington Neighbourhood.

Your Committee has reviewed this matter with the Administration, and supports this land exchange, as outlined in the report.

Respectfully submitted,

Councillor M. Heidt, Chair

RECEIVED
AUG 02 2012
CITY CLERK'S OFFICE
SASKATOON

TO: Secretary, Land Bank Committee
FROM: General Manager, Community Services Department
DATE: July 9, 2012
SUBJECT: Request to Sell City-Owned Property – 33 Lots in Phase 6 of the Marquis Industrial Area
FILE NO: LA 4217-012-4

RECOMMENDATION: that a report be submitted to City Council recommending:

- 1) that the Land Bank Manager be authorized to sell 33 lots with legal description of: Plan to be Registered, Block 933 Lots 3 to 9 and Lots 12 to 19; Plan to be Registered, Block 934, Lots 3 to 6; Plan to be Registered, Block 935, Lots 7 to 12; Plan to be Registered, Block 936, Lots 13 to 18; and Plan to be Registered, Block 937, Lots 10 and 11, to the highest bidder through a public tender process with reserve bid prices as outlined in this report;
- 2) that if the lots are not sold through the tender process, they be placed for sale over-the-counter on a first-come, first-served basis; and
- 3) that His Worship the Mayor and the City Clerk be authorized to execute the necessary documentation to complete the sale by public tender.

BACKGROUND

The purpose of this report is to obtain approval to sell 33 industrial lots encompassing 62.33 acres of industrial land in the Marquis Industrial Area through a public tender process. Attachment 1 shows parcels on 68th Street, 70th Street and Burrton Avenue.

These parcels are zoned Heavy Industrial IH. This industrial zoning designation is the most flexible industrial zoning and allows for most industrial/commercial uses. Not included in this report is a row of seven Light Industrial IL1 lots that are being held back until construction of the adjacent portion of Marquis Drive is complete and the routing of the new commuter bridge is confirmed. These lots are in a prime location with visibility along Marquis Drive. Full value for these lots will not be realized until the construction of Marquis Drive is complete.

REPORT

The strong economy in the City has resulted in record industrial land sales over the last two years, diminishing inventory significantly. Despite the low inventory, an adequate supply of developable

land still remains in the hands of previous purchasers. A recent tender for three parcels realized a sell out at five percent above the reserve bid and strong interest still remains in the area.

Each of the parcels within this tender will be advertised with a reserve bid price. The Administration recommends a price range of \$425,000 to \$468,000 per acre (Attachment 3) be used as a base for establishing the reserve bid. Factors such as zoning, location, visibility, and corner influence are taken into consideration within the final price for each lot. The reserve bid prices are based on a review of comparable land sales in the Saskatoon market, including resales of land recently sold by the City. Increases in the 2012 prepaid rates have also been factored into the pricing. The average price per acre is \$442,700 and the total proposed sales revenue for this phase is \$27,465,200.

It should be noted that if it is necessary to re-subdivide these parcels to accommodate the specific needs of our customers, the price will be adjusted in accordance with this pricing strategy.

Tenders will be awarded to the highest bidder over the reserve bid price. If there is any uncertainty regarding the bids received, the appropriate reports and recommendations will be provided to City Council. Lots that do not sell through the tender process will be made available for sale over-the-counter on a first-come, first-served basis, from the Land Branch.

OPTIONS

The only option would be to not proceed with the sale of the land at this time.

POLICY IMPLICATIONS

There are no policy implications.

FINANCIAL IMPLICATIONS

The proceeds from the sale of this land will be deposited into the Property Realized Reserve.

PUBLIC COMMUNICATION PLAN

Notice of the public tender will be advertised in The Star Phoenix a minimum of two Saturdays prior to the tender and will be sold pursuant to City Council Policy C09-033 Sale of Serviced City-Owned Lands. The tender will also be posted on the City of Saskatoon Land Branch Website.

ENVIRONMENTAL IMPLICATIONS

There are no environmental impact implications.

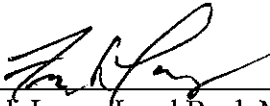
PUBLIC NOTICE

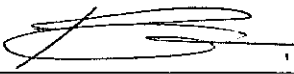
Public Notice, pursuant to Section 3 of the Public Notice Policy No. C01-021, is not required.

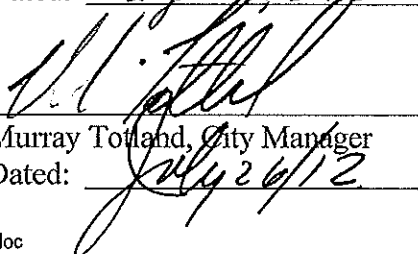
ATTACHMENTS

1. Marquis Industrial Phasing Map
2. Marquis Industrial Phase 6 Lots
3. Marquis Industrial Phase 6 price listing

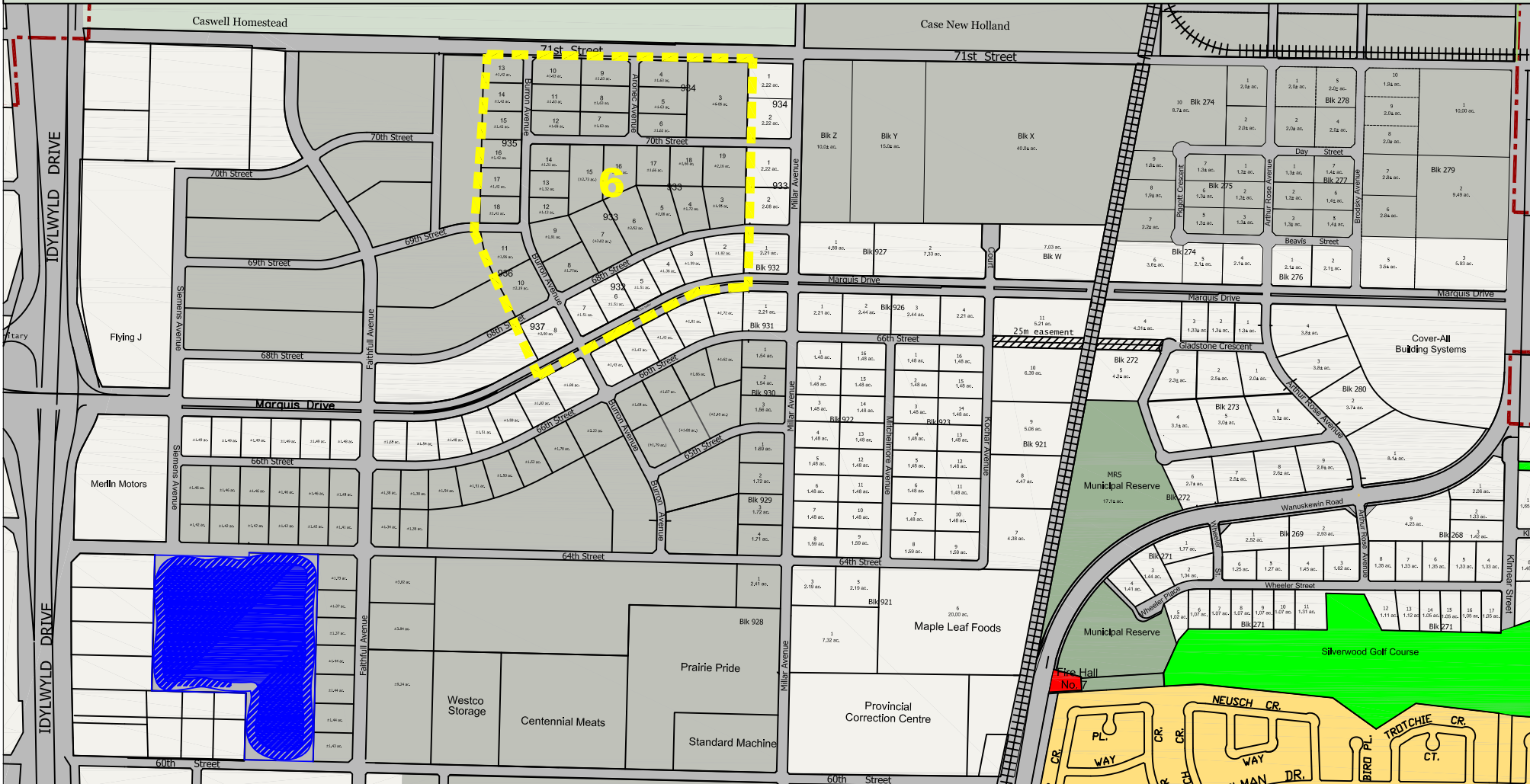
Written by: Jeremy Meinema, Finance and Sales Manager

Reviewed by: 
Frank Long, Land Bank Manager
Dated: July 12, 2012

Approved by: 
Randy Grauer, General Manager
Community Services Department
Dated: July 27, 2012

Approved by: 
Murray Towland, City Manager
Dated: July 26/12

Marquis Industrial



2012 Phase 6
 7 lots (11.30 ac light Industrial)
 33 lots (60.71 ac heavy Industrial)

- Heavy Industrial
- Light Industrial
- Municipal Reserve / Buffers
- Existing Residential
- Golf Course
- Fire Station
- Railway
- City Limits



City of Saskatoon

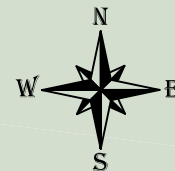
Community Services - Land Branch - October 2011
 Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. Information contained on this map is subject to change without notice. This plan is not to scale.

Marquis Industrial Phase 6, Lot Available -

7 lots (11.30 ac light industrial)
33 lots (60.71 ac heavy industrial)



- Heavy Industrial
- Light Industrial
- Municipal Reserve / Buffers
- Existing Residential
- Golf Course
- Fire Station
- Railway
- City Limits



Community Services - Land Branch - October 2011
 Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. Information contained on this map is subject to change without notice. This plan is not to scale.

Marquis Phase 6

Proposed Pricing List

Lot	Block	Plan	Price/Acre	Size(ac)	Total Price
3	933	to be registered	\$ 425,000	1.95	\$ 828,800
4	933	to be registered	\$ 425,000	1.72	\$ 731,000
5	933	to be registered	\$ 425,000	2.08	\$ 882,200
6	933	to be registered	\$ 425,000	2.52	\$ 1,071,200
7	933	to be registered	\$ 425,000	3.02	\$ 1,283,500
8	933	to be registered	\$ 457,000	1.77	\$ 808,900
9	933	to be registered	\$ 446,000	1.91	\$ 851,900
12	933	to be registered	\$ 446,000	1.13	\$ 504,000
13	933	to be registered	\$ 446,000	1.32	\$ 588,700
14	933	to be registered	\$ 457,000	1.31	\$ 598,500
15	933	to be registered	\$ 425,000	2.73	\$ 1,160,300
16	933	to be registered	\$ 425,000	1.99	\$ 845,800
17	933	to be registered	\$ 425,000	1.66	\$ 705,500
18	933	to be registered	\$ 425,000	1.66	\$ 703,600
19	933	to be registered	\$ 425,000	2.16	\$ 918,000
3	934	to be registered	\$ 435,000	6.05	\$ 2,633,500
4	934	to be registered	\$ 457,000	1.63	\$ 745,300
5	934	to be registered	\$ 425,000	1.63	\$ 693,100
6	934	to be registered	\$ 457,000	1.63	\$ 745,300
7	935	to be registered	\$ 457,000	1.63	\$ 744,900
8	935	to be registered	\$ 425,000	1.63	\$ 693,100
9	935	to be registered	\$ 457,000	1.63	\$ 745,300
10	935	to be registered	\$ 468,000	1.63	\$ 763,300
11	935	to be registered	\$ 446,000	1.63	\$ 727,400
12	935	to be registered	\$ 457,000	1.65	\$ 754,100
13	936	to be registered	\$ 468,000	1.42	\$ 664,600
14	936	to be registered	\$ 446,000	1.42	\$ 633,300
15	936	to be registered	\$ 446,000	1.42	\$ 633,300
16	936	to be registered	\$ 446,000	1.42	\$ 633,300
17	936	to be registered	\$ 446,000	1.42	\$ 633,300
18	936	to be registered	\$ 457,000	1.41	\$ 643,700
11	937	to be registered	\$ 457,000	1.96	\$ 895,700
10	937	to be registered	\$ 457,000	2.19	\$ 1,000,800
Average Total			\$ 442,697	62.33	\$ 27,465,200

RECEIVED

AUG 02 2012

CITY CLERK'S OFFICE
SASKATOON

4215-1
2.

TO: Secretary, Land Bank Committee
FROM: General Manager, Community Services Department
DATE: July 6, 2012
SUBJECT: Request to Sell City-Owned Property – 106 Lots on 33rd Street West, Steeves Avenue and proposed Dawes Place in the Kensington Neighbourhood.
FILE NO: LA 4218-12-5

RECOMMENDATION: that a report be submitted to City Council recommending:

- 1) that the Land Bank Manager be authorized to sell 106 lots with legal description of: Plan to be Registered, Block 100, Lots 1 to 26; Plan to be Registered, Block 101, Lots 1 to 29; Plan to be Registered, Block 102; Lots 1 to 15; Plan to be Registered, Block 103, Lots 1 to 30 and 71 to 76; in the Kensington neighbourhood through a lot draw process as outlined in this report;
- 2) that any of the lots which are not sold through the lot draw process be placed for sale over-the-counter on a first-come, first-served basis; and
- 3) that the Land Bank Manager be authorized to administer development controls for the 106 lots in accordance with the criteria outlined in this report.

BACKGROUND

City Council, at its meeting held on April 16, 2012, approved the Kensington neighbourhood concept plan. The approved plan provides the general framework for the development of the first residential neighbourhood in the Blairmore Sector on the west edge of Saskatoon. The installation of trunk sewers, sanitary force main and the storm pond to accommodate the first phases of development began in 2010. Direct servicing of water/sewer and road work for the lots within the City's ownership began early this year and is expected to be completed late this fall, weather permitting.

Attachment 1 indicates the location of the lots on 33rd Street West, Steeves Avenue and the proposed Dawes Place, which will rename a small portion of the former 33rd Street. Depending on the extent of servicing completion this fall, these lots may be sold with a delayed possession date. Offering the lots before servicing completion will provide builders advanced time to market the lots and initiate the building permit approval process while final roadway and utility installations take place. Use of the delayed possession date has been received favourably by the builders to date.

REPORT

The purpose of this report is to obtain approval to sell 106 single family lots through a lot draw process to individuals and builders and to obtain approval to administer development controls for each of the lots proposed to be sold.

The lots in this first phase of Kensington vary in size from a minimum frontage of 9.14 metres (30 feet) to a maximum of 15.77 metres (51.74 feet). Most of the lots in this draw are laned lots, fronting onto 33rd Street West, with the majority ranging between 9.14 metres (30 feet) and 10.4 metres (34 feet) in width. This lot draw will be the first time since the 1980's that a developer has marketed single-family lots which front onto an arterial roadway (33rd Street West). The development of these arterial-fronting lots will complement the existing lots with arterial frontage to the east along 33rd Street West. Separated curb and sidewalks with boulevard trees, a landscaped roundabout, and a centre median along this extension of 33rd Street West will enhance the streetscape and create an attractive entrance to the Kensington neighbourhood.

These lots represent the first offering of single-family lots in the Kensington neighbourhood. Building off of the momentum from the final lot draws in the Hampton Village neighbourhood and the competitive price points, demand for these lots is expected to be strong.

Lot Pricing

Lot prices have been determined based on an examination of current and expected lot prices for comparable properties in the Saskatoon market, and take into account the increase in 2012 servicing costs. A base unit price of \$9,100 per front metre was used to calculate the lot prices. Adjustments were then made to the base prices based on lot location and characteristics. A list of the individual lot prices is attached (Attachment 2). The prices range from \$83,700 to \$140,800, with average lot price for this phase being \$95,200.

Development Controls

Discussions regarding specific development controls and other thematic design elements that will be used in the Kensington neighbourhood are currently taking place among the various Kensington land owners. At a minimum, the following development controls are being proposed for this phase of development to fulfil the Land Branch's vision of the neighbourhood design. The controls vary depending on zoning, housing styles and the existence of rear lanes. If negotiations with the ownership group determines different controls are required, the appropriate reports will be brought forward to the Land Bank Committee and City Council prior to lot draw taking place this fall.

1) 33rd Street West

The following development controls pertain to narrow lots zoned R1B District, with rear lane access, which front onto 33rd Street West:

Plan to be Registered, Block 100, Lots 1 to 26

Plan to be Registered, Block 101, Lots 1 to 29

Plan to be Registered, Block 103, Lots 1 to 30

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow or bi-level;
 - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted;
- c) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres wide and 6 metres long. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the property line;
- d) All dwellings shall be constructed with covered front verandas. The minimum width of the front veranda for bungalows and bi-levels shall be half the width of the house facade. Two storey dwellings shall have front verandas across the entire width of the house facade. Verandas shall be partially enclosed with railings and spindles or other type of partial enclosure;
- e) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- f) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner; and
- g) The minimum front yard setback shall be 5 metres.

2) Steeves Avenue and Dawes Place

The following development controls pertain to standard lots:

Plan to be Registered, Block 102, Lots 1 to 15

Plan to be Registered, Block 103, Lots 71 to 76

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner.

In addition to the development controls, for lots without rear lane access, a separate interest will be registered against the title of each single-family lot with a front attached garage indicating which side of the lot the garage must be placed against. As outlined in the report adopted by City Council on February 27, 2006, the intent of this control is to pair garages together against a common property line in order to provide a better streetscape appearance.

OPTIONS

The only option would be to not proceed with the sale of the land at this time.

POLICY IMPLICATIONS

There are no policy implications.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

FINANCIAL IMPLICATIONS

The proceeds from the sale of this land will be deposited into the Kensington Neighbourhood Land Development Fund.

COMMUNICATIONS PLAN

Notice of the lot draw will be advertised in The StarPhoenix a minimum of two Saturdays prior to the lot draw, pursuant to City Council Policy C09-006 Residential Lot Sales – General Policy, and will be posted on the City of Saskatoon Land Branch website.

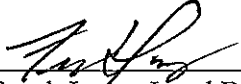
PUBLIC NOTICE

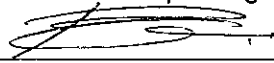
Public Notice, pursuant to Section 3 of Public Notice Policy No. C01-02, is not required.

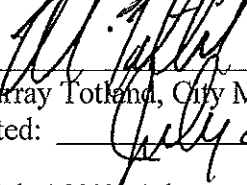
ATTACHMENTS

- 1. Kensington Neighbourhood Phasing Map
- 2. Kensington map showing the lots to be priced
- 3. List of 106 individual lot prices

Written by: Matt Grazier, Planner 16

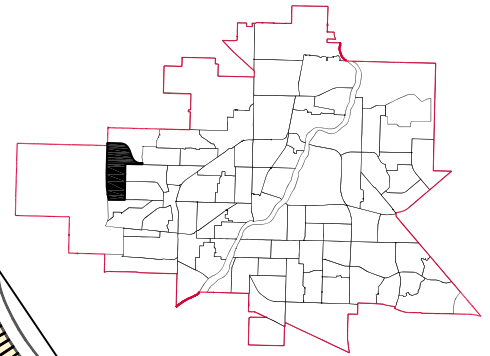
Reviewed by: 
 Frank Long, Land Bank Manager,
 Dated: July 13, 2012

Approved by: 
 Randy Grauer, General Manager
 Community Services Department
 Dated: July 27, 2012

Approved by: 
 Murray Totland, City Manager
 Dated: July 24, 2012



Kensington



- Single Family Detached
- Single Family Detached (laned)
- Multi Unit (Street Townhouse)
- Multi Unit - Grouped Townhouse
- Multi Unit Stacked Group Townhouse
- Multi Unit - Med Density Apt. Style
- Mixed Use (Comm/Res/Inst.)
- Schools
- Stormwater Parcel
- Municipal Reserve
- Residential Care Home

2012
106 Lots (0 ac multi-family)



City of Saskatoon

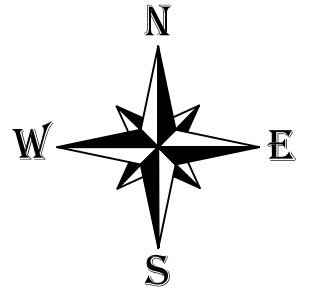
Community Services - Land Branch - July 2012

Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. This map is conceptual and may change. Park and buffer rendering is for illustrative purposes only and does not represent what will be constructed.



Kensington

The Kensington neighborhood is a joint project shared with the City Of Saskatoon and several other developers. For more information on specific lots please contact the Land Branch at 975-3278.

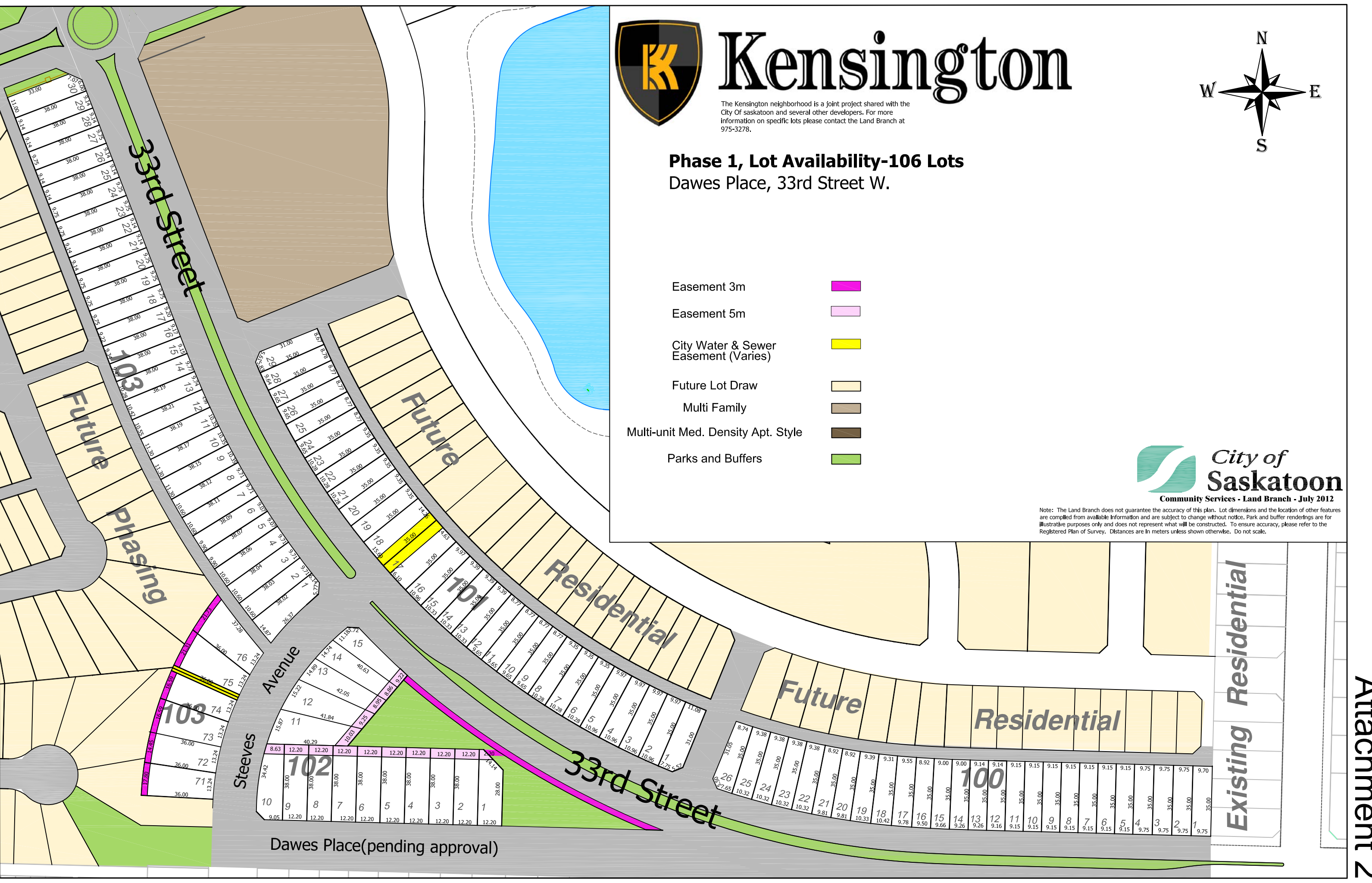


Phase 1, Lot Availability-106 Lots Dawes Place, 33rd Street W.

- Easement 3m
- Easement 5m
- City Water & Sewer Easement (Varies)
- Future Lot Draw
- Multi Family
- Multi-unit Med. Density Apt. Style
- Parks and Buffers



Note: The Land Branch does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer renderings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.

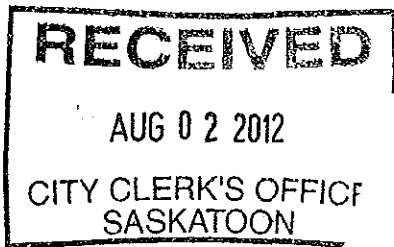


Proposed Price List
Kensington Phase 1 (2012)

Lot	Block	Plan	Price
1	100	to be registered	\$89,900.00
2	100	to be registered	\$89,700.00
3	100	to be registered	\$89,700.00
4	100	to be registered	\$89,700.00
5	100	to be registered	\$84,100.00
6	100	to be registered	\$84,100.00
7	100	to be registered	\$84,100.00
8	100	to be registered	\$84,100.00
9	100	to be registered	\$84,100.00
10	100	to be registered	\$84,100.00
11	100	to be registered	\$84,100.00
12	100	to be registered	\$84,200.00
13	100	to be registered	\$84,700.00
14	100	to be registered	\$83,700.00
15	100	to be registered	\$86,300.00
16	100	to be registered	\$85,100.00
17	100	to be registered	\$91,100.00
18	100	to be registered	\$91,600.00
19	100	to be registered	\$91,400.00
20	100	to be registered	\$86,800.00
21	100	to be registered	\$86,800.00
22	100	to be registered	\$91,300.00
23	100	to be registered	\$91,300.00
24	100	to be registered	\$91,300.00
25	100	to be registered	\$91,300.00
26	100	to be registered	\$96,000.00
1	101	to be registered	\$105,600.00
2	101	to be registered	\$97,100.00
3	101	to be registered	\$97,100.00
4	101	to be registered	\$97,100.00
5	101	to be registered	\$97,100.00
6	101	to be registered	\$91,000.00
7	101	to be registered	\$91,000.00
8	101	to be registered	\$91,000.00
9	101	to be registered	\$85,500.00
10	101	to be registered	\$85,500.00
11	101	to be registered	\$85,500.00
12	101	to be registered	\$85,500.00

Lot	Block	Plan	Price
13	101	to be registered	\$91,400.00
14	101	to be registered	\$91,400.00
15	101	to be registered	\$91,400.00
16	101	to be registered	\$97,100.00
17	101	to be registered	\$117,500.00
18	101	to be registered	\$113,900.00
19	101	to be registered	\$91,000.00
20	101	to be registered	\$91,000.00
21	101	to be registered	\$91,000.00
22	101	to be registered	\$91,000.00
23	101	to be registered	\$91,000.00
24	101	to be registered	\$85,500.00
25	101	to be registered	\$85,500.00
26	101	to be registered	\$85,500.00
27	101	to be registered	\$85,500.00
28	101	to be registered	\$85,500.00
29	101	to be registered	\$86,100.00
1	102	to be registered	\$111,000.00
2	102	to be registered	\$111,000.00
3	102	to be registered	\$111,000.00
4	102	to be registered	\$111,000.00
5	102	to be registered	\$111,000.00
6	102	to be registered	\$111,000.00
7	102	to be registered	\$111,000.00
8	102	to be registered	\$111,000.00
9	102	to be registered	\$111,000.00
10	102	to be registered	\$94,200.00
11	102	to be registered	\$113,200.00
12	102	to be registered	\$111,500.00
13	102	to be registered	\$110,800.00
14	102	to be registered	\$110,700.00
15	102	to be registered	\$111,300.00
1	103	to be registered	\$99,900.00
2	103	to be registered	\$91,900.00
3	103	to be registered	\$91,900.00
4	103	to be registered	\$91,900.00
5	103	to be registered	\$85,800.00
6	103	to be registered	\$85,800.00
7	103	to be registered	\$91,900.00
8	103	to be registered	\$91,900.00
9	103	to be registered	\$97,900.00
10	103	to be registered	\$97,900.00
11	103	to be registered	\$97,900.00
12	103	to be registered	\$91,800.00
13	103	to be registered	\$91,600.00
14	103	to be registered	\$91,300.00

Lot	Block	Plan	Price
15	103	to be registered	\$85,100.00
16	103	to be registered	\$84,900.00
17	103	to be registered	\$84,600.00
18	103	to be registered	\$89,700.00
19	103	to be registered	\$89,700.00
20	103	to be registered	\$89,700.00
21	103	to be registered	\$84,000.00
22	103	to be registered	\$84,000.00
23	103	to be registered	\$89,700.00
24	103	to be registered	\$89,700.00
25	103	to be registered	\$84,000.00
26	103	to be registered	\$84,000.00
27	103	to be registered	\$89,700.00
28	103	to be registered	\$84,000.00
29	103	to be registered	\$84,000.00
30	103	to be registered	\$101,100.00
71	103	to be registered	\$124,100.00
72	103	to be registered	\$126,700.00
73	103	to be registered	\$126,700.00
74	103	to be registered	\$124,000.00
75	103	to be registered	\$140,800.00
76	103	to be registered	\$140,600.00



4215-1
M.

TO: Secretary, Land Bank Committee
FROM: General Manager, Community Services Department
DATE: July 18, 2012
SUBJECT: Request to Sell City-Owned Property - 165 Single-Family Lots and Two Multi-family Parcels on Schumacher Bay, Hastings Court, Hastings Cove, Hastings Crescent, Hastings Lane, Rosewood Boulevard West, Werschner Crescent, Werschner Court, and Werschner Way in the Rosewood Neighbourhood
FILE NO: LA 4218-12-4

RECOMMENDATION: that a report be submitted to City Council recommending:

- 1) that the Land Bank Manager be authorized to sell 165 lots with legal description of: Plan to be Registered, Block 12, Lots 51 to 87, 130 to 139; Registered Plan Number 102037799, Block 12, Lots 123 to 129; Plan to be Registered, Block 16, Lots 19 to 44; Plan to be Registered, Block 17, Lots 1 to 32; Plan to be Registered, Block 18, Lots 1 to 12; Plan to be Registered, Block 19, Lots 1 to 15; and Plan to be Registered, Block 20, Lots 1 to 26; in the Rosewood neighbourhood through a lot draw process as outlined in this report;
- 2) that any of the lots which are not sold through the lot draw process be placed for sale over-the-counter on a first-come, first-served basis;
- 3) that the Land Bank Manager be authorized to sell two multi-family Parcels G and H, Plan to be Registered to the highest bidder through a public tender process with reserve bid prices as outlined in this report;
- 4) that if the parcels are not sold through the tender process, they be placed for sale over-the-counter on a first-come, first-served basis;
- 5) that the Land Bank Manager be authorized to administer development controls for the 165 lots and Parcels G and H in accordance with the criteria outlined in this report; and
- 6) that his Worship the Mayor and the City Clerk be authorized to execute the necessary documentation to complete the sales.

BACKGROUND

The purpose of this report is to obtain approval to sell: 165 single family lots through a lot draw process to individuals and builders, two multi-family Parcels, H and G, by public tender, and to administer development controls for each of the 165 lots and two multi-family parcels.

Attachment 1 indicates the location of the lots and parcels on Schumacher Bay, Hastings Court, Hastings Cove, Hastings Crescent, Hastings Lane, Rosewood Boulevard West, Werschner Crescent, Werschner Court and Werschner Way in the Rosewood neighbourhood.

Seven lots, located on Hastings Lane, were originally held back from the Phase 1 Rosewood Lot Draw, until construction of the flanking masonry fence was completed. The fence will be constructed later this year and these lots will be included in this lot draw. Servicing of these lots is in progress, and expected to be completed this fall, weather permitting. Depending on the extent of servicing completed this fall, these lots may be offered through a lot draw with a delayed possession date. Offering the lots before servicing completion will provide builders some advance time to market the lots and initiate the building permit approval process while final roadway work and utility installations are taking place.

REPORT

The single family lots contained in this phase vary in size from a minimum frontage of 10.4 metres (34 feet) to a maximum of 20.33 metres (66.7 feet). The majority of lots range from 15.24 metres (50 feet) to 16.45 metres (54 feet) in width. With the exception of three blocks, which contain narrow lots with rear lane access, most of the lots offered in this phase have higher price points and can be characterized as relatively large lots that include cul-de-sac lots, and lots that back on to open space. Several of these lots have magnificent views of the Hyde Wetlands, which is a major selling feature of the Rosewood neighbourhood.

These lots represent the final single-family lots available within the Land Branch's ownership area in the Rosewood neighbourhood. Demand for the Land Branch's first phase of lots in the Rosewood neighbourhood was steady as minimal inventory remains from the first lot draw. This trend is expected to continue considering the price point that was targeted for these lots.

Single-family Pricing

Lot prices have been determined based on an examination of current and expected lot prices for comparable properties in the Saskatoon market, and take into account the increase in 2012 servicing costs and the additional expected costs that will be realized for some of the enhancements required in the Rosewood neighbourhood. A base unit price of \$9,655 per front metre was used to calculate the lot prices. Adjustments were then made to the base prices, based on lot location and characteristics. A list of the individual lot prices is attached (Attachment 3). The prices range from \$98,200 to \$294,300, with average lot price for this phase being \$175,100.

There are a number of unique features in this phase of development including the following:

1. A total of 14 lots on Hastings Cove, Hastings Crescent and the street west of Shumacher Bay (to be named at a later date) have been designed to accommodate walkout basements. These lots (Block 12, Lots 51 and 74 to 87) back onto the Hyde Wetland area and include a rear yard decorative aluminium fence.
2. Two lots (Block 12, Lots 64 and 130) flank and slope towards the Hyde Wetland area. These two lots include side yard decorative aluminium fencing. Depending upon the proposed house design, these lots may accommodate walkout basements.
3. There are 32 lots (Block 12, Lots 65 to 70; Block 16, Lots 19 to 21 and 34, 35 and 36 to 44; Block 18, Lots 1 to 12) backing onto linear park space and include rear yard decorative aluminium fencing.

Single-family Development Controls

Development controls are being proposed in this phase of development in order to maintain character within the neighbourhood and to fulfill the original vision of the neighbourhood design. The controls vary depending on zoning, housing styles and the presence of rear lanes.

- 1) Rosewood Boulevard West
The following development controls pertain to narrow lots zoned R1B District, with rear lane access, located on a collector street:
 - Plan to be Registered, Block 19, Lots 1 to 15
 - Plan to be Registered, Block 20, Lots 14 to 26
 - a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow or bi-level;
 - ii. 1,200 square feet in the case of a two-storey dwelling;
 - b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted;
 - c) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres wide and 6 metres long. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the property line;
 - d) All dwellings shall be constructed with covered front verandas. The minimum width of the front veranda for bungalows and bi-levels shall be half the width of the house facade. Two storey dwellings shall have front verandas across the

entire width of the house facade. Verandas shall be partially enclosed with railings and spindles or other type of partial enclosure;

- e) The roof of the principal dwelling shall have a minimum 6-in-12 pitch;
- f) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner; and
- g) The minimum front yard setback shall be 5 metres.

2) Hastings Crescent and Hastings Cove

The following development controls pertain to lots designed to accommodate walkout basements:

Plan to be Registered, Block 12, Lot 51 and Lots 74 to 87

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,500 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch;
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner; and
- e) All dwellings shall be constructed with direct access from the basement level to the backyard ("walkout units").

3) Schumacher Bay, Hastings Cove, Hastings Crescent, Hastings Court, Werschner Court, and Werschner Way

The following development controls pertain to larger lots:

Plan to be Registered, Block 12, Lots 52 to 73, Lots 130 to 139

Plan to be Registered, Block 16, Lots 19 to 24, Lots 30 to 44

Plan to be Registered, Block 17, Lots 1 to 15, Lots 23 to 32

Plan to be Registered, Block 18, Lots 1 to 12

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,500 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner.

4) Werschner Crescent

The following development controls pertain to standard lots:

Plan to be Registered, Block 16, Lots 25 to 29

Plan to be Registered, Block 17, Lots 16 to 22

Plan to be Registered, Block 20, Lots 1 to 13

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,200 square feet in the case of a two-storey dwelling;

- b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner.

In addition to the development controls noted in 2, 3 and 4, a separate interest will be registered against the title of each single-family lot with a front attached garage indicating which side of the lot the garage must be placed against. As outlined in the report adopted by City Council on February 27, 2006, the intent of this control is to pair garages together against a common property line in order to provide a better streetscape appearance.

Multi-family Pricing

Reserve bid prices for these sites have been determined using a comparable analysis of pricing for similar group townhouse parcels in the Saskatoon market, and the unique site and situational characteristics of each parcel. The recommended pricing for these sites is as follows:

Parcel H (address to be assigned)	\$785,000/acre	4.827 acres	Reserve Bid: \$3,789,500
Parcel G (address to be assigned)	\$825,000/acre	5.163 acres	Reserve Bid: \$4,259,500

Multi-family Architectural Controls

As with all multi-unit dwelling sites within the Evergreen neighbourhood, these sites will be subject to an architectural review process based on the document Architectural Controls for Multi-family Dwelling Districts.

Multi-family Development Controls

A number of development controls are proposed for the four group townhouse residential parcels considered in this report:

- 1) The development shall consist of ground-oriented housing units only. No dwelling units shall be located above or below another;
- 2) All buildings shall have a maximum of two storeys in elevation;
- 3) No dwelling units shall be constructed with an above-grade floor area (excluding attached decks, patios and garages) less than 1,000 square feet;
- 4) The rear yard setback shall be a minimum of 7.5 metres where the site is directly adjacent to single-family development without a lane in-between; and

- 5) All dwelling units must be constructed with a minimum single-wide garage. The garage must be constructed at the same time the dwelling is built.

OPTIONS

The only option would be to not proceed with the sale of the land at this time.

POLICY IMPLICATIONS

There are no policy implications.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.

FINANCIAL IMPLICATIONS

The proceeds from the sale of this land will be deposited into the Rosewood Neighbourhood Land Development Fund.

COMMUNICATIONS PLAN

Notice of the lot draw will be advertised in The StarPhoenix a minimum of two Saturdays prior to the lot draw, pursuant to City Council Policy C09-006 Residential Lot Sales – General Policy, and will be posted on the City of Saskatoon Land Branch website.

PUBLIC NOTICE

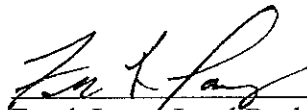
Public Notice, pursuant to Section 3 of Public Notice Policy No. C01-021, is not required.

ATTACHMENTS

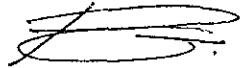
1. Rosewood Neighbourhood Phasing Map
2. Rosewood map showing the lots to be priced
3. List of 165 individual single family lot prices

Written by: Matt Grazier, Planner 16

Reviewed by:


Frank Long, Land Bank Manager,
Dated: July 13, 2012

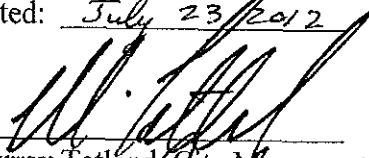
Approved by:



Randy Grauer, General Manager
Community Services Department

Dated: July 23/2012

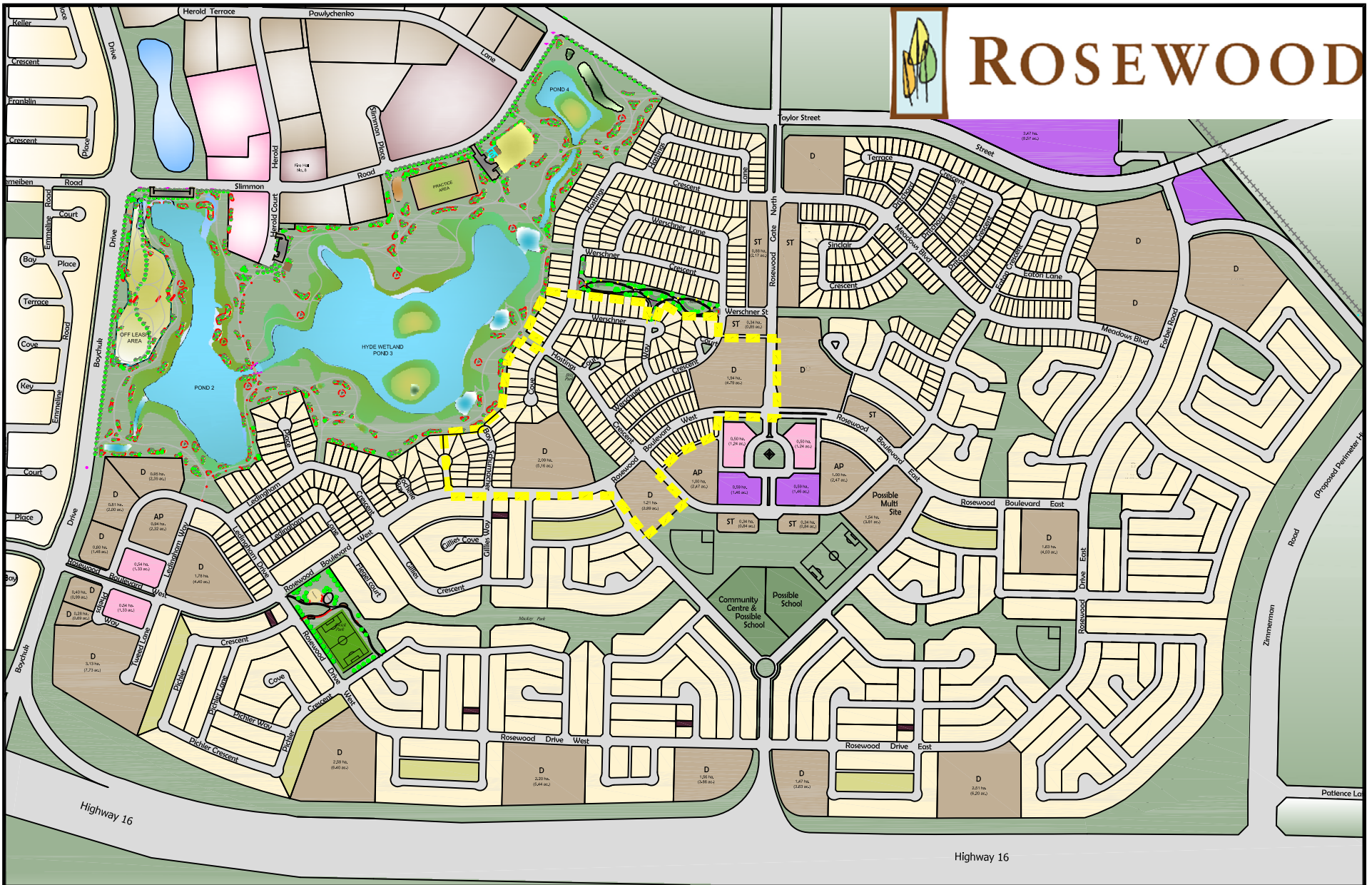
Approved by:



Murray Totland, City Manager

Dated: July 24/12

ROSEWOOD



- Single Family
 - Single Family Attached
 - Multi-Family
 - Residential Type II Care Home
 - Institutional
 - Commercial
 - Mixed Use
 - Community Centre & Possible Schools
 - Parks, Buffers and Open Space
 - Lakes and Ponds
- AP = Apartment Style
D = Dwelling Group Townhouse
ST = Street Townhouse

Park design is conceptual, subject to change.



The Rosewood Neighbourhood is a joint project shared with the City of Saskatoon and several other developers. For more information on specific lots please contact the Land Branch at 975-3278.



2012
165 lots (3.02 ac multi-family)

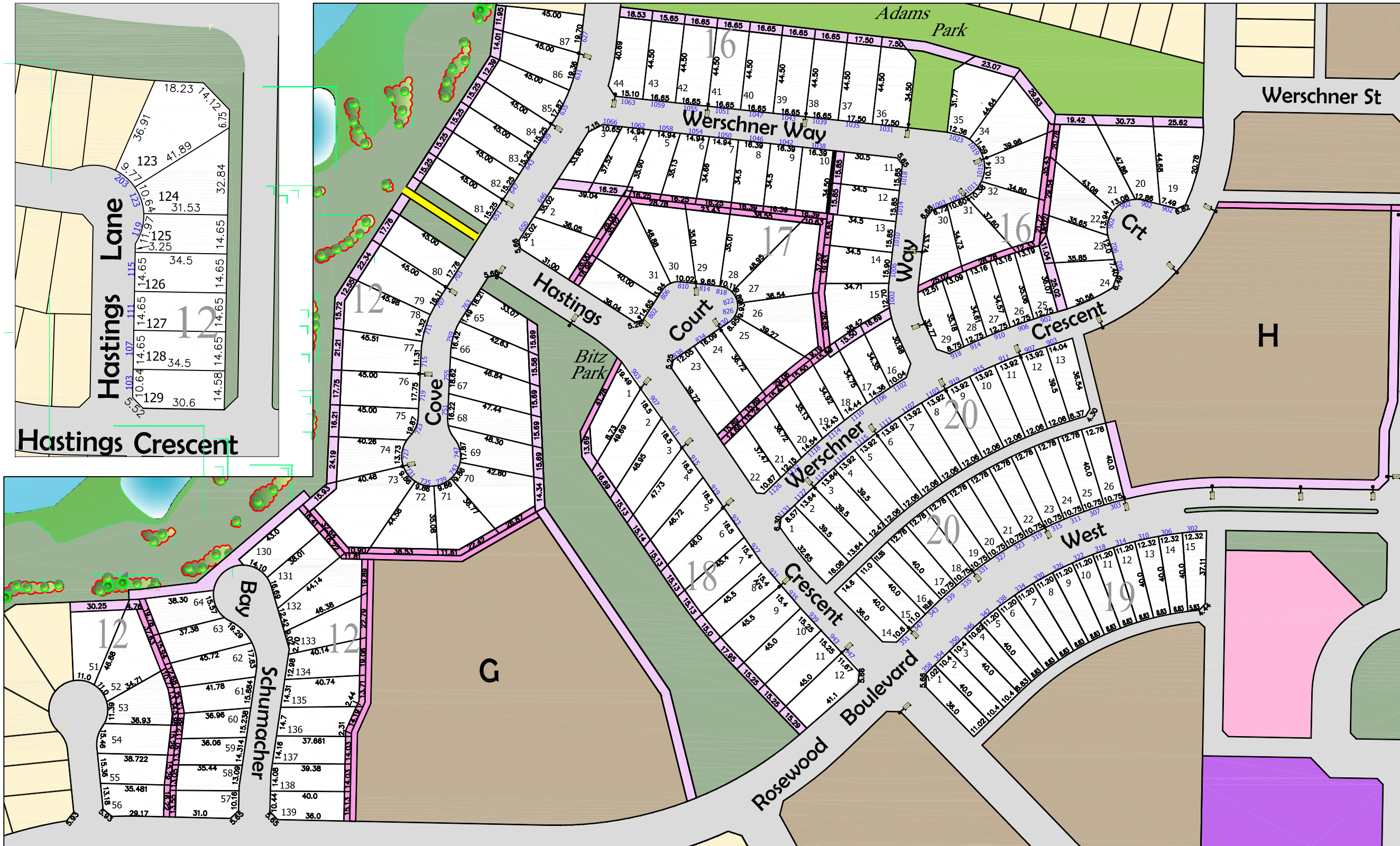
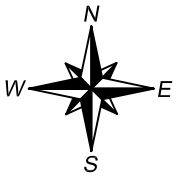
Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in metres unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.



ROSEWOOD

Phase 2, Lot Availability- 165 Lots & 2 Multi-family Parcels

Werschener Way, Crescent, & Court; Hastings Crescent, Cove & Court;
Schumacher Bay and Rosewood Boulevard West



Legend:

- Civic Addresses 1234
- Decorative Fence
- Easement 1.5m
- Easement 3m
- Easement 5m
- City Water & Sewer Easement (Varies)
- Future Lot Draw
- LED Light Standard
- Multi-Family parcels
- Previous Lot Draw

The Rosewood Neighbourhood is a joint project shared with the City of Saskatoon and several other developers. For more information on specific lots please contact the Land Branch at 975-3278.

The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in metres unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Park design and municipal buffer landscaping is not finalized and subject to change.



Community Services - Land Branch - March 2011
Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale.

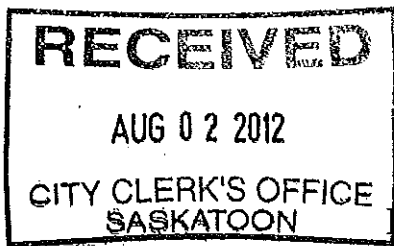
Proposed Price List

Rosewood (2012)

Lot	Block	Plan	Price
Phase 2 Lots			
51	12	Plan to be registered	\$283,600.00
52	12	Plan to be registered	\$288,500.00
53	12	Plan to be registered	\$230,400.00
54	12	Plan to be registered	\$168,900.00
55	12	Plan to be registered	\$168,900.00
56	12	Plan to be registered	\$163,500.00
57	12	Plan to be registered	\$134,200.00
58	12	Plan to be registered	\$131,800.00
59	12	Plan to be registered	\$139,200.00
60	12	Plan to be registered	\$141,600.00
61	12	Plan to be registered	\$154,600.00
62	12	Plan to be registered	\$169,500.00
63	12	Plan to be registered	\$186,500.00
64	12	Plan to be registered	\$206,000.00
65	12	Plan to be registered	\$218,000.00
66	12	Plan to be registered	\$218,800.00
67	12	Plan to be registered	\$220,000.00
68	12	Plan to be registered	\$204,500.00
69	12	Plan to be registered	\$209,100.00
70	12	Plan to be registered	\$246,200.00
71	12	Plan to be registered	\$229,300.00
72	12	Plan to be registered	\$229,200.00
73	12	Plan to be registered	\$289,100.00
74	12	Plan to be registered	\$274,100.00
75	12	Plan to be registered	\$257,000.00
76	12	Plan to be registered	\$281,200.00
77	12	Plan to be registered	\$289,200.00
78	12	Plan to be registered	\$294,300.00
79	12	Plan to be registered	\$289,800.00
80	12	Plan to be registered	\$283,100.00
81	12	Plan to be registered	\$240,700.00
82	12	Plan to be registered	\$240,700.00
83	12	Plan to be registered	\$240,700.00
84	12	Plan to be registered	\$240,700.00
85	12	Plan to be registered	\$256,400.00
86	12	Plan to be registered	\$260,500.00
87	12	Plan to be registered	\$258,100.00
130	12	Plan to be registered	\$221,700.00
131	12	Plan to be registered	\$199,300.00
132	12	Plan to be registered	\$201,100.00
133	12	Plan to be registered	\$175,400.00
134	12	Plan to be registered	\$160,200.00

Lot	Block	Plan	Price
135	12	Plan to be registered	\$151,600.00
136	12	Plan to be registered	\$148,300.00
137	12	Plan to be registered	\$139,500.00
138	12	Plan to be registered	\$140,900.00
139	12	Plan to be registered	\$140,000.00
19	16	Plan to be registered	\$240,800.00
20	16	Plan to be registered	\$227,700.00
21	16	Plan to be registered	\$238,900.00
22	16	Plan to be registered	\$188,200.00
23	16	Plan to be registered	\$166,400.00
24	16	Plan to be registered	\$184,700.00
25	16	Plan to be registered	\$124,400.00
26	16	Plan to be registered	\$124,300.00
27	16	Plan to be registered	\$124,200.00
28	16	Plan to be registered	\$123,800.00
29	16	Plan to be registered	\$136,000.00
30	16	Plan to be registered	\$163,200.00
31	16	Plan to be registered	\$186,900.00
32	16	Plan to be registered	\$190,500.00
33	16	Plan to be registered	\$215,000.00
34	16	Plan to be registered	\$267,400.00
35	16	Plan to be registered	\$257,000.00
36	16	Plan to be registered	\$219,800.00
37	16	Plan to be registered	\$219,800.00
38	16	Plan to be registered	\$209,200.00
39	16	Plan to be registered	\$209,200.00
40	16	Plan to be registered	\$209,200.00
41	16	Plan to be registered	\$209,200.00
42	16	Plan to be registered	\$209,200.00
43	16	Plan to be registered	\$209,200.00
44	16	Plan to be registered	\$216,500.00
1	17	Plan to be registered	\$206,100.00
2	17	Plan to be registered	\$202,600.00
3	17	Plan to be registered	\$155,900.00
4	17	Plan to be registered	\$163,800.00
5	17	Plan to be registered	\$167,600.00
6	17	Plan to be registered	\$170,000.00
7	17	Plan to be registered	\$170,900.00
8	17	Plan to be registered	\$170,900.00
9	17	Plan to be registered	\$170,900.00
10	17	Plan to be registered	\$168,100.00
11	17	Plan to be registered	\$153,000.00
12	17	Plan to be registered	\$153,000.00
13	17	Plan to be registered	\$153,000.00
14	17	Plan to be registered	\$174,800.00
15	17	Plan to be registered	\$209,600.00
16	17	Plan to be registered	\$137,300.00
17	17	Plan to be registered	\$141,700.00

Lot	Block	Plan	Price
18	17	Plan to be registered	\$141,500.00
19	17	Plan to be registered	\$141,500.00
20	17	Plan to be registered	\$141,900.00
21	17	Plan to be registered	\$141,300.00
22	17	Plan to be registered	\$141,400.00
23	17	Plan to be registered	\$166,800.00
24	17	Plan to be registered	\$166,800.00
25	17	Plan to be registered	\$195,000.00
26	17	Plan to be registered	\$200,600.00
27	17	Plan to be registered	\$219,500.00
28	17	Plan to be registered	\$215,400.00
29	17	Plan to be registered	\$182,000.00
30	17	Plan to be registered	\$186,900.00
31	17	Plan to be registered	\$192,900.00
32	17	Plan to be registered	\$192,000.00
1	18	Plan to be registered	\$199,900.00
2	18	Plan to be registered	\$193,200.00
3	18	Plan to be registered	\$190,000.00
4	18	Plan to be registered	\$194,700.00
5	18	Plan to be registered	\$198,600.00
6	18	Plan to be registered	\$202,000.00
7	18	Plan to be registered	\$180,600.00
8	18	Plan to be registered	\$181,200.00
9	18	Plan to be registered	\$191,800.00
10	18	Plan to be registered	\$181,300.00
11	18	Plan to be registered	\$181,300.00
12	18	Plan to be registered	\$169,900.00
1	19	Plan to be registered	\$107,100.00
2	19	Plan to be registered	\$101,100.00
3	19	Plan to be registered	\$101,100.00
4	19	Plan to be registered	\$98,200.00
5	19	Plan to be registered	\$100,500.00
6	19	Plan to be registered	\$100,500.00
7	19	Plan to be registered	\$100,500.00
8	19	Plan to be registered	\$100,500.00
9	19	Plan to be registered	\$100,500.00
10	19	Plan to be registered	\$100,500.00
11	19	Plan to be registered	\$100,500.00
12	19	Plan to be registered	\$100,500.00
13	19	Plan to be registered	\$107,500.00
14	19	Plan to be registered	\$107,500.00
15	19	Plan to be registered	\$106,900.00
1	20	Plan to be registered	\$155,100.00
2	20	Plan to be registered	\$145,800.00
3	20	Plan to be registered	\$142,500.00
4	20	Plan to be registered	\$141,400.00
5	20	Plan to be registered	\$141,400.00
6	20	Plan to be registered	\$141,400.00



TO: Secretary, Land Bank Committee
FROM: General Manager, Community Services Department
DATE: July 18, 2012
SUBJECT: Request to Sell City-owned Property - 246 Single-family Lots and Four Multi-family Parcels in the Evergreen Neighbourhood on Salloum Crescent, Kloppenburg Way, Kloppenburg Street, Kloppenburg Crescent, Kloppenburg Court, Kloppenburg Terrace, Kloppenburg Bend, and Evergreen Boulevard.
FILE NO: LA 4218-12-3

RECOMMENDATION: that a report be submitted to City Council recommending:

- 1) that the Land Bank Manager be authorized to sell 244 lots with legal description of: Plan to be Registered, Block 636, Lots 20 to 35; Plan to be Registered, Block 637, Lots 1 to 17; Plan to be Registered, Block 638, Lots 1 to 44; Plan to be Registered, Block 639, Lots 1 to 44; Plan to be Registered, Block 640, Lots 1 to 46; Plan to be Registered, Block 641, Lots 1 to 14; Plan to be Registered, Block 642, Lots 1 to 14; Plan to be Registered, Block 643, Lots 1 to 24; Plan to be Registered, Block 644, Lots 3 to 27; in the Evergreen neighbourhood through a lot draw process as outlined in this report;
- 2) that any of the lots which are not sold through the lot draw process be placed for sale over-the-counter on a first-come, first-served basis;
- 3) that the Land Bank Manager be authorized to sell Parcel P, Plan 102088953, and Parcels EE, FF, and GG Plan to be Registered to the highest bidder through a public tender process with reserve bid prices as outlined in this report;
- 4) that the Land Bank Manager be authorized to sell in Block 644, Lots 1 and 2, to the highest bidder through a tender process for the intended use of developing Type 2 Residential Care Homes, Child Care Centres or Pre-Schools with tender conditions and reserve bid prices as outlined in this report, plus applicable taxes;
- 5) that His Worship the Mayor and the City Clerk be authorized to execute the necessary documentation to complete the sales by public tender;

- 6) that any of Parcels P, EE, FF, and GG which are not sold through the public tender process be placed for sale over-the-counter on a first-come, first-served basis;
- 7) that any of the pre-designated Type 2 Residential Care Home, Child Care Centre or Pre-School lots which are not sold through the public tender process be placed for sale over-the-counter on a first-come, first-served basis for the same intended purpose for a period of one year with conditions specified in the Agreement for Sale as outlined in this report;
- 8) that any of the pre-designated Type 2 Residential Care Home, Child Care Centre or Pre-School lots remaining in inventory after a period of one year be made available for sale over-the-counter on a first-come, first-served basis for one of the permitted uses within the R1A zoning district; and
- 9) that the Land Bank Manager be authorized to administer development controls for the 246 lots and four multi-family parcels in accordance with the criteria outlined in this report.

BACKGROUND

The purpose of this report is to:

- 1) obtain approval to sell two lots through a public tender process at pre-designated locations for Type 2 Residential Care Homes, Child Care Centres or Pre-Schools;
- 2) obtain approval to sell the remaining single family lots through a lot draw process to individuals and builders;
- 3) obtain approval to sell four multi-family parcels; and
- 4) obtain approval to administer development controls for each of the lots proposed to be sold.

Attachment 1 indicates the location of the lots and parcels on Salloum Crescent, Kloppenburg Crescent, Kloppenburg Street, Kloppenburg Way, Kloppenburg Terrace, Kloppenburg Court, Kloppenburg Bend and Evergreen Boulevard in the Evergreen neighbourhood. Parcels P, EE, FF, and GG will be sold by public tender. In Block 644, Lots 1 and 2, will be tendered and sold as pre-designated Type 2 Residential Care Home, Child Care Centre or Pre-School sites. The remaining 244 lots will be sold via a lot draw process.

The 246 lots in Evergreen are being priced at this time and are intended to be sold in the fall. The completion of servicing for these lots is expected in fall of this year. Dependent on completion of servicing, the Land Branch may offer these lots in a fall lot draw prior to the lots being fully serviced. In this case, possession of the lots will not be granted until the roads are completed to a gravel base stage and the shallow buried utilities are installed. Also the sale agreements for these lots will include the delayed possession date. Offering the lots before servicing completion will provide builders some advance time to market the lots and initiate the building permit approval process while the final servicing work is being completed.

The four parcels in Evergreen will be tendered after servicing is complete. Depending on demand for these parcels and the completion of servicing, tendering of the parcels may occur with a delayed possession date and will be subsequently released at the same time as the 246 lots.

REPORT

Pre-Designated Lots

There are two lots being pre-designated as potential locations for Type 2 Residential Care Homes, Child Care Centres or Pre-Schools on Evergreen Boulevard. It is recommended that these two lots be sold through a public tender process with reserve bid prices as follows:

Plan Number to be Registered, Block 644, Lot 1,	\$146,800
Plan Number to be Registered, Block 644, Lot 2,	\$149,100

Tenders will be awarded to the highest bidder over the reserve bid price that meet the conditions as specified in the tender documents. If there is any uncertainty regarding the bids received, the appropriate reports and recommendations will be provided to Council.

One of the conditions to be specified in the tender documents is that the purchaser will be required to submit a ten percent non-refundable deposit. A Certificate of Independent Bid Determination will also be required from all bidders.

Transfer of Title to the purchaser's name will not occur until such time as the purchaser has submitted a Discretionary Use Application for the intended use and Administration (Planning & Development) has approved it. A period of no longer than six months will be permitted for the purchaser to gain this approval. The purchaser will be responsible for all costs associated with this application. If the purchaser is unable to gain the necessary approval within six months from the close of tenders, the purchaser will forfeit their non-refundable deposit and the lot will be made available for purchase over-the-counter on a first-come, first-served basis.

A similar condition will be incorporated into the Agreements for Sale when the lots are available over-the-counter. The purchaser will be required to obtain the necessary approvals for a Type 2 Residential Care Home, Child Care Centre or Pre-School within six months of placing an option on the lot. The term of the option will be six months and will require a non-refundable deposit of ten percent of the reserve bid price.

Regardless of how the lots are sold, a letter of credit totalling ten percent of the purchase price will be required from the purchaser to ensure the sites are used for one of the intended land uses (residential care home, day care or preschool). Upon completion of the home to the backfill stage, the letter of credit will be refunded.

If one or more of these lots do not sell within one year from the date of the original tender, the lots will be removed from the pre-designated list and will be sold on a first-come, first-served basis for one of the permitted uses within the R1A zoning district.

Lot Pricing

The lots in this phase of development will be the fifth grouping of Evergreen lots offered to the market. They vary in size from a minimum frontage of 9.14 metres (30 feet) to a maximum of 17.79 metres (58.37 feet). The majority of lots with rear lane access are 9.14 metres (30 feet) wide. The majority of lots without rear lane access range from 14 metres (45.93 feet) to 15.85 metres (52 feet) in width.

There are a number of unique features in this phase of development including the following:

1. The Land Branch has designated a pocket (34 lots) in the Kloppenburg Crescent/Terrace area that could accommodate flat or lower roof-pitch style homes. This area is shaded blue in Attachment 2 and represents 14 percent of the lots in this phase. Typically, single family lots within the Land Branch's ownership areas require a 6-in-12 roof-pitch. However, in response to builder demand and trends in the housing market, the Land Branch recently began to designate select pockets within their ownership areas where no roof-pitch controls are required. Such areas allow for and accommodate a modern contemporary housing style.
2. Four lots in Block 641, Lots 1 and 14 and Block 642, Lots 7 and 8, flank park space. These lots will contain decorative aluminium fencing along the side yards that flank the park.
3. Seven lots in Block 640, Lots 1 to 7, back onto the Evergreen Boulevard which is the north entrance to the neighbourhood. These lots will contain rear yard masonry fencing.

Lot prices have been determined based on an examination of current and expected lot prices for comparable properties and the increase in the 2012 prepaid servicing rates. A base unit price of \$9,500 per front metre was used to calculate the lot prices. Adjustments were then made to the base prices, based on lot location and characteristics. A list of the individual lot prices is attached (Attachment 2). The prices range from \$90,100 to \$207,600, with average lot price for this phase being \$124,500.

Lot Development Controls

A number of different development controls are being proposed in this phase of development in order to create character within the neighbourhood, to help fulfil the vision of the neighbourhood design, and to harmonize the interface between various housing forms. Development controls vary from one area to another due to lot sizes and location.

Lot Masonry Requirement

Plans for the design of built enhancements such as entry fences, entry signs, parks, drainage areas, the village square, roundabout landscaping and streetscaping design throughout the neighbourhood will include the use of naturally occurring rock that has been excavated in the normal land development process. One control that will be consistently proposed throughout the neighbourhood is the minimum 100 square feet of masonry application in order to harmonize home building materials to the design of these developer enhanced areas.

- 1) **Kloppenburg Terrace**
The following development controls pertain to larger lots with no roof pitch requirement:

Plan to be Registered, Block 640, Lots 35 to 46
 - a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,500 square feet in the case of a two-storey dwelling;
 - b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long; and
 - c) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner.

- 2) **Kloppenburg Crescent**
The following development controls pertain to narrow lots, with rear lane access and no roof-pitch requirement:

Plan to be Registered, Block 639, Lots 23 to 44

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow or bi-level;
 - ii. 1,200 square feet in the case of a two-storey dwelling;
 - b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted;
 - c) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres wide and 6 metres long. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the property line;
 - d) All dwellings shall be constructed with covered front verandas. The minimum width of the front veranda for bungalows and bi-levels shall be half the width of the house facade. Two storey dwellings shall have front verandas across the entire width of the house facade. Verandas shall be partially enclosed with railings and spindles or other type of partial enclosure; and
 - e) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner.
- 3) Kloppenburg Court and Kloppenburg Crescent
The following development controls pertain to larger lots:

Plan to be Registered, Block 636, Lots 20 to 35

Plan to be Registered, Block 640, Lots 1 to 34

Plan to be Registered, Block 641, Lots 8 to 14

Plan to be Registered, Block 642, Lots 8 to 14

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,500 square feet in the case of a two-storey dwelling;

- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long;
 - c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
 - d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner.
- 4) Kloppenburg Street, Kloppenburg Way, Kloppenburg Crescent and Kloppenburg Bend
- The following development controls pertain to narrow lots with rear lane access:
- Plan to be Registered, Block 638, Lots 1 to 44
 - Plan to be Registered, Block 639, Lots 1 to 22
 - Plan to be Registered, Block 643, Lots 1 to 24
 - Plan to be Registered, Block 644, Lots 19 to 27
- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow or bi-level;
 - ii. 1,200 square feet in the case of a two-storey dwelling;
 - b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted;
 - c) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres wide and 6 metres long. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the property line;
 - d) All dwellings shall be constructed with covered front verandas. The minimum width of the front veranda for bungalows and bi-levels shall be half the width of the house facade. Two storey dwellings shall have front verandas across the entire width of the house facade. Verandas shall be partially enclosed with railings and spindles or other type of partial enclosure;

- e) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
 - f) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner.
- 5) Evergreen Boulevard, Kloppenburg Crescent, Kloppenburg Way and Kloppenburg Bend
The following development controls pertain to standard lots fronting onto Evergreen Boulevard, Kloppenburg Crescent, Kloppenburg Way and Kloppenburg Bend:
- Plan to be Registered, Block 637, Lots 1 to 17
Plan to be Registered, Block 641, Lots 1 to 7
Plan to be Registered, Block 642, Lots 1 to 7
Plan to be Registered, Block 644, Lots 1 to 18
- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,200 square feet in the case of a two-storey dwelling;
 - b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long;
 - c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch;
 - d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner; and
 - e) Garages shall not protrude more than 2.4 metres (8 feet) from the façade of any habitable floor area of the dwelling;

In addition to the development controls noted in 1, 3, and 5, a separate interest will be registered against the title of each single-family lot with a front attached garage indicating which side of the lot the garage must be placed against. As outlined in the report adopted by City Council on February 27, 2006, the intent of this control is to pair garages together against a common property line in order to provide a better streetscape appearance.

Group Townhouse Parcels P, EE, FF, and GG

Parcel Pricing

Reserve bid prices for these sites have been determined using a comparable analysis of pricing for similar group townhouse parcels in the Saskatoon market, and the unique site and situational characteristics of each parcel. The recommended pricing for these sites is as follows:

Parcel P, (address to be assigned)	\$768,000/acre	1.288 acres	Reserve Bid: \$ 989,500
Parcel EE, (address to be assigned)	\$785,000/acre	1.450 acres	Reserve Bid: \$1,138,500
Parcel FF, (address to be assigned)	\$785,000/acre	2.109 acres	Reserve Bid: \$1,656,000
Parcel GG, (address to be assigned)	\$768,000/acre	1.705 acres	Reserve Bid: \$1,309,500

Multi-family Architectural Controls

As with all multi-unit dwelling sites within the Evergreen neighbourhood, these sites will be subject to an architectural review process based on the document, Architectural Controls for Multi-family Dwelling Districts.

Multi-family Development Controls

A number of development controls are proposed for the four group townhouse residential parcels considered in this report:

- 1) The development shall consist of ground-oriented housing units only. No dwelling units shall be located above or below another;
- 2) All buildings shall have a maximum of two storeys in elevation;
- 3) No dwelling units shall be constructed with an above-grade floor area (excluding attached decks, patios and garages) less than 1,000 square feet;
- 4) The rear yard setback shall be a minimum of 7.5 metres where the site is directly adjacent to single-family development without a lane in-between; and
- 5) All dwelling units must be constructed with a minimum single-wide garage. The garage must be constructed at the same time the dwelling is built.

OPTIONS

The only option would be to not proceed with the sale of the land at this time.

POLICY IMPLICATIONS

There are no policy implications.

ENVIRONMENTAL IMPLICATIONS

The Evergreen environmental initiatives, approved by City Council on September 27, 2010, will apply to all single-family and multi-family townhouse parcels in this phase.

FINANCIAL IMPLICATIONS

The proceeds from the sale of this land will be deposited into the Evergreen Neighbourhood Land Development Fund.

COMMUNICATIONS PLAN

Notice of the lot draw and public tender will be advertised in The StarPhoenix for a minimum of two Saturdays prior to the lot draw and tender, pursuant to City Council Policy C09-006 Residential Lot Sales – General Policy, and will be posted on the City of Saskatoon Land Branch website.

PUBLIC NOTICE

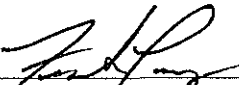
Public Notice, pursuant to Section 3 of Public Notice Policy No. C01-021, is not required.

ATTACHMENTS

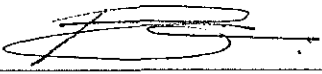
1. Evergreen Neighbourhood Phasing Map
2. Evergreen map showing the lots to be priced
3. List of 246 individual lot prices

Written by: Derek Thompson, Land Development Project Manager

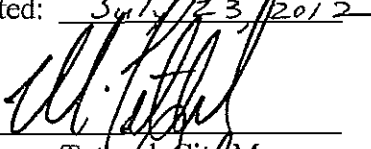
Reviewed by:


 Frank Long, Land Bank Manager,
 Dated: July 13, 2012

Approved by:


 Randy Grauer, General Manager
 Community Services Department
 Dated: July 23, 2012

Approved by:

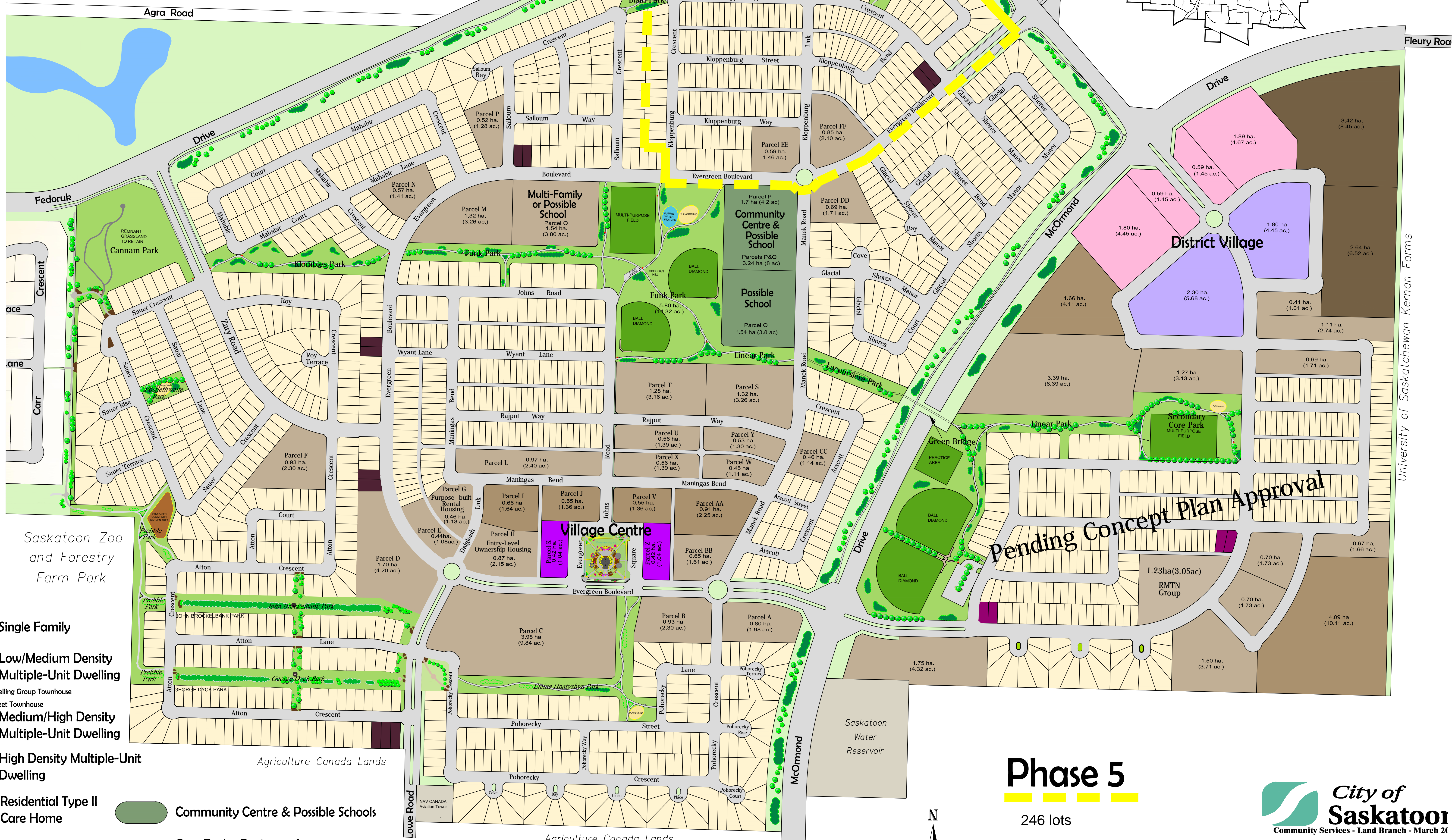
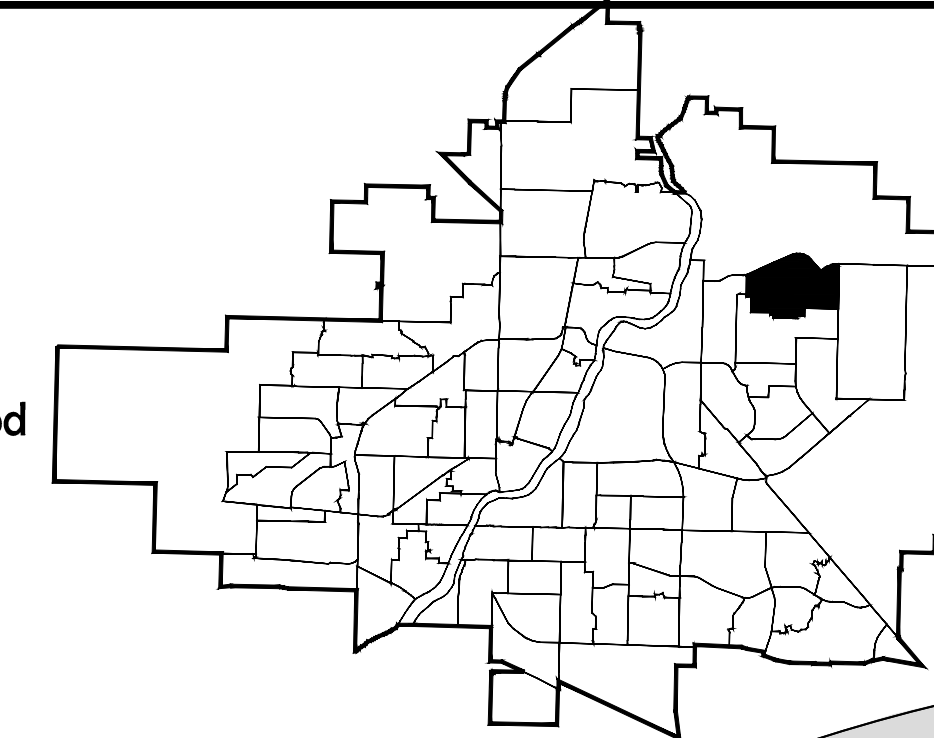

 Murray Tottand, City Manager
 Dated: July 26/12



EVERGREEN

Northeast Swale Preserved Natural Lands

Proposed Access to Future Neighbourhood

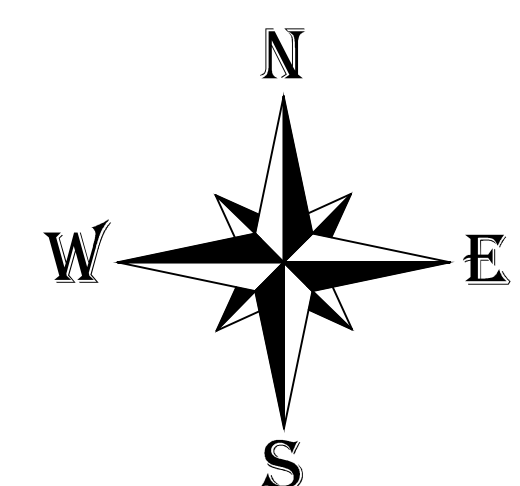


- Single Family
 - Low/Medium Density Multiple-Unit Dwelling
 - Medium/High Density Multiple-Unit Dwelling
 - High Density Multiple-Unit Dwelling
 - Residential Type II Care Home
 - Commercial
 - Institutional
 - Community Centre & Possible Schools
 - Core Parks, Drainage Areas and Linear Parks
 - Buffers and Open Space
- D = Dwelling Group Townhouse
ST = Street Townhouse

Pending Concept Plan Approval

Phase 5

246 lots



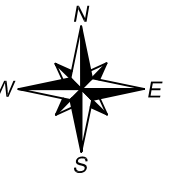
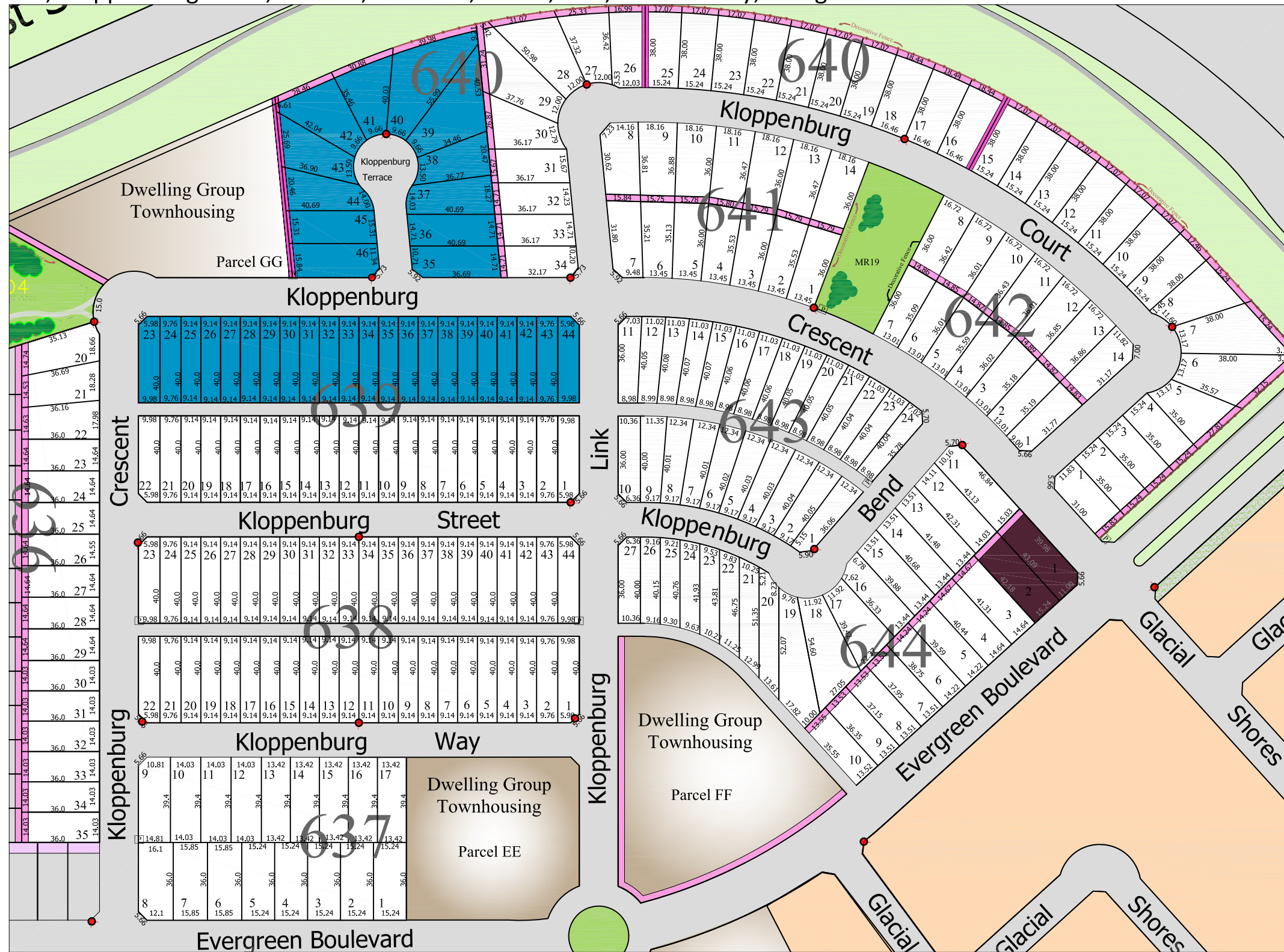
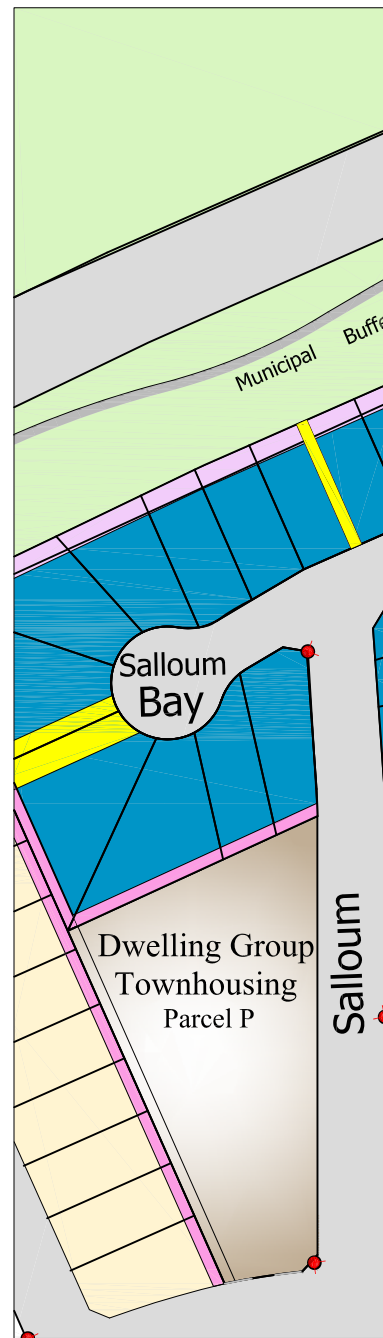
Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Survey. This plan is not to scale. Distances are in meters shown otherwise. This is not a legal plan. Lot dimension location of other features are compiled from available information and are subject to change without notice. For verification check with the appropriate authority. Do not

University of Saskatchewan Kernan Farms



EVERGREEN

Phase 5, Lot Availability -246 Lots & 4 Multi-family Parcels;
Salloum Crescent, Kloppenburg Court, Terrace, Crescent, Street, Link, Bend & Way; Evergreen Boulevard.



Legend:

- Civic Addresses 1234
- Corner Garage Location
- Decorative Fence
- Easement 1.5m
- Easement 3m
- City Water & Sewer Easement (Varies)
- Fire Hydrant
- Future Lot Draw
- Previous Lot Draw
- Garage Location
- Mail Boxes
- Masonry Fence
- Requirement Lots without Roof slope
- Previous Lot Draw
- Pre-designated Lots
(Residential Care Home - Type II; Daycare Centre; Preschool)



Community Services - Land Branch - July 2012
Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale.

The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in metres unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Park design and municipal buffer landscaping is not finalized and subject to change.

Proposed Price List
Evergreen Phase 5 (2012)

Lot	Block	Plan	Price
Kloppenburg			
20	636	Plan to be registered	\$181,800.00
21	636	Plan to be registered	\$157,600.00
22	636	Plan to be registered	\$157,600.00
23	636	Plan to be registered	\$139,100.00
24	636	Plan to be registered	\$139,100.00
25	636	Plan to be registered	\$139,100.00
26	636	Plan to be registered	\$138,200.00
27	636	Plan to be registered	\$139,100.00
28	636	Plan to be registered	\$139,100.00
29	636	Plan to be registered	\$139,100.00
30	636	Plan to be registered	\$133,300.00
31	636	Plan to be registered	\$133,300.00
32	636	Plan to be registered	\$133,300.00
33	636	Plan to be registered	\$133,300.00
34	636	Plan to be registered	\$133,300.00
35	636	Plan to be registered	\$133,300.00
1	637	Plan to be registered	\$130,300.00
2	637	Plan to be registered	\$137,500.00
3	637	Plan to be registered	\$137,500.00
4	637	Plan to be registered	\$152,000.00
5	637	Plan to be registered	\$152,000.00
6	637	Plan to be registered	\$158,100.00
7	637	Plan to be registered	\$158,100.00
8	637	Plan to be registered	\$160,600.00
9	637	Plan to be registered	\$144,900.00
10	637	Plan to be registered	\$137,300.00
11	637	Plan to be registered	\$137,300.00
12	637	Plan to be registered	\$137,300.00
13	637	Plan to be registered	\$131,300.00
14	637	Plan to be registered	\$131,300.00
15	637	Plan to be registered	\$131,300.00
16	637	Plan to be registered	\$131,300.00
17	637	Plan to be registered	\$124,900.00
1	638	Plan to be registered	\$98,400.00
2	638	Plan to be registered	\$96,200.00
3	638	Plan to be registered	\$90,100.00
4	638	Plan to be registered	\$90,100.00
5	638	Plan to be registered	\$90,100.00
6	638	Plan to be registered	\$90,100.00
7	638	Plan to be registered	\$90,100.00
8	638	Plan to be registered	\$90,100.00
9	638	Plan to be registered	\$90,100.00

Lot	Block	Plan	Price
10	638	Plan to be registered	\$94,500.00
11	638	Plan to be registered	\$94,500.00
12	638	Plan to be registered	\$94,500.00
13	638	Plan to be registered	\$94,500.00
14	638	Plan to be registered	\$94,500.00
15	638	Plan to be registered	\$94,500.00
16	638	Plan to be registered	\$94,500.00
17	638	Plan to be registered	\$94,500.00
18	638	Plan to be registered	\$94,500.00
19	638	Plan to be registered	\$94,500.00
20	638	Plan to be registered	\$94,500.00
21	638	Plan to be registered	\$100,900.00
22	638	Plan to be registered	\$103,100.00
23	638	Plan to be registered	\$103,100.00
24	638	Plan to be registered	\$100,900.00
25	638	Plan to be registered	\$94,500.00
26	638	Plan to be registered	\$94,500.00
27	638	Plan to be registered	\$94,500.00
28	638	Plan to be registered	\$94,500.00
29	638	Plan to be registered	\$94,500.00
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44	638	Plan to be registered	\$103,100.00
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11	639	Plan to be registered	\$94,500.00
12	639	Plan to be registered	\$94,500.00
13	639	Plan to be registered	\$94,500.00

Lot	Block	Plan	Price
14	639	Plan to be registered	\$94,500.00
15	639	Plan to be registered	\$94,500.00
16	639	Plan to be registered	\$94,500.00
17	639	Plan to be registered	\$94,500.00
18	639	Plan to be registered	\$94,500.00
19	639	Plan to be registered	\$94,500.00
20	639	Plan to be registered	\$94,500.00
21	639	Plan to be registered	\$100,900.00
22	639	Plan to be registered	\$103,100.00
23	639	Plan to be registered	\$98,400.00
24	639	Plan to be registered	\$96,200.00
25	639	Plan to be registered	\$90,100.00
26	639	Plan to be registered	\$90,100.00
27	639	Plan to be registered	\$90,100.00
28	639	Plan to be registered	\$90,100.00
29	639	Plan to be registered	\$90,100.00
30	639	Plan to be registered	\$90,100.00
31	639	Plan to be registered	\$94,500.00
32	639	Plan to be registered	\$94,500.00
33	639	Plan to be registered	\$94,500.00
34	639	Plan to be registered	\$94,500.00
35	639	Plan to be registered	\$94,500.00
36	639	Plan to be registered	\$94,500.00
37	639	Plan to be registered	\$94,500.00
38	639	Plan to be registered	\$94,500.00
39	639	Plan to be registered	\$94,500.00
40	639	Plan to be registered	\$94,500.00
41	639	Plan to be registered	\$94,500.00
42	639	Plan to be registered	\$94,500.00
43	639	Plan to be registered	\$100,900.00
44	639	Plan to be registered	\$103,100.00
1	640	Plan to be registered	\$155,100.00
2	640	Plan to be registered	\$149,400.00
3	640	Plan to be registered	\$149,400.00
4	640	Plan to be registered	\$149,400.00
5	640	Plan to be registered	\$194,800.00
6	640	Plan to be registered	\$207,600.00
7	640	Plan to be registered	\$202,500.00
8	640	Plan to be registered	\$180,800.00
9	640	Plan to be registered	\$151,600.00
10	640	Plan to be registered	\$151,300.00
11	640	Plan to be registered	\$150,400.00
12	640	Plan to be registered	\$150,400.00
13	640	Plan to be registered	\$150,400.00
14	640	Plan to be registered	\$150,400.00
15	640	Plan to be registered	\$147,600.00
16	640	Plan to be registered	\$171,000.00
17	640	Plan to be registered	\$178,700.00

Lot	Block	Plan	Price
18	640	Plan to be registered	\$173,800.00
19	640	Plan to be registered	\$150,400.00
20	640	Plan to be registered	\$150,400.00
21	640	Plan to be registered	\$150,400.00
22	640	Plan to be registered	\$150,400.00
23	640	Plan to be registered	\$150,400.00
24	640	Plan to be registered	\$150,400.00
25	640	Plan to be registered	\$147,600.00
26	640	Plan to be registered	\$147,600.00
27	640	Plan to be registered	\$167,700.00
28	640	Plan to be registered	\$183,600.00
29	640	Plan to be registered	\$185,600.00
30	640	Plan to be registered	\$174,500.00
31	640	Plan to be registered	\$148,100.00
32	640	Plan to be registered	\$139,100.00
33	640	Plan to be registered	\$139,100.00
34	640	Plan to be registered	\$139,100.00
35	640	Plan to be registered	\$150,200.00
36	640	Plan to be registered	\$150,200.00
37	640	Plan to be registered	\$162,700.00
38	640	Plan to be registered	\$162,000.00
39	640	Plan to be registered	\$198,700.00
40	640	Plan to be registered	\$198,600.00
41	640	Plan to be registered	\$174,700.00
42	640	Plan to be registered	\$179,500.00
43	640	Plan to be registered	\$166,500.00
44	640	Plan to be registered	\$163,400.00
45	640	Plan to be registered	\$156,400.00
46	640	Plan to be registered	\$161,800.00
1	641	Plan to be registered	\$162,300.00
2	641	Plan to be registered	\$142,000.00
3	641	Plan to be registered	\$135,300.00
4	641	Plan to be registered	\$135,300.00
5	641	Plan to be registered	\$135,300.00
6	641	Plan to be registered	\$135,300.00
7	641	Plan to be registered	\$135,500.00
8	641	Plan to be registered	\$162,900.00
9	641	Plan to be registered	\$163,000.00
10	641	Plan to be registered	\$163,000.00
11	641	Plan to be registered	\$163,100.00
12	641	Plan to be registered	\$163,100.00
13	641	Plan to be registered	\$171,300.00
14	641	Plan to be registered	\$195,900.00
1	642	Plan to be registered	\$129,400.00
2	642	Plan to be registered	\$129,500.00
3	642	Plan to be registered	\$129,500.00
4	642	Plan to be registered	\$129,500.00
5	642	Plan to be registered	\$129,500.00

Lot	Block	Plan	Price
6	642	Plan to be registered	\$136,000.00
7	642	Plan to be registered	\$155,400.00
8	642	Plan to be registered	\$181,800.00
9	642	Plan to be registered	\$159,000.00
10	642	Plan to be registered	\$151,400.00
11	642	Plan to be registered	\$151,400.00
12	642	Plan to be registered	\$151,400.00
13	642	Plan to be registered	\$151,300.00
14	642	Plan to be registered	\$151,400.00
1	643	Plan to be registered	\$104,600.00
2	643	Plan to be registered	\$104,600.00
3	643	Plan to be registered	\$104,600.00
4	643	Plan to be registered	\$104,600.00
5	643	Plan to be registered	\$104,600.00
6	643	Plan to be registered	\$104,600.00
7	643	Plan to be registered	\$104,600.00
8	643	Plan to be registered	\$104,600.00
9	643	Plan to be registered	\$104,600.00
10	643	Plan to be registered	\$107,100.00
11	643	Plan to be registered	\$106,300.00
12	643	Plan to be registered	\$105,900.00
13	643	Plan to be registered	\$105,900.00
14	643	Plan to be registered	\$105,900.00
15	643	Plan to be registered	\$105,900.00
16	643	Plan to be registered	\$106,000.00
17	643	Plan to be registered	\$106,000.00
18	643	Plan to be registered	\$106,000.00
19	643	Plan to be registered	\$115,700.00
20	643	Plan to be registered	\$115,700.00
21	643	Plan to be registered	\$106,000.00
22	643	Plan to be registered	\$106,000.00
23	643	Plan to be registered	\$106,000.00
24	643	Plan to be registered	\$106,000.00
1	644	Plan to be registered	\$146,800.00
2	644	Plan to be registered	\$149,100.00
3	644	Plan to be registered	\$139,100.00
4	644	Plan to be registered	\$137,700.00
5	644	Plan to be registered	\$132,400.00
6	644	Plan to be registered	\$132,400.00
7	644	Plan to be registered	\$121,900.00
8	644	Plan to be registered	\$121,900.00
9	644	Plan to be registered	\$121,900.00
10	644	Plan to be registered	\$115,600.00
11	644	Plan to be registered	\$148,900.00
12	644	Plan to be registered	\$141,100.00
13	644	Plan to be registered	\$133,900.00
14	644	Plan to be registered	\$132,600.00
15	644	Plan to be registered	\$131,300.00

Lot	Block	Plan	Price
16	644	Plan to be registered	\$131,300.00
17	644	Plan to be registered	\$156,300.00
18	644	Plan to be registered	\$168,900.00
19	644	Plan to be registered	\$131,400.00
20	644	Plan to be registered	\$109,300.00
21	644	Plan to be registered	\$104,400.00
22	644	Plan to be registered	\$100,700.00
23	644	Plan to be registered	\$97,800.00
24	644	Plan to be registered	\$92,000.00
25	644	Plan to be registered	\$90,200.00
26	644	Plan to be registered	\$90,200.00
27	644	Plan to be registered	\$102,100.00

Total

246

A215-1

RECEIVED
AUG 07 2012
\$.

TO: Secretary, Land Bank Committee
FROM: General Manager, Community Services Department
DATE: July 30, 2012
SUBJECT: Purchase Agreement and Direct Sale to Autism Services for a Designated Type II Care Home Lot located at 534 Evergreen Boulevard
FILE NO: LA 4215-11-638

RECOMMENDATION: that a report be forwarded to City Council recommending;

- 1) that City Council approve the direct sale of Lot 9, Block 626, Plan No. 102070088, located at 534 Evergreen Boulevard to Autism Services for the purpose of constructing a group home;
- 2) that the City Solicitor be requested to prepare the direct sale agreement and that His Worship the Mayor and City Clerk be authorized to execute the agreement under the Corporate Seal; and
- 3) that Lot 8, Block 626, Plan No. 102070088, located at 538 Evergreen Boulevard be put on administrative hold for direct sale to Autism Services in 2013.

BACKGROUND

The purpose of this report is to allow Autism Services the ability to purchase a lot designated for a Type II Care Home for the use as a group home for people diagnosed with Autism. The nature of the Autism Services funding does not allow for them to purchase lots through a tender process as they must apply for grants through the Government of Saskatchewan, Department of Social Services, and Saskatchewan Housing. Under Sale of Serviced City-Owned Lands Policy No. C09-033, a direct sale can be entertained when certain conditions are present. The pertinent condition in this request is as follows:

- “3.2 h) A situation where a registered non-profit corporation is seeking a site for development of a community centre or similar project or a housing project directed at the provision of affordable housing units or special needs housing.”

REPORT

Autism Services is a Saskatoon-based, charitable organization dedicated to providing advocacy, support, education, recreational, social, and residential programs and services to individuals with Autism Spectrum disorder and their families. Autism Services approached the Land Branch with

the request to purchase a designated Type II Care Home lot in order to set up a group home for person's living with Autism. The intended use of the home is for two separate programs for seven to eight residents in total. Those in the upstairs space would be individuals with higher needs and the downstairs living space would be for those individuals who are more independent and needing less care.

The purchase price of the lot would be \$123,500 and the terms and conditions of the agreement would be consistent with that of other Type II Care Home lots. This includes the following terms:

- 1) 10 percent down payment due at signing of agreement;
- 2) that Autism Services make an application to the City of Saskatoon (City) for a discretionary use approval to operate a Residential Care Home Type II and that Autism Services be responsible for all fees and related expenses;
- 3) Transfer of title will not occur until the discretionary use permit has been approved by the Planning and Development Branch and the purchase price has been paid in full; and
- 4) the home would be required to meet all relevant development controls for the neighbourhood.

It is Autism Services' desire to build two of these group homes in close proximity to each other. Currently, they are only authorized to seek a grant for one home a year and must have the information on the parcel they are looking to acquire. Due to this, Autism Services has asked if the Land Branch would consider putting an administrative hold on the adjacent lot at 538 Evergreen Boulevard until they are able to seek funding for it as well. They have been informed that if this is approved the lot would have to be repriced to reflect current market conditions present in the area.

The direct sale of this lot will help to meet the strategic goal of Quality of Life. The vision statement of Autism Services is "that all individuals with Autism have the opportunity to live with dignity and to reach their full potential." This group home will allow those individuals living with Autism to have access to facilities and programs, within a community setting.

OPTIONS

The only option would be to not proceed with the direct sale of the land at this time and bring it out by public tender.

POLICY IMPLICATIONS

There are no policy implications.

FINANCIAL IMPLICATIONS

The proceeds from the sale of this parcel will be deposited into the Neighbourhood Land Development Fund.

ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications.

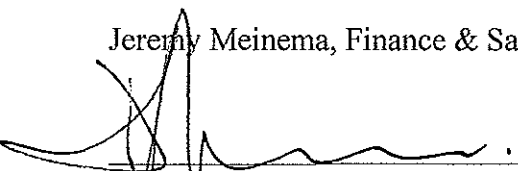
PUBLIC NOTICE

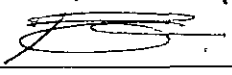
Public Notice, pursuant to Section 3 of Public Notice Policy No. C01-021, is not required.

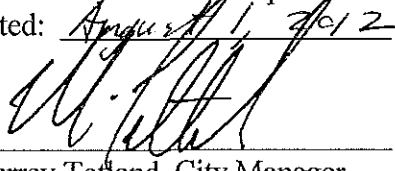
ATTACHMENTS

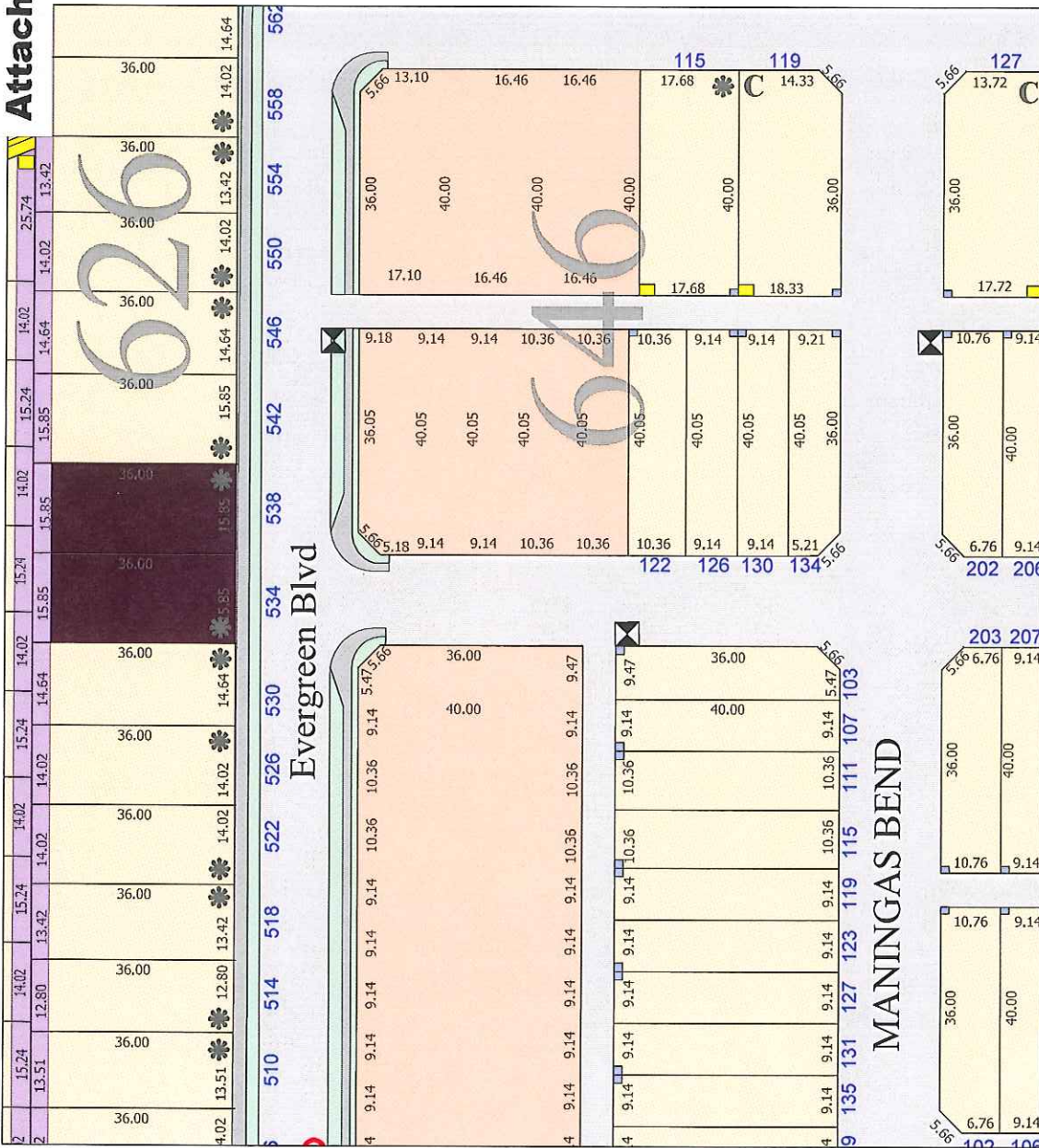
1. Map of proposed lot for direct sale and administrative hold

Written by: Jeremy Meinema, Finance & Sales manager

Reviewed by:  DEREK THOMPSON
Frank Long, Land Bank Manager
 Dated: AUG 01, 2012 A/LAND BANK MANAGER

Approved by: 
Randy Grauer, General Manager
Community Services Department
 Dated: August 1, 2012

Approved by: 
Murray Totland, City Manager
 Dated: Aug 2/12.



EVERGREEN

Evergreen Boulevard Care Home Lots.

Legend

- Civic Address 1234
- Corner Garage Location C
- Front Garage Location *
- Transformer ■
- Utility Pedestal □
- Residential Care Home - Type II Child Care Centre, Preschool ■



The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in metres unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Park design and municipal buffer landscaping is not finalized and subject to change.

TO: Secretary, Land Bank Committee
FROM: General Manager, Community Services Department
DATE: July 30, 2012
SUBJECT: Kensington Neighbourhood - Exchange of Land between the City of Saskatoon, Dundee Realty Corporation, West Canadian Development Kensington Project, Lakhwinder Singh Multani, Linh-An Tu and To Nhi Tu, and KW Homes
FILE NO: LA 4131-27-1

RECOMMENDATION: that a report be submitted to City Council recommending:

- 1) that the City Solicitor review and approve the agreement required to implement the Kensington land exchange as outlined in this report; and
- 2) that His Worship the Mayor and the City Clerk be authorized to execute the agreement.

BACKGROUND

The Kensington Neighbourhood Concept Plan (see Attachment 1) was originally approved by City Council on April 16, 2012, and sets out land uses within the neighbourhood, including various forms of housing, commercial sites, transportation routes and public space within the neighbourhood. Concept Plan development was led by the City of Saskatoon (City) Land Branch in consultation with the other two major landowners in the area: West Canadian Development Kensington Project and Boychuk Investments Ltd. who have since sold their holdings to Dundee Realty Corporation. Other smaller landholders within the area were also informed of Concept Plan progress and offered opportunities to provide input.

This report outlines a proposal to reallocate land ownership within the Kensington neighbourhood. This reallocation will distribute net developable land among owners on a proportional basis according to gross land ownership percentages, as agreed upon by all parties. Once complete, this land reallocation will enable the creation of a cost-sharing agreement to equitably distribute, among owners, costs related to such things as area improvements, boundary improvements, pipe over-sizing, park over-dedication, and other shared costs agreed upon by the land owners.

REPORT

The City's Land Branch undertook the calculations required to allocate net developable land on a proportional basis within the Kensington neighbourhood as outlined in this section of the report. Gross land ownership areas include lands located outside the approved neighbourhood Concept Plan boundaries. Inclusion of these lands results in all owners contributing proportionally to lands not developable due to the future interchange at 22nd Street West (Highway 14) and Dalmeny Road

(Highway 7), and the widening of Dalmeny Road (Highway 7). The Yarrow Youth Farm/Red Willow Centre lands have not been included in gross land ownership areas. Should these lands become available for development in the future, current owners will be offered an opportunity to purchase these lands based on current proportional gross ownership area. Land areas within the neighbourhood totalling 4.089 hectares, which includes existing buffers and roadways that do not currently fall within any current ownership area have been distributed among owners based on their percentage of gross land ownership.

Proportional gross land area ownership provides the basis for the distribution of net developable land within the neighbourhood. Existing gross land ownership areas are shown on Attachment 2, and Table 1 below indicates the amount of gross land area attributable to each owner after distributing non-owned lands, such as buffers and existing roadways, among owners.

Table 1 – Property Ownership before Reallocation

Owner	Raw Land		Raw Land Adjusted to distribute non-ownership lands (4.089 hectares)	
	Hectares	Acres	Hectares	Acres
City of Saskatoon	84.78	209.4948	86.569	213.915
Dundee Realty Ltd.	56.948	140.7208	58.150	143.690
West Canadian Developments Kensington Project	46.014	113.7024	46.985	116.101
Lakhwinder Singh Multani	2.022	4.996443	2.065	5.102
KW Homes	2.022	4.996443	2.065	5.102
Linh An Tu and To Ni Tu	2.022	4.996443	2.065	5.102
Total	193.808	463.918	197.897	489.011

Net developable land (59.05 percent of total gross land), which is the remaining developable land after subtracting non-saleable land, such as roadways, municipal reserve, ponds, school sites, buffers, etc., will be allocated to each owner based on gross land ownership percentage. Each owners net developable land allocation is indicated in Table 2 below.

Table 2 – Net Developable Land Ownership Reallocation

Owner	Adjusted Raw Land			Net Land	
	Hectares	Acres	%	Hectares	Acres
City of Saskatoon	86.569	213.915	43.74%	49.482	122.272
Dundee Realty Ltd.	58.150	143.690	29.38%	33.238	82.132
West Canadian Developments Kensington Project	46.985	116.101	23.74%	26.856	66.362
Lakhwinder Singh Multani	2.065	5.102	1.04%	1.180	2.916
KW Homes	2.065	5.102	1.04%	1.180	2.916
Linh An Tu and To Ni Tu	2.065	5.102	1.04%	1.180	2.916
Total	197.897	489.011	100.00%	113.116	279.514

Attachment 3 indicates those lands within the neighbourhood that will be transferred between owners as a result of the Land Exchange Agreement.

Attachment 4 indicates the allocation of net developable land based on the net developable land areas indicated in Table 2. Please note that the areas of land indicated as being owed to each owner in Table 2 are not exactly the same as the areas shown being allocated. This discrepancy is due to land being allocated for the most part on a block by block basis. Tough efforts have been made to balance these numbers, some adjustment may be required, including the possible exchanging of land on a lot-by-lot basis at the time of subdivision. In general, land has been allocated with the intent to keep land ownership areas contiguous and within, or in close proximity to, original gross ownership areas in order to promote development consistency and efficiency.

Once a Land Exchange Agreement has been signed by all participating parties (in accordance with the above) subdivisions will be undertaken to legally establish these ownership areas within the Kensington neighbourhood.

OPTIONS

The only other option would be to not proceed with the Land Exchange Agreement.

POLICY IMPLICATIONS

There are no policy implications.

FINANCIAL IMPLICATIONS

There are no immediate financial implications. The proposed Land Exchange Agreement will facilitate equitable distribution of developable lands and a cost-sharing agreement based on proportional land ownership. Once the Land Exchange Agreement has been executed and each owner's developable land has been identified, a neighbourhood cost-sharing agreement will be completed. This cost-sharing agreement will be the subject of a future report to the Land Bank Committee which the Land Branch will outline an estimate of financial obligations related to that agreement. Financial obligations related to the cost-sharing agreement will also be included in a Pro-forma to be developed for the City's holdings in the Kensington neighbourhood.

ENVIRONMENTAL IMPLICATIONS

There are no environmental and/or greenhouse gas implications. The proposed Land Exchange Agreement will enable development of the Kensington Neighbourhood as set out in the approved Neighbourhood Concept Plan

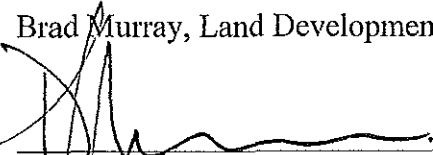
PUBLIC NOTICE

Public Notice, pursuant to Section 3 of Public Notice Policy No. C01-021, is not required.


ATTACHMENTS

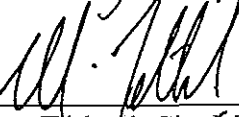
- 1. Kensington Neighbourhood Land Use Concept Plan.
- 2. Kensington Land Exchange Schedule "A" – Kensington Ownership Areas Before Land Exchange.
- 3. Kensington Land Exchange Schedule "B" – Kensington Ownership Areas to be Transferred by Land Exchange Agreement.
- 4. Kensington Land Exchange Schedule "C" – Kensington Ownership Areas after Land Exchange.

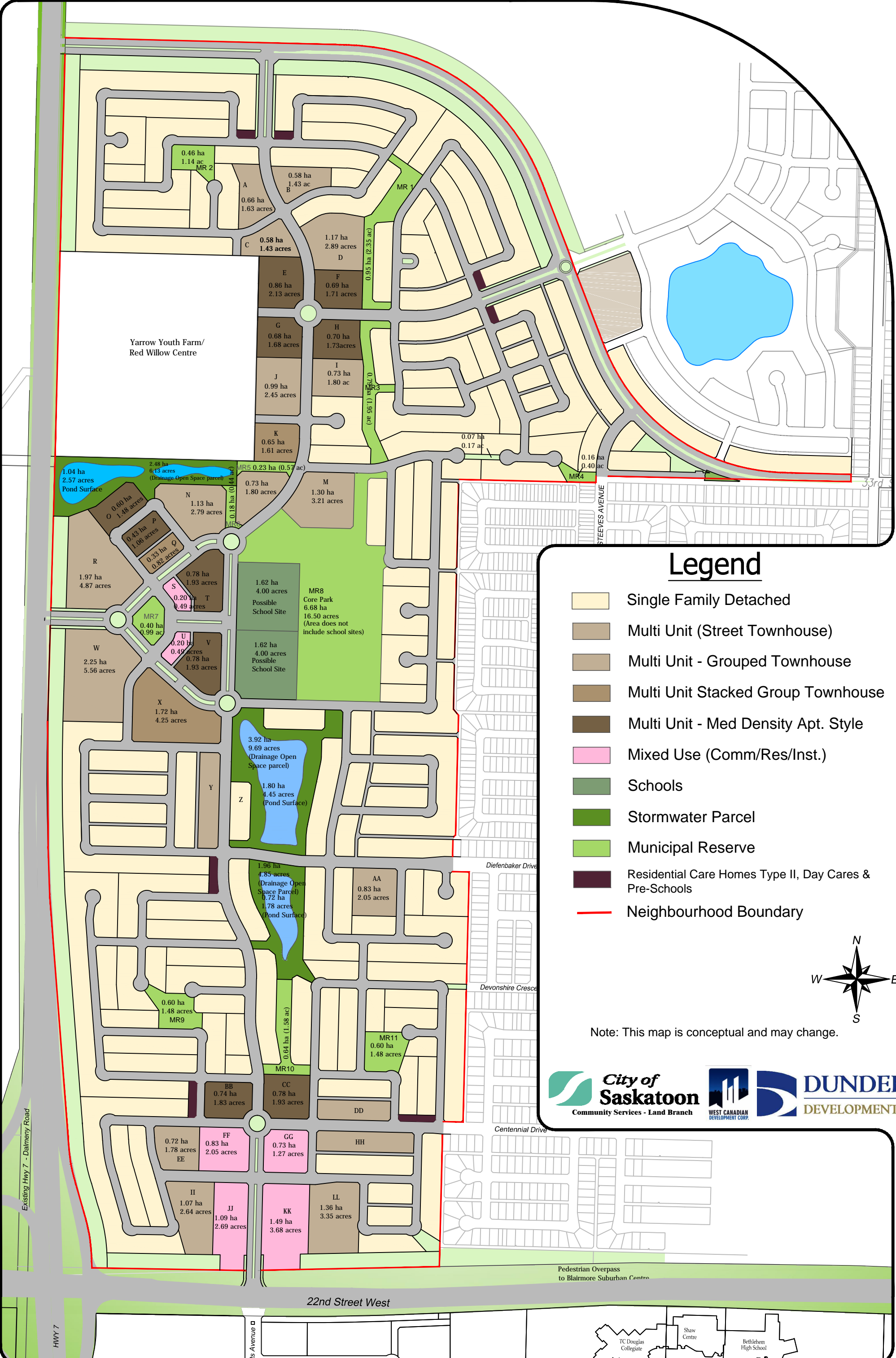
Written by: Brad Murray, Land Development Project Manager

Reviewed by: 
 Frank Long, Land Bank Manager
 Dated: AUG. 01, 2012

DEREK THOMPSON
A/LAND BANK MANAGER

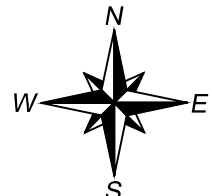
Approved by: 
 Randy Grauer, General Manager
 Community Services Department
 Dated: August 1, 2012

Approved by: 
 Murray Totland, City Manager
 Dated: Aug 9/12



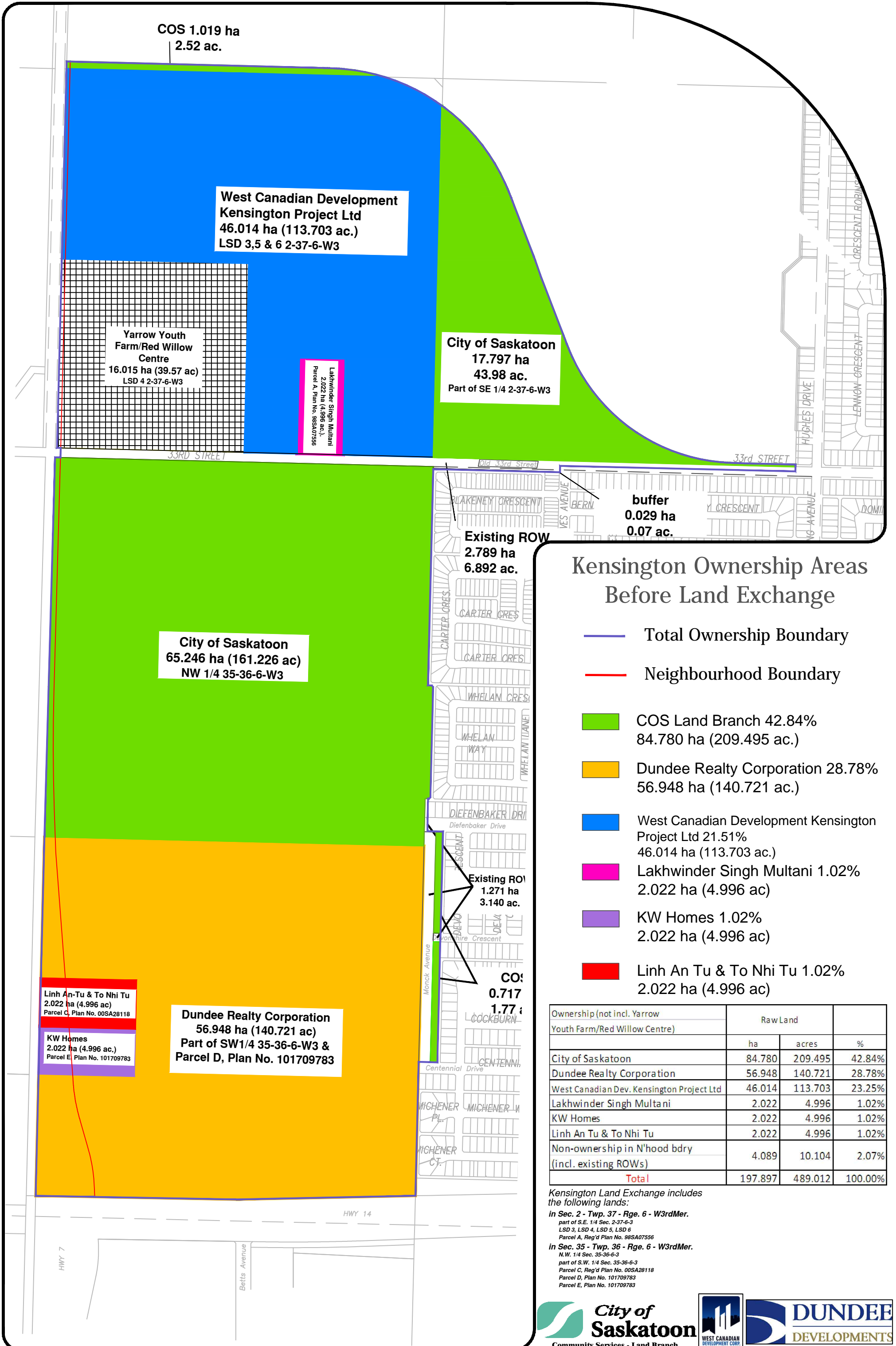
Legend

- Single Family Detached
- Multi Unit (Street Townhouse)
- Multi Unit - Grouped Townhouse
- Multi Unit Stacked Group Townhouse
- Multi Unit - Med Density Apt. Style
- Mixed Use (Comm/Res/Inst.)
- Schools
- Stormwater Parcel
- Municipal Reserve
- Residential Care Homes Type II, Day Cares & Pre-Schools
- Neighbourhood Boundary



Note: This map is conceptual and may change.





Kensington Ownership Areas Before Land Exchange

- Total Ownership Boundary
- Neighbourhood Boundary
- COS Land Branch 42.84%
84.780 ha (209.495 ac.)
- Dundee Realty Corporation 28.78%
56.948 ha (140.721 ac.)
- West Canadian Development Kensington Project Ltd 21.51%
46.014 ha (113.703 ac.)
- Lakhwinder Singh Multani 1.02%
2.022 ha (4.996 ac.)
- KW Homes 1.02%
2.022 ha (4.996 ac.)
- Linh An Tu & To Nhi Tu 1.02%
2.022 ha (4.996 ac.)

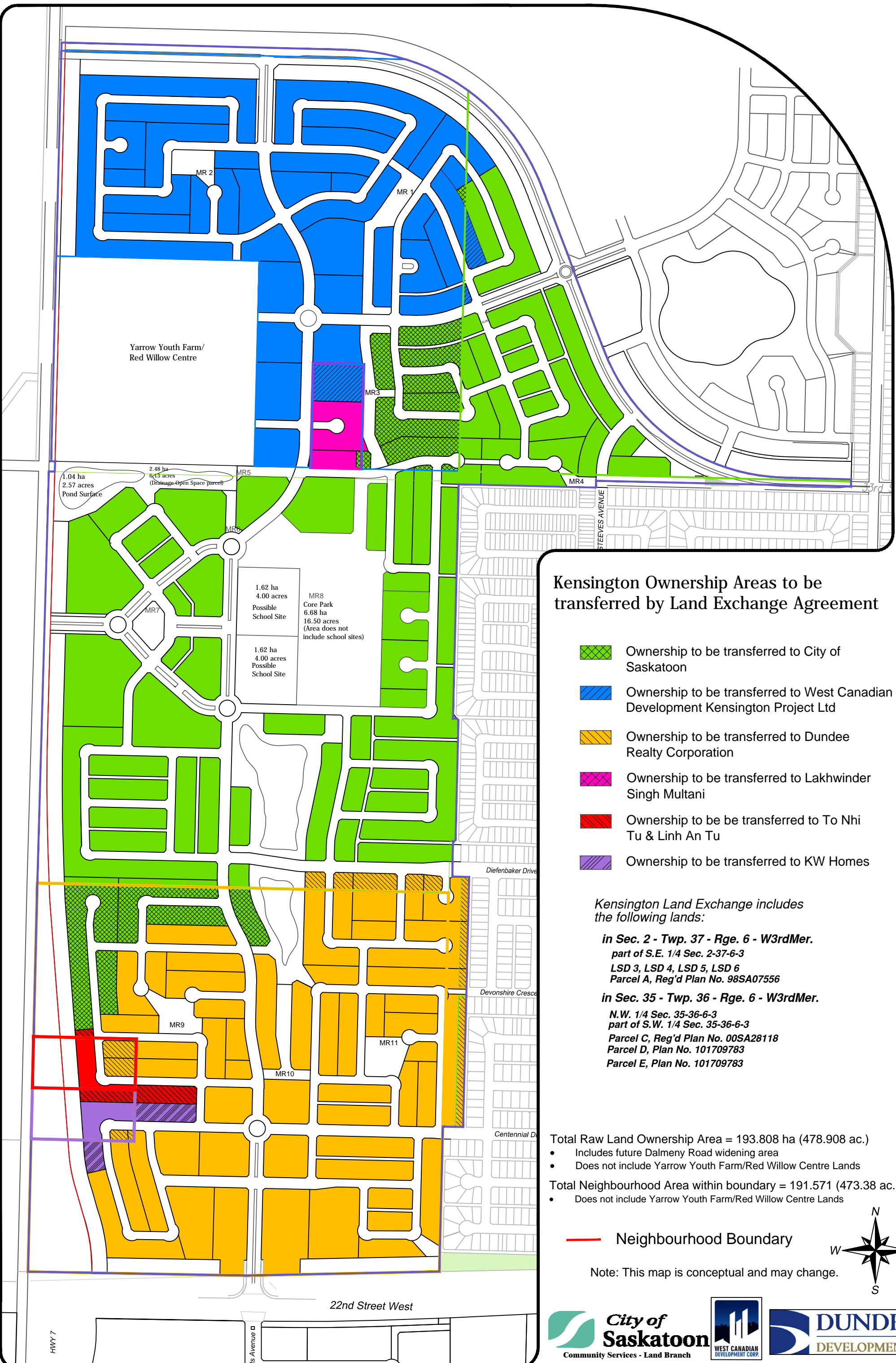
Ownership (not incl. Yarrow Youth Farm/Red Willow Centre)	Raw Land		
	ha	acres	%
City of Saskatoon	84.780	209.495	42.84%
Dundee Realty Corporation	56.948	140.721	28.78%
West Canadian Dev. Kensington Project Ltd	46.014	113.703	23.25%
Lakhwinder Singh Multani	2.022	4.996	1.02%
KW Homes	2.022	4.996	1.02%
Linh An Tu & To Nhi Tu	2.022	4.996	1.02%
Non-ownership in N'hood bdry (incl. existing ROWs)	4.089	10.104	2.07%
Total	197.897	489.012	100.00%

Kensington Land Exchange includes the following lands:

in Sec. 2 - Twp. 37 - Rge. 6 - W3rdMer.
part of S.E. 1/4 Sec. 2-37-6-3
LSD 3, LSD 4, LSD 5, LSD 6
Parcel A, Reg'd Plan No. 98SA07556

in Sec. 35 - Twp. 36 - Rge. 6 - W3rdMer.
N.W. 1/4 Sec. 35-36-6-3
part of S.W. 1/4 Sec. 35-36-6-3
Parcel C, Reg'd Plan No. 00SA28118
Parcel D, Plan No. 101709783
Parcel E, Plan No. 101709783





Kensington Ownership Areas to be transferred by Land Exchange Agreement

-  Ownership to be transferred to City of Saskatoon
-  Ownership to be transferred to West Canadian Development Kensington Project Ltd
-  Ownership to be transferred to Dundee Realty Corporation
-  Ownership to be transferred to Lakhwinder Singh Multani
-  Ownership to be transferred to To Nhi Tu & Linh An Tu
-  Ownership to be transferred to KW Homes

Kensington Land Exchange includes the following lands:

in Sec. 2 - Twp. 37 - Rge. 6 - W3rdMer.
 part of S.E. 1/4 Sec. 2-37-6-3
 LSD 3, LSD 4, LSD 5, LSD 6
 Parcel A, Reg'd Plan No. 98SA07556

in Sec. 35 - Twp. 36 - Rge. 6 - W3rdMer.
 N.W. 1/4 Sec. 35-36-6-3
 part of S.W. 1/4 Sec. 35-36-6-3
 Parcel C, Reg'd Plan No. 00SA28118
 Parcel D, Plan No. 101709783
 Parcel E, Plan No. 101709783

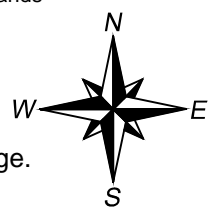
Total Raw Land Ownership Area = 193.808 ha (478.908 ac.)

- Includes future Dalmeny Road widening area
- Does not include Yarrow Youth Farm/Red Willow Centre Lands

Total Neighbourhood Area within boundary = 191.571 (473.38 ac.)

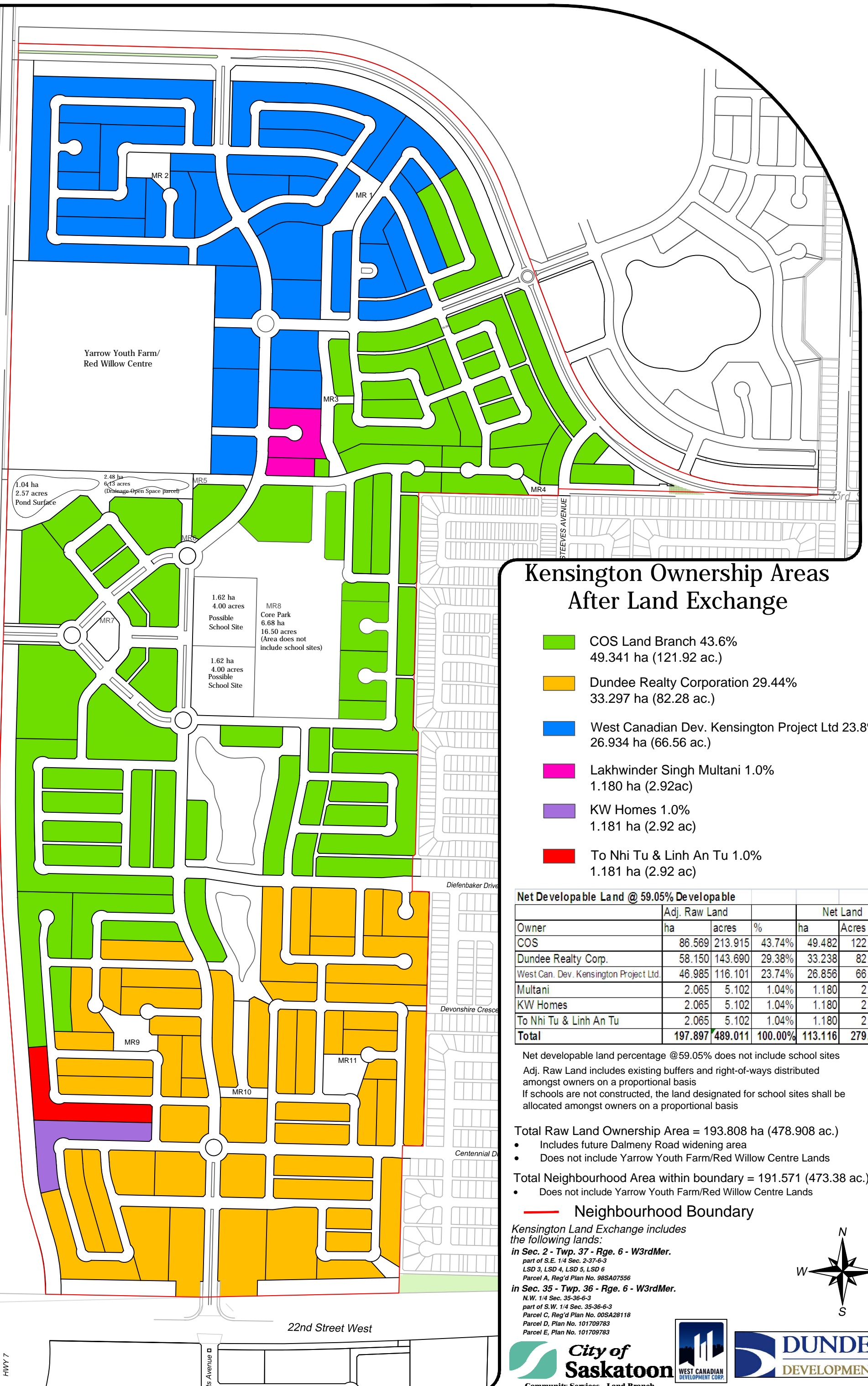
- Does not include Yarrow Youth Farm/Red Willow Centre Lands

 Neighbourhood Boundary



Note: This map is conceptual and may change.





Kensington Ownership Areas After Land Exchange

- COS Land Branch 43.6%
49.341 ha (121.92 ac.)
- Dundee Realty Corporation 29.44%
33.297 ha (82.28 ac.)
- West Canadian Dev. Kensington Project Ltd 23.8%
26.934 ha (66.56 ac.)
- Lakhwinder Singh Multani 1.0%
1.180 ha (2.92ac)
- KW Homes 1.0%
1.181 ha (2.92 ac)
- To Nhi Tu & Linh An Tu 1.0%
1.181 ha (2.92 ac)

Net Developable Land @ 59.05% Developable

Owner	Adj. Raw Land			Net Land	
	ha	acres	%	ha	Acres
COS	86.569	213.915	43.74%	49.482	122.272
Dundee Realty Corp.	58.150	143.690	29.38%	33.238	82.132
West Can. Dev. Kensington Project Ltd.	46.985	116.101	23.74%	26.856	66.362
Multani	2.065	5.102	1.04%	1.180	2.916
KW Homes	2.065	5.102	1.04%	1.180	2.916
To Nhi Tu & Linh An Tu	2.065	5.102	1.04%	1.180	2.916
Total	197.897	489.011	100.00%	113.116	279.514

Net developable land percentage @59.05% does not include school sites
 Adj. Raw Land includes existing buffers and right-of-ways distributed amongst owners on a proportional basis
 If schools are not constructed, the land designated for school sites shall be allocated amongst owners on a proportional basis

Total Raw Land Ownership Area = 193.808 ha (478.908 ac.)

- Includes future Dalmeny Road widening area
- Does not include Yarrow Youth Farm/Red Willow Centre Lands

Total Neighbourhood Area within boundary = 191.571 (473.38 ac.)

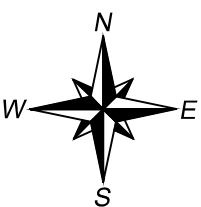
- Does not include Yarrow Youth Farm/Red Willow Centre Lands

Neighbourhood Boundary

Kensington Land Exchange includes the following lands:

in Sec. 2 - Twp. 37 - Rge. 6 - W3rdMer.
 part of S.E. 1/4 Sec. 2-37-6-3
 LSD 3, LSD 4, LSD 5, LSD 6
 Parcel A, Reg'd Plan No. 98SA07556

in Sec. 35 - Twp. 36 - Rge. 6 - W3rdMer.
 N.W. 1/4 Sec. 35-36-6-3
 part of S.W. 1/4 Sec. 35-36-6-3
 Parcel C, Reg'd Plan No. 00SA28118
 Parcel D, Plan No. 101709783
 Parcel E, Plan No. 101709783



His Worship the Mayor and City Council
The City of Saskatoon

REPORT
of the
EXECUTIVE COMMITTEE

Composition of Committee

His Worship Mayor D. Atchison, Chair
Councillor C. Clark
Councillor R. Donauer
Councillor B. Dubois
Councillor M. Heidt
Councillor D. Hill
Councillor A. Iwanchuk
Councillor M. Loewen
Councillor P. Lorje
Councillor T. Paulsen
Councillor G. Penner

1. Proposed Amendment
Local Authority Freedom of Information and Protection of Privacy Act
(File No. CK. 415-1)

RECOMMENDATION: that the Province be requested to amend *The Local Authority Freedom of Information and Protection of Privacy Act* so as to exclude from the provisions of the *Act* all personal, political or constituency records of an elected member of a local public body, similar to the provisions in the legislation in Alberta and Manitoba.

The Local Authority Freedom of Information and Protection of Privacy Act (LAFOIP) relates to the right of access to documents of local authorities, which includes municipalities. There is no distinction between the records of administrative staff and elected officials – they are all covered by the requirements of *LAFOIP*.

In some other jurisdictions, including Alberta and Manitoba, personal records and constituency records of an elected member of a local public body are specifically excluded from the

provisions of the legislation. The legislation in these provinces distinguishes between the role of members of City Council in political governance and representation of constituents versus their role in the administration of the City, and while records relating to the former are excluded by the *Act*, records relating to the latter are not.

Your Committee is of the opinion that personal, political and constituency records of elected members of local public bodies in Saskatchewan should be excluded from the provisions of *LAFOIP* and accordingly submits the above recommendation.

**2. Federation of Canadian Municipalities
2012 Annual Conference and Trade Show
(File No. CK. 205-1)**

RECOMMENDATION: that the information be received.

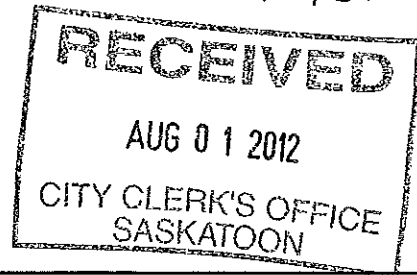
Attached for the information of Council is a report of the City Manager dated July 31, 2012, regarding the 2012 Annual FCM Conference held in Saskatoon on June 1 - 4, 2012.

Respectfully submitted,

His Worship Mayor D. Atchison, Chair

205-2.
x 1870-15.

TO: City Clerk, Executive Committee
FROM: City Manager
DATE: July 31, 2012
SUBJECT: Federation of Canadian Municipalities
2012 Annual Conference and Trade Show
FILE NO. CC 155-2



RECOMMENDATION: that the information be received.

BACKGROUND

City Council, at its meeting held on October 31, 2005, resolved that a letter of invitation be issued to host the Federation of Canadian Municipalities (FCM) Annual Conference for 2012, and established a maximum financial commitment of \$160,000 for the event. In March of 2006, the FCM National Board of Directors awarded the conference to Saskatoon for June 1 - 4, 2012.

City Council, at its meeting held on January 17, 2011, increased the financial contribution from \$160,000 to \$300,000, to be funded from the Special Events Reserve – Profile Saskatoon, and on May 28, 2012, City Council approved an additional allocation of up to \$45,000 from the same reserve, due to the possibility that the sponsorship goal would not be achieved.

A Request for Proposal for conference planning services was issued on September 12, 2011, and through this process, the services of On Purpose Leadership were obtained to assist with organizing the social events component of the conference, as well as to provide advice and assistance in other areas as required.

FCM Conference

As the host, the City of Saskatoon was responsible for the following:

- Exhibit booth in Halifax in 2011 to promote the 2012 conference in Saskatoon
- Reception in Halifax in 2011 for FCM board members
- Transportation
- Volunteers
- Study tours
- Companion tours
- Social events
- Local sponsorship

A conference management structure was established (see Attachment 1 for a list of the Committee members).

The conference was a resounding success, attended by 1,597 delegates, 285 registered companions, and 121 exhibitors. Through the efforts of the City Council Organizing Committee, the subcommittees, and the approximately 130 staff members who volunteered their time to assist with the study tours, registration, social events, transportation, and all other components of

a successful conference, most everyone who attended the conference, many of whom had never before visited Saskatoon, left with a very positive view of Saskatoon.

CAMA Conference

The City of Saskatoon also hosted the Canadian Association of Municipal Administrators (CAMA) Conference on May 28 – 30, 2012. This conference is attended by senior municipal administrators from across Canada, and it is typically held just prior to the FCM Conference. There were 204 delegates in attendance, 27 companions, and 30 exhibitors.

The City of Saskatoon was responsible to host study tours, companion tours, and provide some assistance with the registration. Three study tours were offered, and all were well-received and well attended.

Two out of the three study tours were the same as arranged for the FCM conference, so this meant no additional coordination in terms of tour guides, logistics, handouts, etc.

REPORT

This report provides a summary of each of the areas of responsibility for the FCM Conference.

FCM Conference is Under-Budget

As noted above, City Council approved a maximum contribution of \$345,000 for the FCM Conference, \$10,000 of which was earmarked for the CAMA Conference, which immediately preceded the FCM Conference. The FCM Conference was carried out well under budget, and the contribution that the City will be required to fund from the Special Events Reserve – Profile Saskatoon is \$185,228.71. The balance of \$159,771.29 will be returned to the Special Events Reserve – Profile Saskatoon. See Attachment 2 for the summary of the budget.

Study Tours

The study tours are an opportunity for the host municipality to showcase its innovative municipal programs, projects, products and/or services (Attachment 3).

Each study tour was offered four times, for a total of 36 tours, and most were at full capacity. The study tours were guided by City employees who were highly knowledgeable about the program being highlighted, and were well-received by conference attendees.

Companion Tours

The host municipality was required to provide activities for registered companions. Tourism Saskatoon graciously provided the services of a staff member, Shauna Morrison, to establish and coordinate the companion program.

The following companion tours were provided, on a cost recovery basis:

- Berry Barn
- Wine Tasting at Souleio
- Champetre County
- Gallery Crawl
- Shearwater Boat Cruise
- Walking Tour of Nutana/Broadway
- Wanuskewin Heritage Park
- Western Development Museum

Due to minimum tour participant numbers not being met, the Walking Tour of Nutana/Broadway, and Wine Tasting at Souleio events were cancelled on Sunday, June 3.

Social Events

The host municipality was responsible for hosting a number of social events over the course of the four days of the conference. The following events were held:

- Opening Ceremonies on Friday, June 1. The host municipality was given three minutes to provide a local flavour to the ceremony. Saskatchewan Country Recording Artist Codie Prevost, performed the Guess Who song "Running Back to Saskatoon", which provided an energetic start to the conference.
- Mayor's Welcome Reception, on Friday, June 1, from 6:00 p.m. – 8:00 p.m. in the Bessborough Gardens. The beautiful venue, sunny weather, and delicious local food menus all contributed to a very enjoyable experience for delegates.
- Gala Dinner, at 7:00 p.m. on Sunday, June 3 at Prairieland Exhibition. Outstanding performances by local artists Charles Hamilton, the Pavylichenko Folklorique Ensemble, Jay Semko, Brad Johner, and Buffalo Boy Productions entertained and visibly impressed the delegates.
- Delegates' Farewell Breakfast on Monday, June 4 at TCU Place.

Sponsorship

The host municipality is permitted by FCM to seek local sponsorship to assist in the funding of its own responsibilities. FCM reserves the right to approve or deny all sponsorships related to the conference. A total of \$81,000 was generated through sponsorship, in addition to \$14,200 in donations in-kind (Attachment 4).

Transportation

The Transit Branch provided all conference transportation. A daily shuttle was provided between hotels and TCU Place. In addition to the daily shuttle, transportation was provided to delegates to the Mayor's Welcome Reception at Bessborough Gardens and to the Gala event at Prairieland, as well as to all study tours.

There was also coordination with the Saskatoon Airport to ensure that there was appropriate ground transportation available for arriving and departing delegates.

Volunteers

An email was sent to City Hall staff advising of the volunteering opportunities, and there was no difficulty in recruiting the 130 volunteers that were required. Agreement was obtained from the relevant Unions that any time worked outside of normal working hours could be taken off, on a straight-time basis, at a future mutually-agreeable time. The volunteers were a very important component of ensuring the success of the conference, and they reflected very well on the City of Saskatoon.

ENVIRONMENTAL IMPLICATIONS

There are no environmental implications.


PUBLIC NOTICE

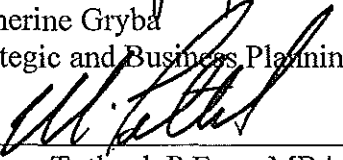
Public Notice pursuant to Section 3 of Policy No. C01-021, Public Notice Policy, is not required.


ATTACHMENTS

- 1. 2012 FCM Conference Committee Members
- 2. 2012 FCM Conference – Budget
- 3. 2012 FCM Conference – Study Tours
- 4. 2012 FCM Conference – List of Sponsors

Written by: Councillor Tiffany Paulsen; and
City Clerk Janice Mann

Written and
Reviewed by: 
Catherine Gryba
Strategic and Business Planning Manager

Approved by: 
Murray Totland, P.Eng., MBA
City Manager

Date: 

2012 FCM CONFERENCE COMMITTEE MEMBERS

Council Advisory Committee Chaired by Councillor Tiffany Paulsen
Councillors Clark, Donauer, Dubois, Hill, Loewen, Lorje,
and Penner
Kim Ali, on Purpose Leadership
Tania Meier, SUMA
Catherine Gryba and Janice Mann (Administrative Co-
Leads)
Subcommittee Chairs

The following subcommittees were established:

Volunteers	Chair – Shellie Mitchener
Study Tours	Chair – Councillor Mairin Loewen Administrative Leads – Lynne Lacroix and Cary Humphrey
Companion Program	Chair – Shauna Morrison, Tourism Saskatoon
Social Events	Chair – Councillor Bev Dubois Administrative Lead – Jill Cope
Registration	Chair – Yvonne Brooks
Sponsorship	Chair – Councillor Darren Hill
Transportation	Chair – Rob Heusdens and Dwayne Lucyshyn Airport Coordination – Marlene Hall

2012 FCM CONFERENCE - BUDGET

	BUDGETTED AMOUNT	ACTUALS
Revenue		
FCM Registration Contribution (\$135.00 per delegate, @ 1,500 delegates)	\$202,500	\$263,584.75
Companion Registrations	13,000	\$13,226.65
City of Saskatoon Contribution (335,000 for FCM and 10,000 for CAMA)	\$345,000	185,228.71
Sponsorship	\$74,000	\$ 81,000
TOTAL REVENUE	\$634,500	543,040.11
Expenses - FCM		
Reception/Tradeshow – Halifax	\$ 17,000	\$ 15,892
Opening Ceremonies/Social Events/Breaks	\$411,000	\$359,993
Event Signage	\$ 1,000	\$ 878
Study Tours	\$ 15,000	14,050
Transportation	\$ 74,000	64,850.65
Conference Administrator	\$ 50,000	50,000
Speakers' Gifts	\$ 5,000	0
Volunteers	\$ 15,000	\$ 6,566
Conference Kits	\$ 8,500	8,500
Companion Program	13,000	13,628.21
Companion Lounge	\$ 5,000	6,571.25
Miscellaneous	\$ 10,000	0
Total Expenses - FCM	\$624,500	540,929.11
Expenses - CAMA	\$10,000	\$2,111 (Conference Kits)
TOTAL EXPENSES – FCM and CAMA	634,500	543,040.11

2012 FCM CONFERENCE – STUDY TOURS

The following were the Study Tours chosen for this conference:

- *Up vs. Out: Growth on the Prairies* – Visited the Evergreen neighbourhood to discover how Saskatoon is using its land bank system to build smarter, greener neighbourhoods, as well as the historic downtown Warehouse District to explore how Saskatoon is driving more development within the existing city boundaries.
- *Saskatoon's Housing Plan* – Toured projects resulting from Saskatoon's nationally-recognized housing strategy, and featured the Fire Department's Home First Inspection Program which monitors the condition of existing housing stock.
- *Saskatoon Police Headquarters* – Toured the Saskatoon Police Headquarters focussing on what makes Police buildings unique, and included areas such as Communications, Detention, Identification, Records, Exhibits, and a demonstration by the SPS K-9 unit. The tour also included information on the Crime-Free Multi Housing initiative, the new Police Headquarters project, and the Saskatoon Police Service's use of new technology.
- *Retrofitting the City for 21st Century Storms* – Showcased new sanitary sewer super pipes and retrofitted naturalized storm ponds, and how a new Temporary Flood Protection Levy and storm water utility are helping to pay for increased flood protection.
- *Green energy Park and LEED Facilities* – Toured Saskatoon's Green Energy Park.
- *Meewasin Valley and River Landing – the Waterfront People Place* – Toured the river valley.
- *Public Spaces and Urban Activity* – How Saskatoon has begun to re-imagine the future of its City Centre by doing a full inventory of how people interact with urban spaces, and what works and what doesn't when it comes to the built environment.
- *Urban Reserves – From Partnerships to Prosperity* – Visited urban reserves and learned about the increasing role of First Nations in Saskatoon's economic growth.
- *Innovative Partnerships in Leisure and Recreation* – Visited two integrated community/school facilities built through partnership and collaboration.

2012 FCM CONFERENCE – LIST OF SPONSORS

Government of Saskatchewan	\$25,000
Canadian Pacific	10,000
Cameco	10,000
SaskPower	5,000
SUMA	5,000
Tourism Saskatoon	5,000
Conexus Credit Union	3,000
EllisDon	3,000
Muskeg Lake First Nation	3,000
SaskEnergy	1,000
The Partnership	3,000
Deloitte	2,500
Stantec	5,000
Saskatoon and District Labour Council	500
TOTAL	\$81,000

In addition, in-kind donations worth \$14,200 were received which covered expenses such as the cost for rental of facilities and supplies required for the social events.

COMMUNICATIONS TO COUNCIL

MEETING OF CITY COUNCIL – TUESDAY, SEPTEMBER 4, 2012

B. ITEMS WHICH REQUIRE THE DIRECTION OF CITY COUNCIL

1) **Randy Pshebylo, Executive Director,
Riversdale Business Improvement district, dated August 10**

Requesting to be sole agents for the allocation of vending and concession locations on September 21, 2012, in conjunction with the Better Block 2012 event on 20th Street. (File No. CK. 205-1)

RECOMMENDATION: that Riversdale Business Improvement District be sole agents for the allocation of vending and concession locations on September 21, 2012, in conjunction with the Better Block 2012 event on 20th Street, subject to administrative conditions.

2) **Emese Domokos, dated August 23**

Expressing concern with construction noise in Hampton Village. (File No. CK. 150-1)

RECOMMENDATION: that the direction of Council issue.

3) **Helen Rempel, dated August 27**

Submitting comments and a petition signed by approximately 161 residents regarding the permanent removal of the temporary traffic diverter on 38th Street West and Avenue C North. (File No. CK. 6320-1)

RECOMMENDATION: that the direction of Council issue.

4) **Gerry Ritz, PC, MP, Minister of Agriculture and Agri-Food, dated August 23**

Providing response to letter sent to the Right Honourable Stephen Harper regarding the “Day of the Honeybee”. (File No. CK. 205-5)

RECOMMENDATION: that the information be received.

Items Which Require the Direction of City Council
Tuesday, September 4, 2012
Page 2

5) Leslie Gaines, Coordinator, United Way of Saskatoon and Area, dated August 28

Requesting an extension to the time where amplified sound can be heard under the Noise Bylaw, on Thursday, September 13, 2012, from 8:00 a.m. to 9:00 a.m., in order to host a walking parade on Meewasin Trail led by four to six members of a marching band, starting at Vimy Memorial Band Shell to River Landing and back to the Band Shell, in conjunction with the United Way's Annual Community Campaign Kick-Off. (File No. CK. 185-9)

RECOMMENDATION: that the request for an extension to the time where amplified sound can be heard under the Noise Bylaw, on Thursday, September 13, 2012, from 8:00 a.m. to 9:00 a.m., in order to host a walking parade on Meewasin Trail led by four to six members of a marching band, starting at Vimy Memorial Band Shell to River Landing and back to the Band Shell, in conjunction with the United Way's Annual Community Campaign Kick-Off, be approved subject to administrative conditions.

6) Shellie Bryant, Secretary, Development Appeals Board, dated August 15

Advising of Notice of Hearing of the Development Appeals Board regarding the property located at 346 Auld Place. (File No. CK. 4352-1)

RECOMMENDATION: that the information be received.

7) Shellie Bryant, Secretary, Development Appeals Board, dated August 24

Advising of Notice of Hearing of the Development Appeals Board regarding the property located at 404 – 109th Street West. (File No. CK. 4352-1)

RECOMMENDATION: that the information be received.

C. ITEMS WHICH HAVE BEEN REFERRED FOR APPROPRIATE ACTION

1) John Thomson, August 8

Submitting comments with respect to the 2005 Flood Protection Plan. (File No. CK. 7820-1)
(Referred to the Administration to respond to the writer.)

2) Renée Wilkinson, dated August 9

Expressing concerns with respect to Veteran's parking in Saskatoon. (File No. CK. 6120-1)
(Referred to the Administration to respond to the writer.)

3) Edward Danneberg, dated August 18

Submitting comments regarding transit routes in Holiday Park. (File No. CK. 7310-1) **(Referred to the Administration for appropriate action.)**

4) Trudy Weiler, dated August 13

Expressing concerns with respect to disruption in the neighbourhood. (File No. CK. 5000-1)
(Referred to the Administration and Board of Police Commissioners for appropriate action and response to the writer.)

5) Wayne Westcott, dated August 14

Requesting removal of a tree stump left behind on the boulevard. (File No. CK. 4139-4)
(Referred to the Administration to respond to the writer.)

6) Linda Simard, dated August 16

Submitting comments regarding a play centre. (File No. CK. 150-1) **(Referred to the Administration to respond to the writer.)**

7) Edward Horan, dated August 20

Submitting comments regarding traffic enforcement. (File No. CK. 150-1) **(Referred to the Administration to respond to the writer.)**

Items Which Have Been Referred for Appropriate Action
Tuesday, September 4, 2012
Page 2

8) Anita Hrytsak, dated August 22

Expressing concern with respect to burned out street lights and graffiti. (File No. CK. 150-1) **(Referred to the Administration for appropriate action.)**

9) Ron Heihs, dated August 22

Enquiring as to the south bridge construction cameras not working. (File No. CK. 6050-9) **(Referred to the Administration to respond to the writer.)**

10) Meghan Witzel, dated August 24

Expressing concern regarding transit routes in Montgomery. (File No. CK. 7310-1) **(Referred to the Administration to respond to the writer.)**

11) Clara Fabbro, dated August 24

Requesting that Leif Erickson Park be upgraded. (File No. CK. 4205-1) **(Referred to the Administration to respond to the writer.)**

12) Darryl Heskin, dated August 24

Submitting comments regarding traffic flow and safety in the city. (File No. CK. 6320-1) **(Referred to the Administration to respond to the writer.)**

13) Michael Allen, dated August 27

Requesting that the pedestrian portion of the South Bridge be opened prior to vehicular traffic if possible. (File No. CK. 6050-9) **(Referred to the Administration to respond to the writer.)**

Items Which Have Been Referred for Appropriate Action
Tuesday, September 4, 2012
Page 3

14) Gavin Shepperd, dated August 28

Requesting additional parking at Mayfair Pool. (File No. CK. 613-7) **(Referred to the Administration to respond to the writer.)**

15) Maryann Derksen, dated August 28

Expressing concerns regarding the Confederation transit hub. (File No. CK. 7300-1) **(Referred to the Administration to respond to the writer.)**

16) Alan Chant, dated August 28

Expressing concern with respect to construction zones on roadways. (File No. CK. 6315-1) **(Referred to the Administration to respond to the writer.)**

RECOMMENDATION: that the information be received.

D. PROCLAMATIONS

**1) Tammy Reihl, Fundraising and Community Development Coordinator
Saskatchewan Community Office, Muscular Dystrophy Canada, dated July 25**

Requesting City Council proclaim September 2012 as Muscular Dystrophy Awareness Month in Saskatoon. (File No. CK. 205-5)

**2) Jon Ellis and Vanessa Charles, Co-chairs
Saskatoon Anti-Poverty Coalition, dated July 31**

Requesting City Council proclaim October 14 – 20, 2012, as the 7th Annual Poverty Awareness Week in Saskatoon. (File No. CK. 205-5)

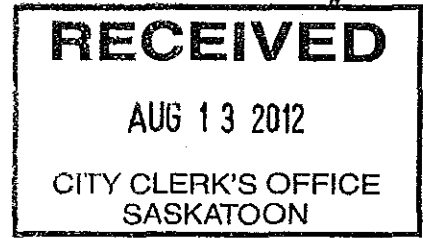
**3) Kevin Kitchen, Community Initiatives Section Manager
Community Services Department, dated August 13**

Requesting City Council proclaim September 28 – 30, 2012 as Culture Days in Saskatoon. (File No. CK. 205-5)

4) Desiree Tirk, President, Saskatoon Literacy Coalition, dated August 10

Requesting City Council proclaim September 8, 2012, as Literacy Day in Saskatoon. (File No. CK. 205-5)

- RECOMMENDATION:**
- 1) that City Council approve all proclamations as set out in Section D; and
 - 2) that the City Clerk be authorized to sign the proclamations, in the standard form, on behalf of City Council.



August 10, 2012

City Clerk's Office
City of Saskatoon
222 3rd Avenue North
Saskatoon SK S7K 0J5

To His Worship and Members of City Council:

Re: Better Block Event on 20th Street

On Friday, September 21st, the Better Block 2012 event is planned on 20th Street for which we request permission to be the sole agents for the allocation of vending and concession locations. This will ensure that our licensed vendors and businesses are not compromised.

If there are any questions regarding this request, please contact me at 242-2711

Kind regards,

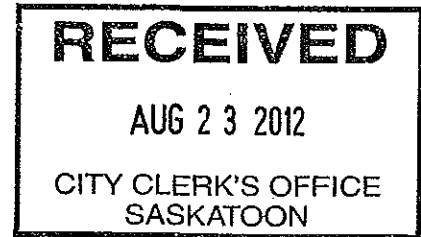
A handwritten signature in cursive script that reads 'Randy Pshebylo'.

Randy Pshebylo; BDM
RBID Executive Director

RP/mas

B2) 150-1

From: CityCouncilWebForm
Sent: August 23, 2012 12:12 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

EMESE DOMOKOS
1131 DENHAM RISE
SASKATOON
Saskatchewan
S7R0B2

EMAIL ADDRESS:

COMMENTS:

To whom it may concern,

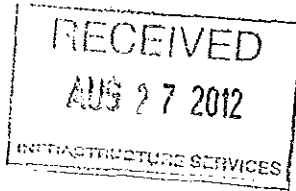
What is enough is enough.....I live in Hampton village to be more specific in Denham Rise.....beginning from April can't work, learn in my home because of the irritating noise what coming from the construction from the other side of the road. My baby can not rest properly because of the unsupportable noise. 15-20 giant machines are beeping all they long. I don't care about the safety on construction site but for sure this noise are more above then the normal aloud decibel. And in the top of everything now we have to support also the knocking from the guy who putting the wire and paper on the fence. Can not open the windows because of the noise and dust

Who was that smart guy from the city whatever department who decided to build this are in this stupid way in sections and give them the permit ??????????????? So, Dear Whoever you are and reading my letter. Pass my complains to your manager because the next few sentence I guess will over helm you.

You the city of Saskatoon or to whom belong this "mess" have to compensate me with \$8,500 per month for the past 5 months. So for a total of \$42,500.Why? Because you don't think ahead about people who are at home all day long and you just ruin all our spring and summer time. This is the cost of the situation you put us, the mindless organization behind your office desk.

Do not even try to think about to send me a letter of apology. I don't need!!!!!!!!!!!!!! I want to see a check for the above mentioned amount to put all this nightmare behind us. And I really hope you will make the necessary corrections a.s.a.p. on inside team as well as you will find the weakest link in your organization Assuming the fact you would like to make a happy place Saskatoon , isn't it?

Best regards,
Emese Domokos



6320-1
Helen Rempel (B3)
1622 Ave. D. N.
Saskatoon, Sask
S7L 1P8

Aug 27/12
His Worship The Mayor and Members of
City Council
222 Third Ave. N.
Saskatoon, Sask
S7K 0J5

Re: 38th St. West & Ave. C. North
Traffic Diveter

Please review the attached Documentation
and signed petition for the Permanent
Removal of Temporary Traffic Diveter 38th
St West & Ave. C. North.

I would appreciate full disclosure of
future plans and open communication with
all Residents in May Fair Community with
regard to any future options.

It is imperative that all May Fair residents
receive ample notification of upcoming council
meetings dealing with this issue.

Sincerely Helen Rempel

Installation of Temporary Traffic Diverter

3. Street West & Avenue C. North

We undersigned Citizens of Saskatoon petition City Council to remove the Traffic Diverter Installed on Ave. C. & 38th St. W. Because it causes a significant INCREASE of Traffic onto Ave. D. N. (A.H. Browne Park) & 38th & 37th St. and poses a Danger to Students and Residents living in surrounding Area. - Also both Stop Signs were removed on 37th St. - We have no sidewalks on 37th & 38th St. for people to walk on.

Full name (print)	Full Address	Phone #
Valerie Ziefflie	1625 Ave. F North Saskatoon	664-3758
Dan Ziefflie	1625 Ave. F No. Saskatoon	664-3758
John Hood	1615 Ave. F N Saskatoon	665-6910
Dave Thompson	1630 Ave F N Saskatoon	230-8120
Jeanette Osloby	1630 Ave F No Saskatoon	220-6125
Sarah Wiebe	1640 Ave F N Saskatoon	381-3712
Eric Warwaruk	1703 Ave F North	291-4490
Marie Myszkiwskyj	1712 Ave F N	665-5944
Eric Silberagel	1725 Ave G N	244-7062
King Leedahl	1714 Ave F N	665-7063
Tom MARK	1722 Ave F No	261-0222
2 Marshall Cathy	1717 Ave F N	382-4993
3 Rischia Terry	1717 Ave F N	382-4993
4 Luke Domotor	1726 Ave F N	391-6738
5 Miki Kehrig	76 Robinson Cres	384-7746
6 Krista Clements	136 Winnipeg Ave S	234-7140
7 Maggie Dixon	1726 Ave F N	321-5486
8 Mindal Whitehead	1539 Ave G North	974-3042
9 Merv Honsberger	1726 Ave F North	382-6798
10 Kevin Ching	1804 Ave F North	979-6092
11 Zen Shorter	1310 20 th St West	974-3582
12 Jay Casimiro	1802 Ave F North	241-4102
23 Crystal Dewison	1809 Ave F North	222-5048
24 Michael Lepage	604 Ave L So	242-1571
25 Bob Hill	1629 F N	230-9485
26 S. Haxton	1617 Ave F No	244-4882
27 Jean Zoller	1611 Ave F N	665-2288
28 Jim Zoller	1601 Ave F N	290-3795
29 Al Dorothy Kostyus	1537 Ave F	652-1097
30 Brett Holder	1527 Ave F N	381-4412
31 ...	1525 Ave F North	979-0416

Installation of Temporary Traffic Diverter

38th Street West & Avenue C. North

The undersigned Citizens of Saskatoon petition City Council to remove the Traffic Diverter Installed on Ave. C. & 38th St. W. Because it causes a significant INCREASE of Traffic onto Ave. D. N. (A.H. Browne Park) & 38th & 37th St. and poses a Danger to All Students and Residents living in surrounding Area. - Also both Stop Signs were removed on 37th St. - We have no sidewalks on 37th & 38th St. for people to walk on.

Full Name (print)	Full Address	Phone #
Gordon La Riviere	1523 Ave. F N	933-5091
Erker Robert	1521 Ave F N	643-1965
M. ROBINSON	110910 B. N.	715-1705
John Sapperton	1501 Ave F N.	651-3906
Nellie Crooks	1512 Ave F N	244-8386
K. TORWALD	1528 Ave F N	270-2786
Karla Mellin	1530 Ave F N	381-5595
Judy D. Sjarlow	1532 Ave F N	384-6669
LAURA LARSEN	1534 Ave F N	979-1924
L. L. S. K. K.	88 How. E. L.	382-6706
L. Lynn Bricker	339 Nesbitt way	230-0123
EDDIE SHIPLEY	1625 F. N.	664-2758
Rod Goodheart	1305 Ave J. N	262-2457
IRMA BRICKER	88 HOWELL AVE	382-6706
Rose Bricker	339 Nesbitt Ave	384-9858
Janet Clenchut	304-1401 Egbert Ave S. W.	652-2416
KEN SACKS	1143 AVE I W	978-0990
Mary Mcken	1638 Ave E W	978-1028
Clem Grant	64 JOHN EAST AVE	978-9867
Ray Kauf	1625 Ave F. N.	664-3758
Ray Kauf	1641 Ave F N	384-6145
Ray Kauf	1637 Ave F N	975-1036
J. McFarlane	1504 Ave G. N	242-4770
J. J. J.	1511 Ave G N	927-5983
BJ LAIBOFF	1701 Ave G N	931-8574
ED B.	1513 Ave G N	652-9374
PETER SMITH	1520 AVE G - N	653-5679
Lee Jay Dillon	526 Ave H N	652-1640
Lina Harvey	1531 Ave N	384-3819
		979-1167

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Full name (print)

Full Address

Phone #

Full name (print)	Full Address	Phone #
Janae Cheek Kiew	1319 Ave E North	(306) 249-5025
Wendy Cheek Kiew	1319 Ave E W	306 249 5025
Jason Shunigawa	1319 Ave E N	306 249 5025
Sherry Tucker	441 Ave S North	306 955-7106
Andrea Whitehawk	#10-1121 Ave W North	306 979-8906
Deanna Campbell	3155 33rd St W	306 361 7270
Naoko Mimura	1514 Ave B North	306-979-5213
Tracy Derak	1821 Ave E North	306-477-4490
BRUCE SPARFORD	1821 Ave E N.	647-965-4644
Jannah Jardone	1406 Ave G N.	306-651-2011
Cliston Bjolverud	1406 Ave G North	306-651-2011
Erin Pearson	#5 103 Powest.	(306) 612-3746
Denise Genaille	#1 1606 Ave G North	(306) 881 3595
Alexandra Quill	811 33 rd St. West	(306) 979-3116
Amanda Meyers	1610 Ave H North	(306) 382 0026
Kosh Groves	1614 Ave D North	306-292-4290
Chantelle Cyr	119-830 blylwayldr N	306-291-1865
Cory Brothridge	435 Ave E No.	306 244 0693
Alan Lelina	341 Appleby Cree	306-653-5829
Symontha Whitehead	1539 Avenue C-N	306-979-3001
Anna Jalbert	1701 Ave H. no	306-979-7234
Ed Hoskins	1701 Ave H N.	979-7234
Elaine Davies	327 Ave J North	306-933-3033
Shelley Rothmel	3125 MESSY DR	242-4072
Wayne Thoen	622 Le P. north	229-5570
Martha Thoen	1115 Ave F N	229-8686
Tettero	134 Tucker Cres	230 1931
Anthony	516 Ave J South	382-8874
Wesley Steyer	516 Ave J S.	382-8874
Wesley Steyer	1812 Ave D N	222-4363

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Full name (print) Full Address Phone #

Full name (print)	Full Address	Phone #
Helen Rempel	1622 Ave. D. N.	665-0318
PLEASE LOUISE HASLASH	1314 AVENUE I NORTH	975-9115
Corinna Hamm	617 AVE G. South	249-1113
Christine Griffiths	507 AVE T South	261-6301
Doris Gutzler	110 Times Court	933-3347
Hilda LARSON	904 Ave X NORTH	382-8022
Doreen J Rempel	1622 AVE. D. NORTH	665-0318
Naren Jurgens	610 Summer lane	384-7976
Angela Black	10-103 AVENUE T South	202-6263
Gardace Whitehawk	1104-377 Pandygrasse Rd.	281-3926
4. Carolyn Hagerman	1422 - Ave D North	652-3340
1. Lucan Hagerman	1422 Ave D North	652-3340
1. Daxan Hagerman	1422 Ave D North	652-3340
5. Zayna Hagerman	1422 Ave D North	652-3340
6. Mhuil Wilson	330 AVE F. South.	242-0834
7. Mae E Fleury	434 Russell Rd	934-0502
8. Colin April	1340 Ave H N	722-8149
9. Hodan April	1340 ave H N	668-2845
10. John Charles McLeod	1727 AVE D N	370 1061
1. Tom [unclear]	1508 Ave D N	937 2727
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Full name (print)	Full Address	Phone #
LILLIANA FABIAN	3339-11th St. WEST	977-2277
Kang Zhao	304-355 Kingsmere Blvd	881-6286
KEVIN DUFFY	2 Tupper Cr	351-6281
Shannon McAvoy	703 Bellmont Cr	242-4720
Mimi Marchewka	209 Meighen Cres.	382-3941
Doug Davies	327 Ave J North	933-3033
Jane Benz	1413 Ave D North	934-3732
Jane Curley	1422 Ave D N	491-0284
Melanie Nelson	109 32nd St W	249-4489
Dark Bolin	505 (Ave) - W	384-9016
Sheila Bolin	627 Furrester Pd	382-5537
L Dawn Morgan	2814 37th S.W.	384-7731
Sheldon Perciuff	1506 Ave E North	354-0427
E Dana Anderson	16 John St. S.E.	382-2866
5 Charles Anderson	1806 Ave E N.	384-0427
6 Laurie Harder	1535 Ave E N.	653-0884
7. Amber Huetten	237 Ave D N	242-8983
8. Eleanor Pastoor		978-2602
9. Shannon Annala	1631 Ave G N	931-3991
10. Candice Grant	219 Carter Cres	978-4031
1. Gina Harvey	1531 Ave G. N	290-6075
2. Crystal Ouellette	1312 Ave G North.	979-3618
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Full name (print)	Full Address	Phone #
1. Laverre Lamotte	1540 AVE G NORTH	(306) 717-3529
2. Amy PARKER	3725 Centennial DR.	306 978-6256
3. Phillip Parker	3725 Centennial Ave	66
4. Carolyn Carruthers	1736 Ave F North.	306 664-9954
5. Stephen Carruthers	1736 ave F North	306 664 9254
6. Nicole Simpson	1338 Ave. B N (with 33rd St)	242-7117
7. Francis Rabbitts	1708 Ave. D. N	979-5119
8. Natana Brantlett	1319 20 th St. N	321-7038
9. Brant Matheson	Mayfair School	683-7360
10. Cheryl Carter	1218 Ave J N	665-2608
11. Hans H. Hieser	1809 Ave. D North	652-6008
12. Jody Felinus	1731 Ave B North	203-5113
13. Edith Nerwin	1617 Ave B North	653-2324
14. WITMAN SMITH	1617 Ave B North	653-2324
15. Garry Mitchell	1642 Ave D N	382-2952
16. Vanessa Hatfield	1807 Ave N	652-6008
17. Louis Dyck	1810 Ave D North	382-9073
18. Gordon Dyck	1810 AVE D NORTH	382-9073
19. Jacqueline Dyck	1316 Ave. D North	955-7530
20. Mike	1803 Ave. D North	683-4304
21. Jeff Rutherford	1802 Ave DN	702-7627
22. JIR PETLAN	1740 AVE DNORTH	(604) 836 3666
23. Maria Petlanova	1740 Ave D N	(306) 880.5225
24. STEVE STUSAMOFF	1716 AVE D.N.	(306) 664-2403
25. Loreen Odley	1716 Ave D N	(306) 664-2403
26. Joseph	1635 Ave D N	652-2560
27. Tim Tylman	1714 AVE C North	227-8384
28.		
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30.		

November 14, 2011

TO WHOM IT MAY CONCERN

On October 27, 2011 a new temporary traffic diverter was placed on the intersection of 38th Street West and Avenue C North. This diverter is now transferring the south traffic on Avenue C to the 1600 block on Avenue D North and surrounding residential areas in Mayfair.

Southbound traffic on Avenue C is forced to drive west down 38th Street West. I have witnessed an increased traffic volume on the 1600 block of Avenue D. At busy times by 75% or more. As there are no sidewalks on 37th and 38th Avenues West, pedestrians are forced to walk on the side of the road.

With this increase in traffic, this puts our children's lives at greater risk when they come to the A. H. Browne Park on 1600 block of Avenue D and Avenue E. Children hang out mainly in the spray park playground and jungle gym areas. This means they play right beside this busy street on Avenue D. In the winter time with snow banks and parked cars, I can foresee a child getting hurt.

The city infrastructure people have also removed both stop signs on 37th street and Avenue D North. This allows people to drive faster down this street alongside the park. Visibility is poor on the spray park corner of 37th and Avenue D North.

A few years ago, a resident on the 1600 block petitioned to have these 2 stop signs put in place, because of the high collision incidents on the above intersections.

Throughout Saskatoon, the Transportation Board is installing barriers and attempting to redirect traffic away from neighbourhoods.

We, the Mayfair citizens, propose that the traffic diverter be removed and traffic be diverted away from our neighbourhood for the safety of us all. This traffic diverter funnels more traffic into the Mayfair neighbourhoods

Councillor Darren Hill is our Ward 1 city representative. I understand that he voted for this traffic diverter. Also, I understand that Don Atchison voted against this diverter. He left a message saying he is anxious for the residents of Mayfair to respond (by writing letters, phoning, emailing and/or signing a petition) to have this diverter removed.

IT IS NECESSARY TO RESPOND TO HAVE YOUR VOTE COUNTED. If we all act now, they must listen.

Please direct all correspondence to:

Rosemarie Draskovic
Infrastructure Service, Transportation
Branch City of Saskatoon
222-3rd Avenue North
Saskatoon, Sask. S7K 0J5
Email: Rosemarie.Draskovic@saskatoon.ca

Mayor Don Atchison at 975-3202
Darren Hill at 975-2783 Cell # 227-4322
darren.hill@saskatoon.ca

Phone Rosemarie at 975-4322 or 975-2433

Every vote counts. Don't stop phoning until this diverter is removed

From a very concerned Mayfair citizen

During petitioning, many of the Mayfair Residents were very upset that the City would push through the diverter on 38th St. & Ave. C N., simply to appease one or two block of Avenue C North residents: Some comments were also from individuals who either work or frequent the area for business or children's activities.

Suffice it to say that of the Mayfair residents I was able to contact, few were indifferent or agreed with the barricade. Those who were indifferent, consisted of just some of the Avenue C N residents and others who claimed to be *'friends'* with our current City Counsellor, Darren Hill. Although, it seems he may have more difficulty winning in the upcoming Civic Election, if it is left to the majority of the Mayfair Residents.

As I am not familiar with the legalities around the Freedom of Speech or the Privacy Act, I did not record the names of the speakers of these comments. I only noted some of the intensely emotional comments made, even by those who chose not to sign the petition, as they planned to address the City directly.

To follow are just some comments from people, while I requested signatures on this petition to have the barricade removed. Many who felt strongly enough about the subject, hoped that I could share their opinions with the Planning Dept. and City Council.

1. **"Good grief! No one gave us a heads up on this stupid thing getting put in! Nope! Never got even so much as a handwritten note! The City Councillor is bold-face lying to the residents when they say we all had ample notice! We got nothing! Some Ave C N residents think they deserve less traffic than anyone else on Avenue C N and other Mayfair residents? All that stupid thing does is have people drive around it one block, either down the alleys or down Ave B or Ave D and then back onto Ave C N! Since the City so keenly forced the social and housing problems from Riversdale to our Area North of there - the whole bloody area gets too much traffic, even before this barricade! Especially now, with the stroll getting forced over here without our consent too! Thanks to the City Council members! So now, we ALL get a heck of a lot more traffic, 'except for the few special brown-nosers on the 1600 & 1700 block of Ave C N. Their taxes better be double of everyone else's taxes in Mayfair!' I say move the stroll & all else that goes along with it! It should really be relocated to 33rd Street East of Warman Road & throughout City Park & North Park, with one of those apparent "legal escort businesses" right in-front of our biased Councillor's home and then put barricades up throughout high traffic areas over there - all without their consent!"**

2. **"We knew nothing about this until it was just there one day!" There was no information, no notices, nothing! It is dangerous for our kids to try and cross it to get to the park, the bus stop, or to walk to school, as cars are speeding around it, and when they meet the bus, there is barely any room for the two vehicles to get around the corner, and the vehicles are so close to hitting the kids walking across or trying to cross on their bikes! It has created a t safety hazard for everyone in the neighbourhood, especially children and seniors."** Not to mention a huge divide within the community.

3. **"Never got no mail-out or any sort of flyer, nothing! Never knew there was even a discussion about any form of blocking Ave C North! There was nothing in the news on the RADIO, TV or in the Paper! Are we supposed to just read minds now? Rip it out and put signs on Circle Drive, Idylwyld and 33rd stating Residential Traffic Only - NO Heavy Trucks/Equipment from 34th to Circle Drive or Ave B N through to Ave I North! They got signs like that all over the North and East Side of the City, why can't they do the same here?"**

4. **"We never had one bit of any notification whatsoever! Not by flyer, mail, telephone or nothing! Absolutely not one small hint that Ave C N would be blocked anywhere! Never even heard a whiff of it on the news or nothing! Obviously, the only people who had any indication of this were the residents of Avenue C North, and from what we have heard from those residents, seems only a few residents on Avenue C North had any idea that it was being considered. Only Select residents on Ave C were the ones it wanted it done, who knew because they wanted it and purposely tried to control and make absent any other resident's feedback from the rest of the Mayfair residents! There should never be any sort of blockage of Avenue C North or any of those Avenues or Streets to any residential traffic, ever!"**

Continued on next page

5. "Nope, never got any kind of notice, not one time, not ever! They better get that thing out of there or I'll rip it out myself!" "No one asked us what we thought of a stupid barricade on 38th Street & Ave C! That barricade should never have been put in without all the Mayfair residents having a say, not just a few on Ave C! It is just screws up the entire Mayfair Residential Area and serves no good purpose to any other residents, except for a few hoity-toity residents on Ave C N. They are the only ones in the City who get away with raising rabbits & chickens in coops in city limits. But they won't let anyone look at those pefs! People have said they go there to buy them for food or for pets. I guess these Ave C residents have some good connections, now they got their way with this too? Makes no good sense to me!"
6. "That is just a terrible idea! No one told us they were thinking of doing anything like that! No! We did not receive a fiver or any written information at all and no one phoned or even so much as asked our opinion, until now! I check the City Website & the Caswell and Mayfair Councillor's Facebooks too and never once did I see anything about this! Now, they say there were only TWO options to choose from? There are plenty more options to consider! Are we not allowed due process of voicing our concerns or opinions!"
7. How the heck are we people in wheelchairs and scooters supposed to get across that stupid thing? There aren't even any sidewalks on 38th Street, so people in wheelchairs have no choice but to ride on the street! Then when we get to that stupid blockade – we can't even get over it! We can't even safely navigate through the whole Mayfair area because there is either NO sidewalks, or broken down dangerous sidewalks! There isn't even anywhere for a bike to get through, let alone a wheelchair access! Only a couple of locations have wheelchair ramp access points! This blockage does nothing for the safety of the residents, but was only to accommodate a few select residents on Avenue C North and the bus drivers who need to learn how to drive safely! Now, we can't cross at any point there now! It is impossible! There are no wheelchair accessible curbs getting put in this area, because they always claim they haven't got the funding, but they sure have it for stupid things like that useless barricade to make one or two blocks of whining Avenue C N residents happy! Never see any of them taking care of their property or cleaning off their sidewalks or the city clearing the streets in our area, so that we can get through! They better lower taxes for the rest of us in this area that take care of our property and our sidewalks! This area has become such a run down, filthy, dirty place in the past 6 years! Now we got nothing but gangs, drug dealers, slumlords, prostitutes and all the other crime that goes with it running the area! And no bloody blockade is going to change that!"
8. "No one consulted us for our opinion or was even willing to listen to any alternate suggestions! We lose a lot of business traffic because of this stupid barricade. Now we have nothing but trouble with people getting mad and speeding up and down the alley, back here, to simply get around the barricade and back onto Avenue C N, going both ways! Someone is bound to get hurt! There have already been a lot of near fatalities at that barricade, especially for pedestrians, children and those riding bikes or in wheelchairs. The bus doesn't even slow down for that curve and if it ever meets another vehicle, it'll be game over!"
9. "We were not consulted in any way, shape or form! Never even knew anything about it until we nearly ran into it on our way to work! This barricade has created numerous angry drivers speeding both ways down Avenue D N, right past the children's play park at A.H. Browne Park, where children are put at risk every day, trying to safely cross the streets around the park. It's bad enough that there is no sidewalks on either side of 38th Street, or any in front of the homes on the West Side of 1600 block Ave D N, where even very young children cross regularly to play at the park, every season of the year! With the build-up of ice and snow, there will surely be fatalities! Many children also cross these streets on their way to school! There should have been far more direct consultation with all the residents of Mayfair, not just a select few people who live on one or two blocks of Ave. C N! There is also a Special Care home on Avenue D N., which has also increased the safety risk for those residents. Rearrange that stupid & useless bus route too! It doesn't work for the average resident here anyway. It's way to difficult to wait an hour for the next bus, with difficult routes and takes far too long to get anywhere!"
10. Never saw nothing! Not even any stinking plans about it! There should have been a formal letter sent out to every Mayfair resident with a simple Yes or No Vote, as well as any suggestions or other options with a couple of months available to reply! Anybody who chooses to live on a busy street like Ave C N has to realize that high traffic goes with the territory! We pay high taxes to live off the beaten track! The residents on Ave C N need to suck it up because it has been a through-fare as far back as the North Industrial Area existed. We deserve to be consulted and have our voice heard, not just a handful of Avenue C N Residents! Someone over there on Avenue C North sure does seem to have a lot of clout wrapped up with some city councillor or the council itself!"

11. We never got a phone call, no letter, no flyers, not a word! We were never notified at all! So sick of the high speed vehicles ripping up and down 39th St. to & from Idylwyld & Avenue C N. Where is the traffic diverter at each of the streets coming off of Idylwyld, 33rd and Avenue C N? Even that is plain stupid! Put up signs along Circle Drive, Idylwyld, & 33rd, No Trucks or Heavy Equipment! Residential Traffic ONLY for Avenue B, C, D through to Avenue I North! They seem to be able to find the money to post these types of signs everywhere else in the City, like along Warman Road keeping trucks off of Waneskewin!"
12. "Never got any flyer or nothing about that stupid blockage! What a pain! The City is at fault for the excess amount of traffic throughout the whole area, for forcing all the social and housing problems from Riversdale, North into Caswell and Mayfair. Now the Stroll is through the entire two neighborhoods, not just on 33rd St or Avenue C N. This did nothing to stop the problem, the city just 'allowed' it to grow into our area. The way this City is so poorly run is a pathetic shame! Shame, shame, shame on all of you! We are near the top end of the highest Crime, Prostitution/Smuggling City in North America! The rest of Mayfair and Caswell sees far more traffic, drugs and prostitution on their streets than those couple of blocks on Avenue C N. Even the police have trouble getting around the thing when they are on a call! Another one of the stupidest things these City planners have done without proper consultation and input of the people who pay their salaries!"
13. "This placement of the barricade was done in a completely unfair and underhanded manner, clearly done to appease only a few favoured residents along Avenue C North. No one was allowed to have a say in this except for a couple blocks of Avenue C North? Who do these people think they are? Are they also the ones being allowed to dump their garbage on the rest of us, dumping it in our alley's and containers so they don't have to deal with it? What makes them so special? Why are they favoured to receive less traffic than the rest of the residents on Ave C N or the Mayfair area, when they made the choice to live on Avenue C North, they should know they will have to deal with a lot of traffic! It's been a busy street for years!
14. NO! We never received any indication of any blockage along any street in this whole area! Never received any flyers or nothing! It's the City's responsibility to inform ALL the residents in Saskatoon, particularly the residents in the affected area. Never hear one lousy peep from that poor excuse of a City Counsellor about nothing! All we hear about on the news is how is his limits on rules and regulations, like ripping down signs and wasting a lot of his time on Twitter & Facebook! Even check this out on a weekly basis, and there was no mention of it whatsoever! All the streets in Saskatoon have higher amounts of traffic with the increased population of temporary contractors, which has attracted unwanted businesses in our area, like drug trafficking, prostitution and gangs. Only the favoured 1 or 2 blocks on Ave C N should NOT be subjected to it? It's ridiculous! In talking to our neighbours, we are going to do our best to rid our community of that bone-head Councillor we are stuck with for now! We are doing our best at encouraging a few more area residents to run against him at the election! We need somebody with backbone!
15. "No body sent me anything about this ever! Never got any flyers or nothing! Just Scamming us! That stupid thing needs to be taken out right now, before fall! If they think they are going to wait for December, when it is all froze up, so then they have an excuse to wait till summer, there will be a whole lot of us gonna bring it down one way or another! The City never ever bothers to clear the streets in this whole area to keep them free of ice and snow! These streets are always full of ruts & are hazardous in the winter and even in the summer! Now that barrier is nothing but an all round hazard! Already saw a couple of trucks lose control and slide into the signage on it!" Kids and seniors are tripping or slipping on the ice build-up on it and falling into the road. Saw a guy trying to get over it with his wheelchair and he couldn't get around it or over it any way at all! He just turned around and went back to where he came from! Someone's gonna get run over because of this stupid barrier! This City Council has all it's priorities screwed up! Just like the wasted \$5.5 million on a stupid pool that only toddlers can enjoy! There's another thing that the Resident's opinions and ideas got squashed there too. No one older than 10 years old can enjoy that waste of money! The City needs to start using their heads, start listening to individual residents and stop wasting our money on these stupid ideas!"

16. **"NO! I never got any kind of notice at all in the mail or anything! The only one and only time I was alerted to it's possibility, not a confirmation, was from some neighbours who live behind me on Avenue C North.** They were not too convinced on either of these two options either, but were worried about the backlash from other residents on who were in favour of the closures. **At least they let me know about it before the meeting in June 2011 at Caswell School, so I could try to attend the one and only Mayfair resident meeting or consultation, that I had ever been made aware of!** **Apparently, I was one of many who was not supposed to find out about this meeting.**

I did go to the meeting, whereby both Pat Lorje & Darren Hill were present along with Rosemarie from City Planning. I remember it to be rather odd that some people I recognized by face only, not by name, a well as Darren Hill & Pat Lorje, asking me how I had even learned about the meeting. I thought it odd stating that everyone in the area has the right to attend on any matters within their residential area. It was an uncomfortable air about it, as if I had no right to be there. There were very few recognizable faces in that meeting from the Mayfair area and I had been there through to the end of the meeting. I specifically asked how they came to only the options that were presented and that only one would be accepted.

However, I did not get a clear answer. What I got was vague political jargon, that these two options is all that there is to choose from, along with a comment similar to, "We can't plan this for years and wait for everyone's input. This is what the community residents and the planning dept have come up with." **I asked, "What community residents? This is the first I have heard about any of this!"** Of course, the reply was short, vague and clearly with the intent of avoiding any more questions I had, such as informing me of any previous process that had brought them to this point of time.

The quick and short answer was only that it was for **"The residents who are most affected by the traffic."** **It was made very clear that this had already been in discussion for some time with some of the residents of Ave. C N & that only these two options would be considered, nothing else!**

OPTION ONE: CLOSE OFF Ave C N completely at or near the railway tracks,
OPTION TWO: Barricade off Ave C N at 38th St.

None of which I saw feasible or favoured, as many people living in the Mayfair area frequent this route for not only employment, but for business, shopping and access to other areas of the City required via Circle Drive.

I DID suggest that if they had built the North Bridge first, instead of the South end, traffic congestion would have been alleviated throughout the city long ago! Just as would an additional 1 or 2 lanes on Circle Drive from Confederation through to Taylor Street, had it been added a couple years ago, rather than just a single lane on either side of the bridge above Idylwyld!

I also reminded him that the businesses of the RBC and Saskatoon Coop need to take some responsibility for the excess traffic that is forced into the Residential Area. Many vehicles heading south on Avenue C N from the North end or from Circle Drive, are attempting to turn left into the RBC parking lot, whereby there is already a large back-up of traffic from vehicles trying to do the same on the east side of Ave C N or exiting from the Coop Home Centre to Circle Drive. This forces traffic into the residential area, to find a place to turn around and get on the side of the street that they need to go, such as the RBC. So, the area of 39th and sometimes 38th is dealing with a great amount of "thru-traffic".

Example: turning West onto 39th and turning around at the cul-de-sac or driving around down the back alley and back East to Ave C N, turning left (North) to access the RBC or to more quickly and easily access Circle Drive going East.

The entry/exit points to these businesses need to be redirected away from Ave C N and appropriate entry/exits directed onto Circle Drive, alleviating high traffic from the residential area of Mayfair.

I also suggested something that needs to seriously be considered, (of which Darren Hill insisted would NOT EVER be considered – so, why his claim to being open-minded?) is to build a roadway from Avenue I N across the open 'ditch' through to meet with Circle Drive near or with Airport Drive, as this is plays a large part of the current daily traffic destination!

Continued next page

Since MAYFAIR has been a Residential Area long before any businesses began building at or North of Circle Drive, - the residential area indicates the requirement that traffic be diverted by SIGNAGE on Idylwyld Dr, Circle Drive and 33rd Street, indicating this and that all traffic use the Industrial Roads of Ontario, Quebec, Idylwyld to/from 33rd or Circle Drive, particularly trucks and heavy equipment.

For some reason or another, my ideas, including signage to re-direct traffic to Industrial streets were shut down, with the claim to be too expensive! Really? More expensive than putting in barricades and diverters? Never is it feasible to ever spend comparably high tax dollars wisely, particularly when it is on the backs of the ever increasing taxes of the Mayfair community!

BUT, apparently, it has always feasible to spend millions on unnecessary bridges, unnecessary lights on bridges, unnecessary high costs on unnatural, concrete river banks, unnecessary paving of back lanes of certain "privileged" individuals and forcing the societal problems of Riversdale into our community AND a lack of road/street maintenance every single season of the year – for numerous years? THIS IS WHAT WE PAY SOME OF THE HIGHEST MUNICIPAL TAXES FOR?

I remember leaving that meeting feeling put off. Even my young child picked up on the vibes in that room, saying, "Mommy, those people are phoney and being rude to us. I asked why that thought. My child replied, "It's not hard to figure out." I simply replied, "Well, they have a job to do and you and I can write down our thoughts and ideas and see what happens."

Although I didn't say anything to my child, I do remember an intuitive feeling of an attempt to have the wool pulled over my eyes. It was pretty clear from the people's discussion and the input from the Councillors and City Representatives in Planning, that there had never been any intention of including all of the residents in Mayfair, for their feedback or for any other possible options on this issue! However, I found it rather odd that Pat Lorje's riding of Caswell Hill was in attendance regarding a diverter in the far North Area of Mayfair! Why is it that she is always on the arm of Darren Hill regarding Mayfair Community Business?

After attending the meeting, I spoke with Rosemarie from the Planning Dept. at the meeting and by telephone, with her suggesting that there had apparently been more notifications sent to all the Mayfair residents, before and after this meeting. However, I advised her that I did not receive any notifications, what-so-ever, in a flyer or any other form and so I requested that she send me the diagrams and any other information. At the end of June 2011, I drafted up some of my own ideas for possible options that would alleviate the barricading of any of the streets and submitted it to her. However, I did not receive any correspondence, to date, suggesting that it would be considered or reviewed by council before making any further decisions.

After Rosemarie and our City Councillor had advised me that there were apparently more notifications previously sent out to the residents, and more to come, it was clear to me that no one had any idea what I was talking about. Everyone I spoke with insisted they, too, had not received any flyers or other notifications. Some suggested I was crazy, because the City can't do something like that without input from the residents. It is now my understanding, that there were only a handful of residents or businesses, particularly those who requested a diverter on Ave C N, as the majority of Mayfair residents did not receive any form of notification at all! Those residents/businesses on Ave C N and maybe a few of those who supported the idea, seemed to be the only ones who were privy to this information.

I casually asked a few of the neighbours in the area what they thought of having the diverter there and they were all just livid! I did ask other resident's of their view on this issue and they even suggested I was simply crazy and didn't know what I was talking about, because there was no mention of it anywhere, not even on the City Website, News or Social Networks, or anywhere! Then, after it was already put in, they were all angry that they were not informed about it either, as they said they didn't receive any form of notifications about anything! Even the local school staff and parents were unaware of any discussions or information on a barricade being put anywhere in the area."

Minister
of Agriculture and
Agri-Food



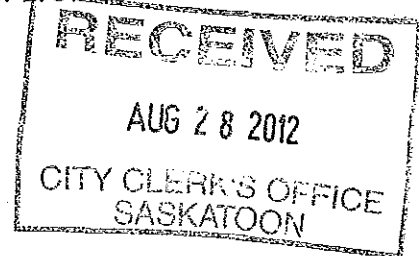
Ministre
de l'Agriculture et de
l'Agroalimentaire

Ottawa, Canada K1A 0C5

ADUT 23 2012
AUG

Quote: 178777

Ms. Janice Mann
City Clerk
City of Saskatoon
222 3rd Avenue North
Saskatoon, Saskatchewan S7K 0J5



Dear Ms. Mann:

I am writing in response to your letter to the Right Honourable Stephen Harper regarding the "Day of the Honeybee." I appreciate being made aware of your support for this day. Rest assured that, as Minister of Agriculture and Agri-Food, I am well aware of the key role that honeybees play in the economic development of Canadian agriculture. I am always amazed at the quality and quantity of food produced by Canadian farmers with bees' assistance.

Beekeeping is an important industry in Canada. In addition to the value of the pollination services delivered by honeybees, Canada's 7671 beekeepers produced 78.1 million pounds of honey, as well as substantial amounts of valuable beeswax, pollen, and propolis, which is a sticky resin that bees use to seal their hives and which has a number of commercial and medical uses. As beekeepers in Canada produce significantly more honey each year than Canadians consume, about half of the total production is exported. Our long summer days help contribute to beekeepers' unmatched productivity as honeybee colonies yielded an average of 124 pounds of honey in the 2011 season.

Within Agriculture and Agri-Food Canada, there is a team of bee researchers that works closely with beekeepers, colleagues in provincial governments, governments of other countries, universities, the private sector, the Canadian Honey Council, and the Canadian Association of Professional Apiculturists to continuously monitor and evaluate threats to bee health and keep abreast of any new developments in the field.

I trust that this information is of assistance to you. Thank you for writing.

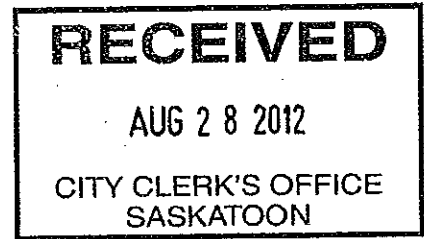
Sincerely,

Gerry Ritz, PC, MP

Canada

185-9 BS)

From: CityCouncilWebForm
Sent: August 28, 2012 3:43 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Leslie Ganes
100-506 25th Street East
Saskatoon
Saskatchewan
S7K 4A7

EMAIL ADDRESS:

lganes@unitedwaysaskatoon.ca

COMMENTS:

His Worship the Mayor and Members of City Council,

United Way of Saskatoon and Area would like to request an extension to the noise bylaw for the date of Thursday, September 13, 2012. On this date our organization will be hosting the Annual Community Campaign Kick-Off, which this year includes a walking parade beginning at 8AM, concluding at 9AM. It is for these ours that we request the extension.

This walking parade is a public event; we expect 150-200 participants. We will walk along the Meewasin Trails, starting at Vimy Memorial Band Shell, to River Landing, and Back to the Band Shell.

We are making an effort to recruit 4-6 members of a community marching band to lead our parade. We made the conscious decision to have only 4-6 band members in an effort to keep noise to a minimum.

(Note: Special Event Application Form has been filed with the Allocations Office.)

Thank you for considering this request. I can be reached at 975-7703 should you require any further clarification.

Kind regards,
Leslie Ganes
Coordinator, Communications & Events
United Way of Saskatoon & Area



City of
Saskatoon

Saskatoon Development
Appeals Board

c/o City Clerk's Office ph 306•975•8002
222 - 3rd Avenue North fx 306•975•7892
Saskatoon, SK S7K 0J5

B6)

August 15, 2012

His Worship the Mayor
and Members of City Council

Ladies and Gentlemen:

**Re: Development Appeals Board Hearing
 Refusal to Issue Development Permit
 Detached Accessory Building (Garage)
 (Exceeding Combined Maximum Rear Yard Coverage)
 346 Auld Place – R1 Zoning District
 Mr. Darren Slywchuk
 (Appeal No. 29-2012)**

In accordance with Section 222(3)(c) of *The Planning and Development Act, 2007*, attached is a copy of a Notice of Hearing of the Development Appeals Board regarding the above-noted property.

Yours truly,

A handwritten signature in cursive script that reads "SBryant".

Shellie Bryant
Secretary, Development Appeals Board

SB:ks

Attachment

Templates\DABs\Mayor.dot



City of Saskatoon

Saskatoon Development
Appeals Board

c/o City Clerk's Office ph 306•975•8002
222 - 3rd Avenue North fx 306•975•7892
Saskatoon, SK S7K 0J5

NOTICE OF HEARING - DEVELOPMENT APPEALS BOARD

DATE:	Monday, September 10, 2012	TIME:	4:00 p.m.
PLACE:	Committee Room E, Ground Floor, South Wing, City Hall		
RE:	Refusal to Issue Development Permit Detached Accessory Building (Garage) (Exceeding Combined Maximum Rear Yard Coverage) 346 Auld Place – R1 Zoning District Darren Slywchuk (Appeal No. 29-2012)		

TAKE NOTICE that Darren Slywchuk has filed an appeal under Section 219(1)(b) of *The Planning and Development Act, 2007*, in connection with the City's refusal to issue a Development Permit for a detached accessory building (garage) at 346 Auld Place.

The property is located in an R1 Zoning District. Section 5.7(5) requires that the maximum permitted coverage in a rear yard by accessory buildings shall be determined by means of Graph No. 5.7(5).

The site is 724.64m² in area and based on Graph No. 5.7(5), the maximum rear yard coverage for the site is 30%. Based on information provided, there is an existing detached accessory building in the rear yard that is (30 ft x 19 ft – 570 sq ft) 52.955m². The proposed detached accessory building is (14 ft x 26 ft = 364 sq ft) 33.817 m² for a total rear yard coverage of (934 sq ft) 86.77 m², resulting in the two accessory buildings covering 32.657% of the rear yard which is 2.657% or 7.06m² (76sq ft) too large.

The Appellant is seeking the Board's approval to the detached accessory building (garage) at 346 Auld Place.

Anyone wishing to provide comments either for or against this appeal can do so by writing to the Secretary, Development Appeals Board, City Clerk's Office, City Hall, Saskatoon, Saskatchewan, S7K 0J5 or email development.appeals.board@saskatoon.ca. Anyone wishing to obtain further information or view the file in this matter can contact the Secretary at 975-2783.

Dated at SASKATOON, SASKATCHEWAN, this 15th day of August, 2012.

Shellie Bryant, Secretary
Development Appeals Board



City of
Saskatoon

Saskatoon Development
Appeals Board

c/o City Clerk's Office ph 306•975•8002
222 - 3rd Avenue North fx 306•975•7892
Saskatoon, SK S7K 0J5

B7)

August 24, 2012

His Worship the Mayor
and Members of City Council

Ladies and Gentlemen:

**Re: Development Appeals Board Hearing
 Refusal to Issue Development Permit
 Proposed Fence
 (Exceeding Maximum Allowable Height)
 404 - 109th Street West - R2 Zoning District
 Anne and Harlan Weidenhammer
 (Appeal No. 30-2012)**

In accordance with Section 222(3)(c) of *The Planning and Development Act, 2007*, attached is a copy of a Notice of Hearing of the Development Appeals Board regarding the above-noted property.

Yours truly,

A handwritten signature in cursive script that reads "Shellie Bryant".

Shellie Bryant
Secretary, Development Appeals Board

SB:ks

Attachment

Templates\DABs\Mayor.dot



City of
Saskatoon

Saskatoon Development
Appeals Board

c/o City Clerk's Office ph 306•975•8002
222 - 3rd Avenue North fx 306•975•7892
Saskatoon, SK S7K 0J5

NOTICE OF HEARING - DEVELOPMENT APPEALS BOARD

DATE:	Monday, September 10, 2012	TIME:	4:00 p.m.
PLACE:	Committee Room E, Ground Floor, South Wing, City Hall		
RE:	Refusal to Issue Development Permit Proposed Fence (Exceeding Maximum Allowable Height) 404 - 109 th Street West - R2 Zoning District Anne and Harlan Weidenhammer (Appeal No. 30-2012)		

TAKE NOTICE that Anne and Harlan Weidenhammer have filed an appeal under Section 219(1)(b) of *The Planning and Development Act, 2007*, in connection with the City's refusal to issue a Development Permit for a fence on the property line of 404 – 109th Street West.

The property is zoned R2. Section 5.13(2) of the Zoning Bylaw states that no wall, fence, screen or similar structure, excepting permitted accessory buildings, shall be erected in a required side or rear yard, or on a site line adjacent to a required side or rear yard, to a height more than 2.0 metres above grade level.


Based on the information provided, one section of the proposed fence, approximately 7.5 metres in length, will be 2.5 metres in height above grade level resulting in the fence exceeding maximum allowable height by 0.5 metres.

The Appellant is seeking the Board's approval to allow the proposed fence.

Anyone wishing to provide comments either for or against this appeal can do so by writing to the Secretary, Development Appeals Board, City Clerk's Office, City Hall, Saskatoon, Saskatchewan, S7K 0J5 or email development.appeals.board@saskatoon.ca. Anyone wishing to obtain further information or view the file in this matter can contact the Secretary at 975-2783.

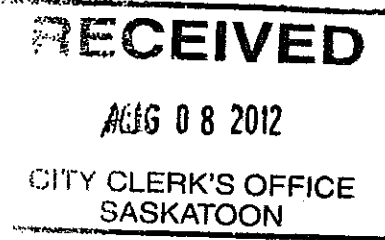
Dated at SASKATOON, SASKATCHEWAN, this 24th day of August, 2012.

Shellie Bryant, Secretary
Development Appeals Board



August 8, 2012

Mayor Atchison and City Council
Saskatoon City Hall
222 3rd Ave. North
Saskatoon, SK S7K 0J5



Mayor Atchison and City Council

Re: 2005 Flood Protection Plan

We continue to experience problems associated with the Flood Protection Plan offered by the City in 2005. Our problems began after the City ran a storm sewer through our crescent from the Hampton area, which I'm confident, was also connected to the existing storm sewer. We never experienced any basement flooding prior to this work being completed. The City's response to the large number of homes that experienced basement flooding (City wide) was the creation of the Flood Protection Plan. This seemed like a generous and logical approach to the problem but we also felt pressured to take advantage fearing there would be insurance implications.

We had the sump pump system installed in Dec 2005 and that's when the problems began. Once the pump was installed it seemed like we must have built our home above an underground lake and hopefully not on an old cemetery site (*Poltergeist*)! It was December and the pump continued to pump water out onto our lawn and across the City sidewalk, ice everywhere! After a couple of conversations with City personnel we were advised that it was "permissible" to re-direct the water back into the sanitary system during the winter season – to this day most plumbing contractors will tell citizens that this is something the City doesn't allow and will not install a bypass system without getting some kind of documentation from the City.

So, the winter problem has been resolved. Now what about the summer problem? Our home, which never had a flooding problem, is now saddled with another problem. Since our home and most on our crescent at the time were complete – landscaping and basement development we had little option but to have the pump discharge exit the front of our home – which is the reason why there was ice in the winter across our yard and onto the city sidewalk. The problem in the summer is we had an area across our lawn which was constantly wet (soggy, can't walk on) and as the water travels across the sidewalk to the gutter it creates a wet, slimy and slippery sidewalk area. Since the water was already ending up on the sidewalk to the gutter I simply extended the discharge pipe underground and directly to the sidewalk thereby resolving the constant wet, soggy, mosquito area of our front lawn. However the problem with the sidewalk remains unresolved. We and our neighbour across the street were the only ones to take advantage of the program initially and they have the same problem with water across the sidewalk. Since 2005 a few more homes on our crescent have had pumps installed and now have the same issue with water across the sidewalk creating a problem.

I have taken the time to check other areas of the city including new development and have discovered that our problem is not unique, except maybe that we had to have the discharge out the front of our home. Many homes have the discharge end up at the sidewalk either by an underground discharge pipe or a blue drain hose to the sidewalk which then creates a problem across sidewalks.

Our concerns/issues are as follows:

1. Who is liable should anyone slip and be injured as a result of this water either being directly drained across the sidewalk or as in our case (prior to running the discharge pipe to the sidewalk), eventually drain across the sidewalk due to the slope of our front yard?
2. This is a known issue – why haven't steps been taken to address this problem, particularly in new areas where there might be options not available in existing areas.
3. A recent discussion with Andrew Hildebrandt (Aug. 7/12) did not resolve my concerns but did provide some insight into the ongoing problems with excessive groundwater.
4. I raised the possibility of making a cut through the sidewalk, running a 1 1/2" discharge pipe and then cementing over it – similar to what I have seen in the downtown core. Mr. Hildebrandt discussed some of the implications of the suggestion, mostly monetary and wasn't able to provide a definitive answer to my suggestion.
5. I am requesting that Council evaluate my suggestion in #4 as short of building a bridge over the water discharge I am at a loss as to how to resolve this problem.

We could use the winter bypass system in the summer to prevent the water problem over the sidewalk (which the City would be unaware of) but this would defeat the purpose and is something I am against – I've told neighbours that without a sump they only add to the problem with excess water in the sanitary system.

I am requesting that the City respond to these questions and suggestions in a timely fashion rather than just receiving it as correspondence.

I look forward to your response.

Sincerely,



John Thomson
202 Nixon Cres.
Saskatoon, SK

6120-1
C2

From: CityCouncilWebForm
Sent: August 09, 2012 10:56 AM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Renée Wilkinson
1310 Queen Cres
Moose Jaw
Saskatchewan
S6H 3G4

EMAIL ADDRESS:

roughriders.13@hotmail.com

COMMENTS:

Good Day,

On 04 Aug 12 some friends and I came to Saskatoon. When we arrived I found parking on 1st Ave across from the downtown mall. I have Veteran plates on my vehicle, in Moose Jaw and Regina I don't "plug" the parking meters ... given that plates are issued by the province I never for a moment thought that I would have to pay for city street parking in Saskatoon. When I returned to my vehicle I found a parking ticket for being parked at an expired meter. I went into a jewellery store where I was parked to ask if whether or not they knew if street parking was free to Veteran plates (I was very surprised at what they had to say about parking and Saskatoon in general). While I was in there I noticed the Commissionaire outside, I approached him and asked why I was given a ticket . given I had Veteran plates. I actually had thought maybe the ticket issuer had missed the fact I had Veteran plates. In an extremely cantankerous and impolite stance he said he'd given me the ticket and along with being "proud" of his ticket he quoted the rules on the City of Saskatoon parking with regards to having Veteran plates including; I must register with the city and how far from the city I can live and be registered, as he started walking away still talking to me.

I came to Saskatoon with friends to do some shopping, have a meal spend the night and do more shopping. I brought with me two friends one visiting from Ottawa, she'd never been to Saskatoon and I wanted her to see more of Saskatchewan than just Moose Jaw. We, up until meeting the Commissionaire had done just that and were having a great time. However, none of us were impressed with the treatment we received, by a representative of your City and how absolutely impolite he was about Veteran plates.

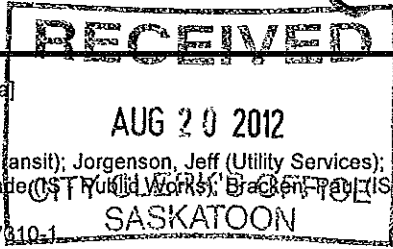
I would also like to say my husband has served in the military for 35 plus and was born and raised in the Province of Saskatchewan. I have worked for the military for 26 years and although I am not the Veteran I am proud to be married to one.

I am not asking to have the ticket declared invalid or waved. I paid the \$20.00 to the City of Saskatoon on line, but am very uncomfortable as to how we were treated by one of your city workers. I also wonder, had that have been my husband would he have received the same "talking down" to as we did?

Sincerely

Renée Wilkinson

7310
C3



From: edanneberg@gmail.com on behalf of Ed Danneberg [e.u.danneberg@shaw.ca]
Sent: August 18, 2012 9:46 AM
To: Petrun, Dale (IS - Public Works); Solicitor's Inbox; Web E-mail - City Clerks
Cc: Riabko, Mitch (US - Transit); Bast, Barb (Utility Services); Cook, Chris (US - Transit); Jorgenson, Jeff (Utility Services); Matthies, Harold (US - Transit); US - Transit Service Supervisors; Gasmol, Wade (IS - Public Works); Prang, Colin (IS - Strategic Services)
Subject: Re: Holiday Park Ineffective Transit Route addition/City Council File No. CK. 7310-1

Dear Ladies and Gentlemen,

After more than a year, having watched empty bus after empty bus travel the Holiday Park route, specifically Avenue M, Wellington and Avenue N, we are still in the same situation. Ridership remains near nil, the roadways (especially Avenue N) is even further eroded and we watch close calls happen with the many children who live in Embassy estates and the neighbouring homes happen almost daily.

Surely transit realizes when there are no benefits to a certain route? Residents of Arbor Green - ostensibly the reason Councillor Pat Lorje asked for the routes addition - rarely (if ever) use transit. They either have their own cars (their parking lot is full), or have specialized transportation to various seniors events and outings.

Several concerned residents in the area have watched and recorded the ridership and transit traffic closely and have yet to see any increased ridership, yet have seen many instances where buses are involved in near-misses with kids walking, on bikes and chasing balls into the street, parked cars making it difficult to turn from Wellington onto Avenue N (due to Avenue N being too narrow for larger vehicles), as well as the many issues that affect my own special-needs/autistic child.

So once again we are asking Saskatoon Transit, along with the city of Saskatoon and related branches, to re-assess the need and viability of this addition to the Holiday Park transit route. For many years the route travelled through this area only on Shuyler. It worked for everyone and aggravated few. Shuyler is wider, snow-clearing is easier and less costly and transit-stops were built that were not encroaching on residential property. Currently, the stop on Wellington, near Avenue M, is insufficient and such that transit vehicles hop the curb onto the residents' grass, any riders who do use the stop leave trash and trample that residents' yard and the two little girls that live there cannot even play on 60% of their own property!

After speaking to most of residents in the area several times over the years since this change, I know I speak for the majority and we - the homeowners and residents - want this route changed back to using only Shuyler. At the very least, a little-used and high-impact route should run on limited hours. To have empty transit vehicles circling our neighborhood at all hours goes directly against one of the main tenets of our transit services mandate: which is "to run as efficiently as possible". What else, besides the clear evidence produced above, do we need to do to affect this change?

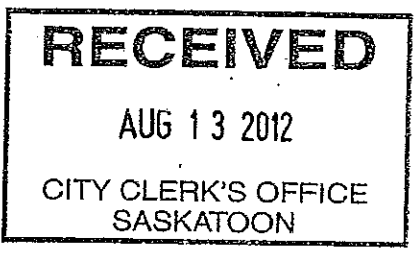
Thank you for your continued attention to this matter,

Edward Danneberg
1418 Avenue N South
306-261-8365

On Tue, Apr 19, 2011 at 11:57 AM, Petrun, Dale (IS - Public Works) <Dale.Petrun@saskatoon.ca> wrote:
Hi Mitch

5000-1
(4)

From: CityCouncilWebForm
Sent: August 13, 2012 12:40 AM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Trudy Wieler
1321 Ave C. N
Saskatoon
Saskatchewan
S7L1K7

EMAIL ADDRESS:

grandma-43@hotmail.com

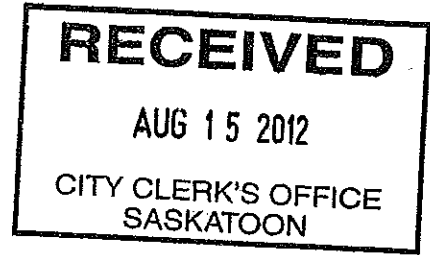
COMMENTS:

For the past six months or so we have put up with extra traffic on the street because we suspect there is a street worker living two doors down. There is constant foot traffic as well, yelling, youngsters walking up and down the sidewalk using foul language. Young ladies, no more than fifteen or sixteen standing around waiting for someone to pick them up...I have been watching them for so long and it's getting to be so annoying already and so sickening to watch. The older ones, think there are two or three of them, stand on the street and yell at vehicles driving by, some of which stop and others just keep driving. They have hardly any clothing on...they're ugly and rude and since they've moved into our neighborhood it's gotten ugly and gross as well. Is there anything you can do to help us?? Why do we, honest, law abiding citizens have to put up with people like them in our peaceful neighborhood?? Please help

C5)

4-139-4

From: CityCouncilWebForm
Sent: August 14, 2012 5:36 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Wayne Westcott
303 32nd St. W.
Saskatoon
Saskatchewan
S7L 0S5

EMAIL ADDRESS:

winefolks@yahoo.ca

COMMENTS:

This letter is addressed to The City works department:

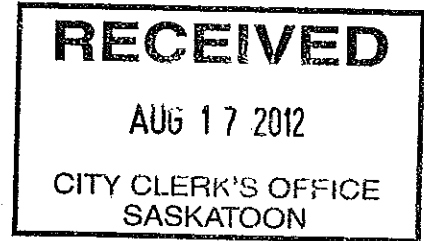
A huge spruce tree was removed from the boulevard on the 300 block of 32nd St. to allow sewer repairs, about 3 weeks ago. The stump of this tree is still sitting on the boulevard. My question is: Why would the stump not have been hoisted into a truck using the excavator that dug and backfilled the hole?

This block is one of the many blocks in Caswell where the residents tend the flowers, pick up trash, and mow the lawn of the boulevard. We would like this stump removed so we can get the grass started on the bare ground where the sewer repair was done.

I hope to hear from you soon:
Wayne Westcott

150-1
C6

From: CityCouncilWebForm
Sent: August 16, 2012 9:49 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Linda simard
po box 31
white city
Saskatchewan
s4l5b1

EMAIL ADDRESS:

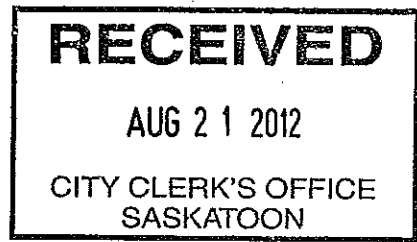
catanfiddle@sasktel.net

COMMENTS:

I have always thought of Saskatoon to be more open minded than Regina BUT after seeing the controversy over a treehouse I am not so sure. Here is a place for kids to play in their own backyard and be supervised by their parents and the city is thinking of have it torn down. I thought the whole idea was to have kids active so as not to get in to trouble. What the children will learn from this is that governments are mean and that the grinch is alive and well in Saskatoon. Oh my, I do hope that you reconsider. Thank you for your time.
Sincerely, Linda Simard

1501
C7

From: CityCouncilWebForm
Sent: August 20, 2012 6:28 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

EDWARD HORAN
APARMENT 16 541 AVE W SOUTH
SASKATOON
Saskatchewan
S7M4R5

EMAIL ADDRESS:

edwardhoran2002@hotmail.com

COMMENTS:

AS WE KNOW SASKATOON IS GROWING. WE ARE NEEDING TO FIX ROAD, POOLS, LIGHTS, ECT. I LIVE IN SASKATOON. I MUST SAY THE SPEED IS 50KM AND PEOPLE SPEED ALOT DON'T LOOK OUT FOR KIDS, PEOPLE, ECT. POLICE DO HAND TICKETS BUT NOT ALOT OUT BUT I THINK WE CAN DO MORE IN THE CITY OF SASKATOON TO LOWER SPEED IN THE ORANGE ZONES AND SCHOOL ZONES AND THE NORMAL ZONES. I HAVE NOTICED THAT THERE HAVE BEEN A FEW THAT HAVE INVOLVED CITY CAR AND TRUCKS ECT TODAY ONE ON AVE W NOTH INFRONT OF THE SCHOOL 1752 TRUCK AND 1 CAR AND ANOTHER ONE ALMOST A FORTH ONE INVOLVED INFRONT OF SASKATOON TRADES SPEED IS 30KM THE SCHOOL. HOW DOES THIS HAPPEN??? I THINK THAT WE NEED TO AS CITY WORKERS AND STAFF START SLOWING DOWN AND FOLLOW THE RULES TO THE ROAD AS WELL AS PEOPLE WALKING WHEN THEY ARE NOT TO BE OR ON CELL PHONES AT LIGHTS GOING TO WALK AND TALK YOU HAVE TO LOOK OUT FOR THEM PEOPLE RIDEING BIKES ON SIDEWALKS OR GOING THE WRONG WHY ON THE ROAD OR ALL OVER THE ROADS. PEOPLE IN WHEEL/MORTOR CHAIRS RIDEING OUT IN THE STREET. MAYBE THEY NEED A PLATE SO WE CAN MAKE COMPLAINTS. PEOPLE SKATE BOARDING ON SIDEWALKS MALLS PARKING LOTS ECT MAYBE WE NEED TO START A CAMPAIN TO JUST SEE HOW MANY TICKETS WE CAN HAND OUT AND PAY OUR BILLS OFF SO WE ARE NOT IN DEAT HOW TO INFORCE A BETTER SASKATOON NEEDS TO START WITH THE CITY AND IT STAFF WORKER, POLICE, EMT, FIRE, OR PERSON OR PERSONS WHO DRIVES, WALK, TAKE A BUS, WHEEL CHAIR, BIKE, ECT WE ALL NEED TO WORK TOGETHER TO USE RULES THAT ARE MADE BY CITICENS OF SASKATOON AND INFORCE BY THE CITY WE ARE ALL ABOUT MAKEING SASKATOON A BETTER PLACE TO LIVE BUT WHAT IS HAPPENING TO SASKTOON CRIME ON THE RISE AND PEOPLE IN SASKATOON KNOW IF POLICE ARE NOT THERE THERE NOT GOING TO GET TICKETED SO WE HAVE ALL RULES OF SASKATOON AND WE NEED TO FOLLOW THEM AND IT NEEDS TO START YES OUR SISTIC GO DOWN BUT WE JUST DONT HAND OUT TICKETS WHERE WE WANT THEM TO GO DOWN TAXES GO UP RENTS GO UP AND CITY MAKES MONEY BUT CRIME IS STILL OUT THERE IT JUST NOT TALKED ABOUT BECAUSE WE WANT SASKATOON TO LOOK GOOD SO IF WANT SASKATOON TO LOOK GOOD WE NEED TO DO SOME WORK ALL OF SASKATOON

SASKATOON POLICE PUT LIGHTS ON TO GET THROUGH A RED LIGHT THEN SHUT IT OFF SHOULD HAVE A FINE IF COUGHT PHONE IN TO A NUMBER THAT YOU CAN MAKE COMPLAINT ABOUT OFFICER OR OFFICES DOING LIKE CRIME STOPPERS

CITY WORKERS THINKING THEY CAN TURN WHEN EVER THEY WANT STOP WHEN EVER THEY WANT THEY SHOULD HAVE SINGLE SAYING THEY STOP OR TURNING NOT JUST STOP AND TURN IF COUGHT THEY SHOULD BE FINED OR SUPPENDEED OR LOST THERE JOB MAKING SURE WHAT THERE DRIVING IS WORKING RIGHT

BUS USEING TURNING LIGHTS TO TRUN OUT OR SITTING THERE WITH IT ON AND THEM NOT GOING MAKING SURE LIGHTS WORK OR THE BUS IF OFF THE ROAD MAKEING SURE WHAT THERE DRIVING IS WORKING RIGHT

EMS POLICE AND FIRE PEOPLE NEED TO GET OUT OF THERE WAY WHEN LIGHTS ARE ON SOMEONE DIEING OR ON FIRE MOVE OR GET A TICKET

AND PEOPLE ON BIKES NEED TO USE BIKE LANE OR ROAD OR GET A TICKET

WHEEL CHAIRS MORTOR CHAIR NEED TO USE SIDEWALK OR FAIL AND GET A TICKET OR GET KILLED BY A DRIVER THAT DONT SEE YOU MAY HAVE A PLATE ON THE CHAIR SO YOU CAN MAKE A COMPLAINT TO ABILES CONCILA AS THEY ARE THE ONES THAT HAND OUT THAT PLATE

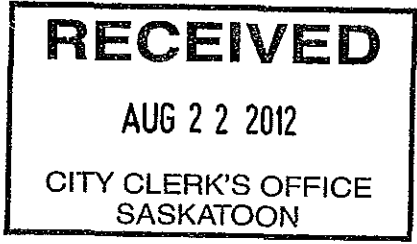
SKATE BOADS NEED TO BE USED AT SKATE BOARD PARKS OR PLACE DESGATED

CABES NEED TO USE THE RULES TO THE ROAD TO NOT STOP AND DROP THEY ARE GOING TO GET THERE PASSANGERS KILLED THEY NEED TO PARK LIKE YOU OR I GIVE THEM A TICKET THEY WANT MONEY FOR A CABE SO THEY NEED TO PARK THERE IS SO MAY PLACES THEY JUST STP AND DROP PASSANGER AND YOU NEED TO GO AROUND THEM

MY POINT IS SASKATOON IS GROWING AND WE NEED TO DO MORE TO MAKE SASKATOON SAFE AND MAKE IT GROW 110 PRECENT THANKS FOR HEARING AND I KNOW I AM NOT THE ONLY ONE THAT THINKS THIS TAXES GO UP AND CRIME GOES UP AND NOT DOWN SO WE ALL NEED TO DO OUR PART TO GET TAXES AND CRIME DOWN

150-1
C8

From: CityCouncilWebForm
Sent: August 22, 2012 9:01 AM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

anita Hrytsak
346 McCormack Rd.
saskatoon
Saskatchewan
S7M 5L1

EMAIL ADDRESS:

anita.hrytsak@producer.com

COMMENTS:

Good morning,

This is a crazy thing.. or just me.. but doesn't anyone CARE!

As you already know.. I do write in my comments quite often... but don't people notice things funny in there neighbourhoods?

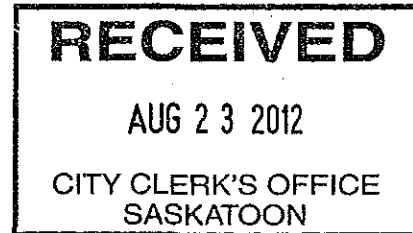
It's been a month since I noticed the 4 street lamps out on Fairlight Rd. and around the corner of McCormack Rd.
2 lamps out.

Not sure why no one else has reported this....
Also noticed on my walk this morning.. graffiti on my neighbours side of the house. It's visible from the sidewalk.. on 354 McCormack Rd.

Anita Hrytsak

6050-9
C9

From: CityCouncilWebForm
Sent: August 22, 2012 5:00 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Ron Heihs
2809 Broadway Ave.
Saskatoon
Saskatchewan
S7J 0Z8

EMAIL ADDRESS:

rheihs@sasktel.net

COMMENTS:

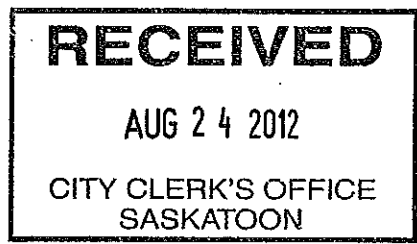
Greetings;

For the last year I have been veiwing your excellent website cameras regarding the construction of the south bridge project. For the last approx. 2 months now I have been only getting a prompt that says server not found. May I ask what happened.
Thanks in advance.

Ron

7310-1
CIO

From: CityCouncilWebForm
Sent: August 24, 2012 11:19 AM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Meghan Witzel
1225 Crescent BLVD
Saskatoon
Saskatchewan
S7M3W5

EMAIL ADDRESS:

maw154@mail.usask.ca

COMMENTS:

My name is Meghan Witzel. I am a Graduate Student and research assistant at the University of Saskatchewan and I live in the Montgomery area. When the bus schedule changed in July I was not impressed but I could manage it because my classes were not running and I could, to a certain extent, make my own hours. I was under the impression that this schedule change would be reversed once September rolled around again but when I went into the Transit Services office today I was told that this was a permanent change. Due to my work schedule and classes the bus system through Montgomery is completely unacceptable. A bus only running once every hour and only to the Confederation terminal will not work for me at all. Through the school year I will be leaving the area in the morning and quite frequently not returning until nine or ten at night. If I miss my bus on the way to school I can not wait an hour before the next one comes; my schedule will not allow an one hour wait in Montgomery followed by another forty five minutes on the bus. I will also not be able to take the bus home because I will be coming home in the late evening and I do not feel safe at the Confederation Terminal at night.

I am forced, because of the bus schedule, to buy a car and drive to and from school every day. This action adds to the congestion and noise in the Montgomery area as well as the congestion downtown.

This bus schedule will not work for University Students. If something is not done to remedy this situation I foresee every University Student in the Montgomery area taking separate cars and adding to the congestion downtown and in the University area.

Sincerely,
Meghan Witzel

C11

From: CityCouncilWebForm
 Sent: August 24, 2012 12:02 PM
 To: City Council
 Subject: Write a Letter to City Council

RECEIVED

AUG 24 2012

CITY CLERK'S OFFICE
SASKATOON

TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Clara Fabbro
 236 McMillan Avenue
 Saskatoon
 Saskatchewan
 S7L2T4

EMAIL ADDRESS:

clara.fabbro@ec.gc.ca

COMMENTS:

I live across from Leif Erickson Park. This park is more than 50 years old. It is not wheelchair accessible. I note that the Mayor in the last few weeks indicated that he wanted all sidewalks to be wheelchair accessible and also accessible for the blind. That is great but we need to extend that to our parks especially the older parks.

I know a couple of years a study was done on this park as well as other older parks. Funny thing though, we live in the area and received notice about this study (and walkabout the park) but this notice was received 'after the fact'. That's not too efficient! So, what has happened with this study???? This park is over 50 years old and not wheelchair accessible. I think that is shameful and a disgrace.

We have been here since 1970. One of the walkways leading from Bedford Road to Avenue P running east/west has been 'black topped' and the City has been clearing the snow for several years from this walkway. There are several other walkways that run north/south which need to be 'black topped'. Can you please look into it? Some of these pathways are near trees and the roots are visible in the pathways and people have tripped over them especially in the winter months.

Another issue is the walkway (black top) running east/west does not allow for anyone in a wheelchair to have access to the park. My neighbor at 230 McMillan Avenue is in a wheelchair and has been living here since 2006. She would like to have access to the park but unfortunately she cannot. Can you look into having the walkways wheelchair accessible?

I hope you will consider doing something about this park ASAP. I hope we don't have to wait years for something to be done.

Regards,

Clara A. Fabbro
 work 975-5663

From: CityCouncilWebForm
 Sent: August 24, 2012 2:57 PM
 To: City Council
 Subject: Write a Letter to City Council

RECEIVED

AUG 24 2012

CITY CLERK'S OFFICE
 SASKATOON

TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Darryl Heskin
 59 Spinks Drive
 Saskatoon
 Saskatchewan
 S7H 3X1

EMAIL ADDRESS:

heskind@shaw.ca

COMMENTS:

To His Worship the Mayor and Members of City Council,

I would like council to recommend three items of concern that needs to be rectified regarding traffic flows and safety in our growing city.

First, the stop signs that are situated along Main Street at busy throughfares, such as Clarence Ave, Cumberland Ave, and Preston Ave should be replaced with traffic lights. The congestion between 8th Street and Main in both directions causes many tie ups at both intersections along these three throughfares. Especially with events such as the Fringe, The Ex, and other detours that occur throughout the year, a lighted intersection would at least shuffle vehicles and pedestrians through a lot safer than experiencing a jammed up line of vehicles waiting to see whose turn it is to proceed ahead and/or make that turn.

Pedestrians and motorists are at the mercy of the indecisiveness of stop sign controlled intersections. I know there is only a block and a half between 8th and Main, but the reality of it is stop sign controlled intersections throughout the city at busy throughfares are obsolete and are more of a safety hazzard than anything. I hope the city will consider putting lights at these three intersections soon to avoid more hiccups in those respective areas.

Second, lighted intersections on busy throughfares should have an automatic turn signal in both directions. It would alleviate motorists who will want to edge out further into the intersection to see if it is safe to make that turn and minimize last minute turns by some motorists. The other choice would be to have each direction taking turns to proceed in their respective direction. There would be a small increase in wait times at intersections, but traffic would flow smoother than it currently does. Circle Drive North should be the first to test out that procedure, esepcially during rush hours that currently last up to three hours in that area!

Third, I am sure there are many places around the city that have this final recommendation and concern that needs to be rectified sooner than later. The corner of Harrington and Spinks Drive in College Park does not have a yield or stop sign there. Many motorists bypass the school zone at Evan Hardy and take Spinks then Harrington and vice-versa. The traffic

has increased significantly in the last two years. At night, it can be challenging since there is no light that shines on the corner heading west on Harrington and then turning North on Spinks or vice-versa. There are lights a little ways down, but there is a very dark point where you cannot tell if there is a pedestrian coming or a bicyclist riding in your direction until it is too late. Stop signs at that corner would prevent those who tend to speed up and down these two streets to get ahead of the traffic flows coming off 14th Street and Acadia Drive. I hope that this will be rectified before winter comes. I will of course be calling again to have these roads cleared off more often as a result of the increased traffic creating ruts on what should be a generally, quiet street.

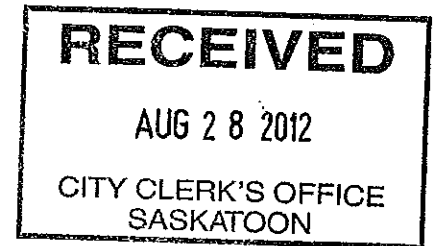
Thank you for patching up sections of Harrington. Cronkite needs patching as well. Fortunately, Spinks is not bad, but the traffic is unreal throughout the day. A stop sign at Harrington and Spinks with a better light to shine on that corner would be a huge relief!

Thank you for your consideration and all the best in the upcoming election. Take care.

Sincerely,
Darryl Heskin
Saskatoon

C13
6050-9

From: CityCouncilWebForm
Sent: August 27, 2012 4:54 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Michael Allen
57 Stephenson cres
Saskatoon
Saskatchewan
S7H3L6

EMAIL ADDRESS:

tedmda@sasktel.net

COMMENTS:

My name is Michael Allen, I am excited to be participating in the Science Trek Program for grade 8 at Montgomery School. I have challenged myself to car pool, use public transit or cycle to school. There are obvious environmental, fitness and social advantages to these forms of transportation.

I live in Brevoort Park, 11.7 kilometres from Montgomery School. The scheduled bus ride takes over an hour and a half each way.

I am looking forward to the new South Bridge opening because it will allow me to avoid the busy down town traffic on my bike. I will be able to cycle to school in 45 minutes using less busy roads.

It has become clear recently that the opening of the bridge to vehicle traffic will be delayed because of delays in the construction of connecting roadways. I understand the bridge itself will be ready to use by the original deadline (even though cars will not be able to get to it)

I am wondering if there is any possibility that the pedestrian portion of the bridge might be open and useable prior to the (now delayed) official opening of the traffic portion of the bridge? the safety of pedestrians and cyclists is extremely.

Opening the pedestrian/cyclist section of the bridge as soon as it is complete and safe would send a positive message about our City's commitment to environmental issues and the importance of physical activity.

Thank you for considering my request,
Respectfully,

Michael Allen

P.S. (My mother's email address is a.f.allen@sasktel.net)

C14),
613-7

From: CityCouncilWebForm
Sent: August 28, 2012 3:55 PM
To: City Council
Subject: Write a Letter to City Council

TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Gavin Shepperd
516 31st West
Saskatoon
Saskatchewan
s7l0r2

EMAIL ADDRESS:

mother_buzzer_18@Hotmail.com

COMMENTS:

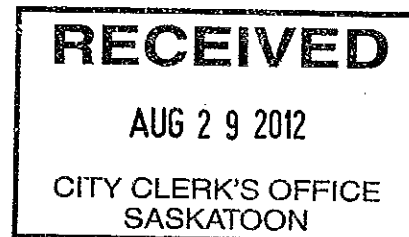
Dear City Council

My name is Gavin Shepperd. I live across the street from Mayfair pool, But i have a small problem with the lack of parking spaces available for the pool. Even when i leave a chair in my parking spot so they hopefully don't take it. They do anyway, by simply getting out and moving it, so please help this problem by just expanding the parking lot past the row of trees. another two or three sides. Honestly you have to take those tires out of the ground anyway. They have been there for over twenty years and are starting to decay. Makes its hazardous for the younger ones who play on them, and the needles left by the druggies used while inside them at night... I Shouldn't Have to say anything else.. It deletes the bad traffic and invites paying customers for the pool. Your Choice. Sincerely the Shepperd Family.

73

C 15)

From: CityCouncilWebForm
Sent: August 28, 2012 8:41 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

Maryann Derksen
G.S 303 Box 14 RR #3
Saskatoon
Saskatchewan
S7K 3J6

EMAIL ADDRESS:

countrybumkins@sasktel.net

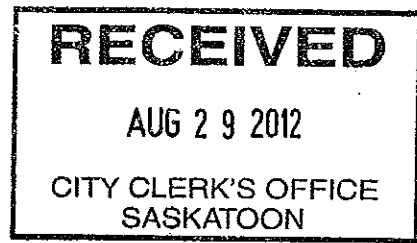
COMMENTS:

Have you ridden a Bus lately? You need to be concerned about our transit system. I have just been informed that the confederation Hub can no longer handle the number of Buses making connections. There is no more room for the number of buses that are stopping at this point. It is time to think about building a proper facility to accommodate the growth on the West side of the city with New Schools, Wal-Mart, Shaw center and the surrounding number of homes/condos in the area there is a need for the increase numbers. An example of the Number 4 Willgrove and 4 Baltimore have been given alternative stops therefore making the passenger hurry across Diefenbaker to try to catch connections. Why? I was told it was because Confederation Mall would not pave the tunabout. The fact is there is not enough room for all the buses. Is The Confederation Hub is in need of repair, yes. But I think its time for city consul to consider a new location and help the riders of the Saskatoon Transit System be safe and able to meet transfer without stress and danger to themselves. It time for a Change. Please note that this is a serious issue and in need of action.

C 16)

6c

From: CityCouncilWebForm
Sent: August 28, 2012 9:36 PM
To: City Council
Subject: Write a Letter to City Council



TO HIS WORSHIP THE MAYOR AND MEMBERS OF CITY COUNCIL

FROM:

alan chant
382 priel place
sasktoon
Saskatchewan
s7m4m5

EMAIL ADDRESS:

alanbchant@yahoo.ca

COMMENTS:

road construction crews that mess up on workdays and then leave the signs up and no road work is being done and no reason to leave em up... today on warman road exit onto circle going east... road work on signage... and then the crews quit at 430 and left all the pylons and signs up but there was no reason to disrupt traffic... what a stupid idea... take busy traffice from four lanes to 2 and for no reason... this is going to be a major point during the election campaign. gormley talked about it today...

RECEIVED

205-5
PI

AUG 09 2012

CITY CLERK'S OFFICE
SASKATOON

From: City Council
Sent: August 09, 2012 10:25 AM
To:
Subject: FW: [SPAM] - September is Muscular Dystrophy Awareness Month - Bayesian Filter detected spam

From: Tammy Reihl [<mailto:Tammy.Reihl@muscle.ca>]
Sent: July 25, 2012 2:29 PM
To: Web Master Mailbox
Subject: [SPAM] - September is Muscular Dystrophy Awareness Month - Bayesian Filter detected spam



July 24, 2012

Your Worship Donald Atchison
Saskatoon Saskatchewan

Dear Your Worship Donald Atchison,

September is Muscular Dystrophy Awareness Month across Canada. The purpose of Awareness Month is to increase public knowledge of neuromuscular disorders, the impact on families living with these disorders and the communities in which they live, as well as to educate the public about our organization and the services we provide.

Muscular Dystrophy Canada would like to request your support by the issuance of a proclamation declaring September as Muscular Dystrophy Awareness Month in your community in 2012. If your community would be willing to issue a proclamation, please notify our office using the contact information provided below.

If we can assist in the facilitation of your proclamation by sending a volunteer to pick up a copy of the proclamation, or by contacting your local newspaper to arrange for publication of your proclamation, please let us know at your earliest convenience.

Since 1954, Muscular Dystrophy Canada has been committed to improving the quality of life for Canadians with neuromuscular disorders. We strive to ensure that people with neuromuscular disorders lead full and engaged lives through the provision of programs and services that increase mobility and encourage independence, and the funding of leading research for the discovery of therapies and cures.

Thank you for taking the time to consider this request. If you have questions, or would like more information, don't hesitate to contact me by phone at (306) 382 2172 or by e-mail at tammy.reihl@muscle.ca. I look forward to hearing from you soon.

Let's make muscles move

Respectfully,

Tammy Reihl
Fundraising and Community Development Coordinator,
Saskatchewan Community Office



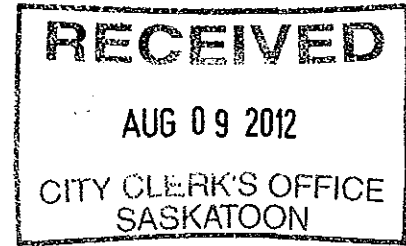
Saskatoon Anti-Poverty Coalition

a coalition of concerned citizens and organizations who are dedicated to addressing the causes and effects of poverty.

202 Avenue C.S. Saskatoon SK S7M 1N2

Phone: 955-5095

Email: antipoverty@sasktel.net



Mayor Atchison and City Council

Saskatoon Saskatchewan

July 31, 2012

Your Worship and Councillors,

The week of October 14th to 20th, 2012 will mark the 7th annual Poverty Awareness Week for the Saskatoon Anti Poverty Coalition. Each year the 17th day of October has been set aside by the United Nations as the *International Day for the Eradication of Poverty*. On that day in 1987 100,000 people in Paris, France gathered to honour victims of poverty, hunger, violence and fear.

During Poverty Awareness week in Saskatoon, the Saskatoon Anti Poverty coalition will be hosting several events to raise awareness of the complexities of poverty in the city of Saskatoon commencing with a media launch on October 13th. We will provide a calendar of events for the week once finalized.

The purpose of this letter therefore, is ask the City of Saskatoon once again to officially designate October 14th to October 20th, 2012 as the 7th Annual Poverty Awareness Week in Saskatoon.

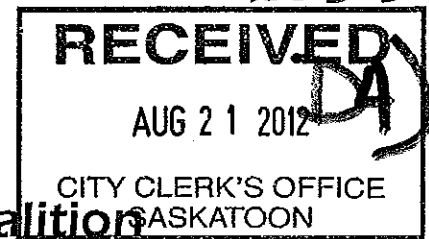
Respectfully,

Jon Ellis and Vanessa Charles

Co-chairs, Saskatoon Anti Poverty Coalition



Saskatoon Literacy Coalition



August 10, 2012

His Worship the Mayor and City Council
c/o Office of the City Clerk
222-3rd Ave. North Saskatoon, SK S7K 0J5

Dear Mayor Atchison and City Council,

September 8th is **International Literacy Day** and the *Saskatoon Literacy Coalition* will host its annual celebration at the Saskatoon Farmers Market at River Landing on Saturday, September 8th, 2012 at 11:00 am. As we near the end of the United Nations Literacy Decade (2003-2012) our theme this year is "**Food for Life.**" Please accept our invitation to join us as we celebrate together!

Please find enclosed information about **International Literacy Day** for promotion in your office. We anticipate that once again there will be 300 people in attendance, many of these families with children. **The *Saskatoon Literacy Coalition* requests that September 8th be declared International Literacy Day in the City of Saskatoon.**

The *Saskatoon Literacy Coalition* is a non-profit organization of individuals and representatives from organizations working collaboratively to promote literacy and lifelong learning. We provide a forum for raising public awareness about literacy, exchanging information, facilitating cooperation between member groups and initiating literacy projects.

Thank you for your consideration of this request and for helping to ensure **International Literacy Day** is a true community celebration.

Sincerely,

Desiree Tirk, President

Telephone-306-652-5448

Email- desiree.tirk@readsaskatoon.com